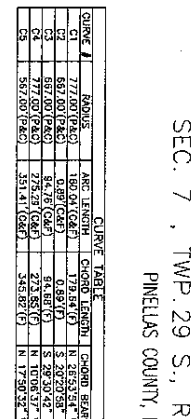
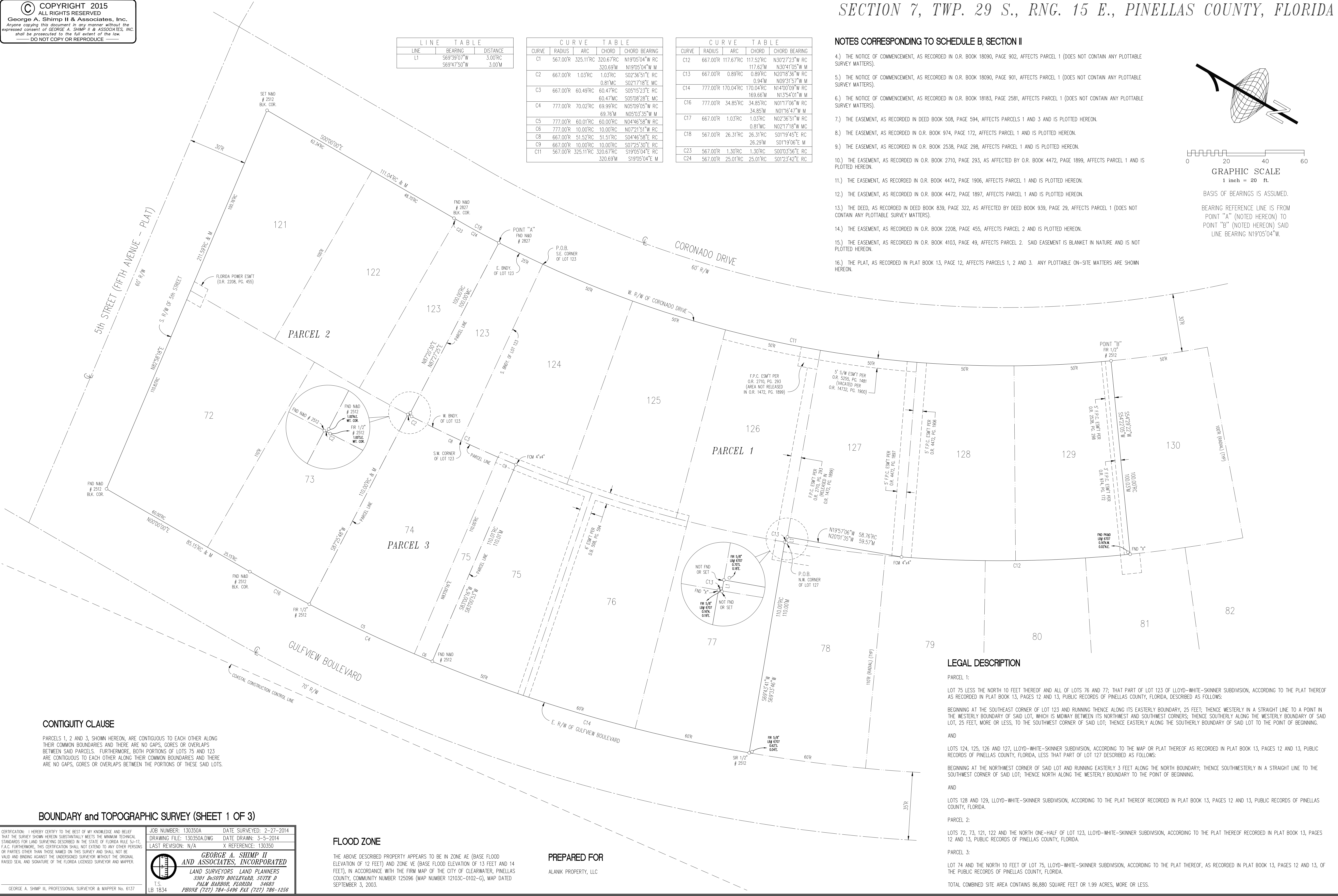


