

**AMENDED EXHIBIT "B"**  
**Site and Building Plans**

ARCHITECTURAL DRAWINGS

FLD 2015-02006A

[REVISED]

40 DEVON DRIVE

CLEARWATER BEACH , FL

A RESIDENCE

ON EASTWARD LMDR DISTRICT

AND

"SEA CAPTAIN" HOTEL

A 98 UNIT HOTEL IN

TOURIST DISTRICT

[AS AMENDED 9-24-18 UNDER CDC 4-406]

EXHIBIT "B"

JUNE 3, 2019

REVISED / RESUBMITTED JUNE 10, 2019

REVISED AUGUST 1, 2019

REVISED AUGUST 5,2019

A PROJECT FOR DECADE SEA CAPTAIN, LLC



ARCHITECTURE  
PLANNING  
INTERIOR  
DESIGN

EXECUTIVE CENTER OFFICE PARK  
25400 US HWY 19 NORTH  
SUITE, 290  
CLEARWATER, FLORIDA 33763  
PHONE: 727-785-4441  
FL CORP. AA0002587  
WWW.AUDESMTIH.COM

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