WAVE BEEN
APPROXIMATE
TREES
FUNDAMENTALS
(IF ANY)



5	DELTA
F	13.10.34°C&F
F	00.04.34°C&F
F	08.08.23°C&F
F	20.17.59°C&F
F	35.30.38°C&F



CONTIGUITY CLAUSE

PARCELS 1, 2 AND 3, SHOWN HEREON, ARE CONTIGUOUS TO EACH OTHER ALONG THEIR COMMON BOUNDARIES AND THERE ARE NO GAPS, GORES OR OVERLAPS BETWEEN SAID PARCELS. FURTHERMORE, BOTH PORTIONS OF LOTS 75 AND 123 ARE CONTIGUOUS TO EACH OTHER ALONG THEIR COMMON BOUNDARIES AND THERE ARE NO GAPS, GORES OR OVERLAPS BETWEEN THE PORTIONS OF THESE SAID LOTS.

BOUNDARY and TOPOGRAPHIC SURVEY (SHEET 1 OF 3)

CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREON SUBSTANTIALLY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING DESCRIBED IN THE STATE OF FLORIDA RULE 54-17, F.A.C. FURTHERMORE, THIS CERTIFICATION SHALL NOT EXTEND TO ANY OTHER PERSONS OR PARTIES OTHER THAN THOSE NAMED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE UNDERSIGNED SURVEYOR WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.

JOB NUMBER: 130350A
 DRAWING FILE: 130350A.DWG
 LAST REVISION: N/A

DATE SURVEYED: 2-27-2014
 DATE DRAWN: 3-5-2014
 X REFERENCE: 130350

GEORGE A. SHIMP II
 AND ASSOCIATES, INCORPORATED
 LAND SURVEYORS LAND PLANNERS
 3301 DeSOTO BOULEVARD, SUITE D
 PALM HARBOR, FLORIDA 34683
 PHONE (727) 784-5496 FAX (727) 786-1256

T.S.
 LB 1834

FLOOD ZONE

THE ABOVE DESCRIBED PROPERTY APPEARS TO BE IN ZONE AE (BASE FLOOD ELEVATION OF 12 FEET) AND ZONE VE (BASE FLOOD ELEVATION OF 13 FEET AND 14 FEET), IN ACCORDANCE WITH THE FIRM MAP OF THE CITY OF CLEARWATER, PINELLAS COUNTY, COMMUNITY NUMBER 125096 (MAP NUMBER 12103C-0102-G), MAP DATED SEPTEMBER 3, 2003.

PREPARED FOR

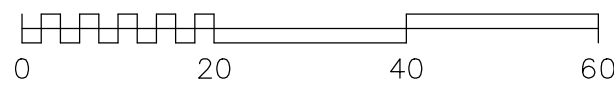
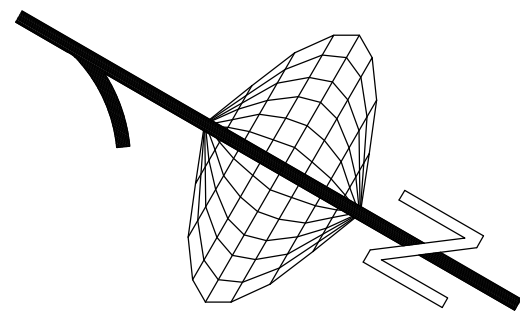
ALANIK PROPERTY, LLC

LEGEND

- AIR CONDITIONER
- BACKFLOW PREVENTER
- BOLLARD
- ELECTRIC BOX
- ELECTRIC CABINET
- ELECTRIC METER
- ELECTRIC VAULT
- FIRE HYDRANT
- GAS VALVE
- GRATE INLET
- LIGHT POLE
- PARKING METER
- RECLAIMED WATER METER
- SANITARY SEWER MH
- SEWER CLEANOUT
- SIGN
- STORM SEWER MH
- TELECOMMUNICATIONS BOX
- TELEPHONE PEDESTAL
- TRANSFORMER
- UNKNOWN VAULT
- UTILITY BOX
- VERIZON BOX
- WATER METER
- WATER VALVE
- 0.50' CURB
- 2' VALLEY CURB
- 2' CURB & GUTTER
- TOP OF BANK
- PALE
- OAK
- SHEDFLERA
- BIRDS OF PARADISE
- SEAGRAPE

GENERAL NOTES

- UNLESS OTHERWISE STATED, THE PROPERTY DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT, OR CLIENT'S DESIGNATED AGENT.
- UNDERGROUND IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO BUILDING FOUNDATIONS, HAVE NOT BEEN LOCATED EXCEPT AS SHOWN HEREON.
- INACCESSIBLE ABOVE GROUND IMPROVEMENTS (E.G. BUILDING OVERHANGS, THOSE WITHIN SECURED AREAS, ETC.), HAVE NOT BEEN LOCATED EXCEPT AS SHOWN HEREON.
- THIS SURVEY WAS PREPARED WITH THE BENEFIT OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY TITLE COMMITMENT, COMMITMENT NO. 04-2013-003891, DATED OCTOBER 28, 2013.
- ABOVE GROUND, VISIBLE ENCROACHMENTS ARE SHOWN HEREON.
- BECAUSE OF THE POSSIBILITY OF MOVEMENT OF THE MONUMENTATION FROM ITS ORIGINAL PLACEMENT BY PERSONS OTHER THAN THE SURVEYOR, IT IS RECOMMENDED THAT PRIOR TO ANY NEW IMPROVEMENTS ON THE PROPERTY THE POSITION OF THE MONUMENTATION BE VERIFIED.
- UNAUTHORIZED COPIES AND/OR REPRODUCTIONS VIA ANY MEDIUM OF THIS DOCUMENT OR ANY PORTIONS THEREOF ARE EXPRESSLY PROHIBITED WITHOUT THE SIGNED SURVEYOR'S WRITTEN CONSENT.
- BASIS OF BEARINGS IS ASSUMED.
- ALL BUILDING TIES, PROPERTY MARKER LOCATIONS AND OTHER SITE IMPROVEMENT LOCATIONS SHOWN HEREON ARE MEASURED PERPENDICULAR TO ADJACENT BOUNDARY LINES, UNLESS OTHERWISE STATED.
- FLOOD ZONE DESIGNATION AND/OR FLOOD ZONE LINES (IF ANY) SHOWN HEREON HAVE BEEN SCALED FROM THE REFERENCED MAP AND ARE APPROXIMATE. THE TRUE FLOOD ZONE LINES MUST BE DETERMINED BY AN ENGINEER.
- THIS SURVEY DOES NOT DETERMINE OR IMPLY OWNERSHIP.
- THERE MAY BE ADDITIONAL RESTRICTIONS, EASEMENTS OR OTHER MATTERS OF RECORD THAT ARE NOT SHOWN HEREON THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988) AS ESTABLISHED BY N.G.S. CONTINUOUSLY OPERATING REFERENCE STATIONS (C.O.R.S.) "BROOKSVILLE COPS ARP", "WAUCHULA COPS ARP" AND "LEESBURG COPS ARP" USING THE ONLINE POSITIONING USER SERVICE (OPUS), ON DECEMBER 9, 2013 (TO CONVERT ELEVATIONS TO N.G.V.D. 1929, ADD 0.81 FEET).

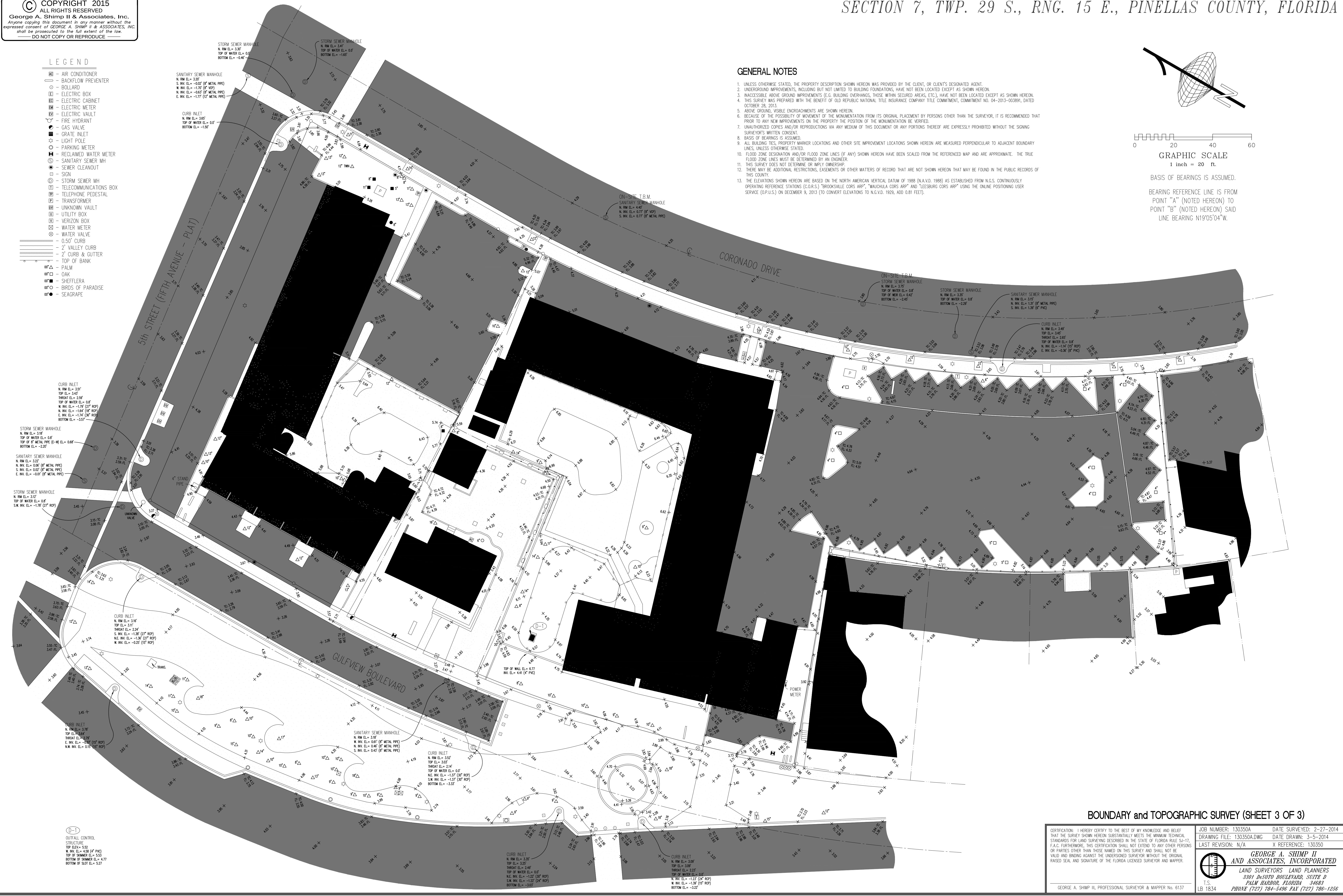


GRAPHIC SCALE

1 inch = 20 ft.

BASIS OF BEARINGS IS ASSUMED.

BEARING REFERENCE LINE IS FROM
POINT "A" (NOTED HEREON) TO
POINT "B" (NOTED HEREON) SAID
LINE BEARING N19°05'04"W.



BOUNDARY and TOPOGRAPHIC SURVEY (SHEET 3 OF 3)

CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREON SUBSTANTIALLY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING DESCRIBED IN THE STATE OF FLORIDA RULE 59-17, F.A.C. FURTHERMORE, THIS CERTIFICATION SHALL NOT EXTEND TO ANY OTHER PERSONS OR PARTIES OTHER THAN THOSE NAMED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE UNDERSIGNED SURVEYOR WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.	JOB NUMBER: 130350A DRAWING FILE: 130350A.DWG LAST REVISION: N/A	DATE SURVEYED: 2-27-2014 DATE DRAWN: 3-5-2014 X REFERENCE: 130350
GEORGE A. SHIMP II AND ASSOCIATES, INCORPORATED LAND SURVEYORS LAND PLANNERS 3301 DESOTO BOULEVARD, SUITE D PALM HARBOR, FLORIDA 34683 PHONE (727) 784-5496 FAX (727) 786-1256	GEORGE A. SHIMP II, PROFESSIONAL SURVEYOR & MAPPER No. 6137	T.S. LB 1834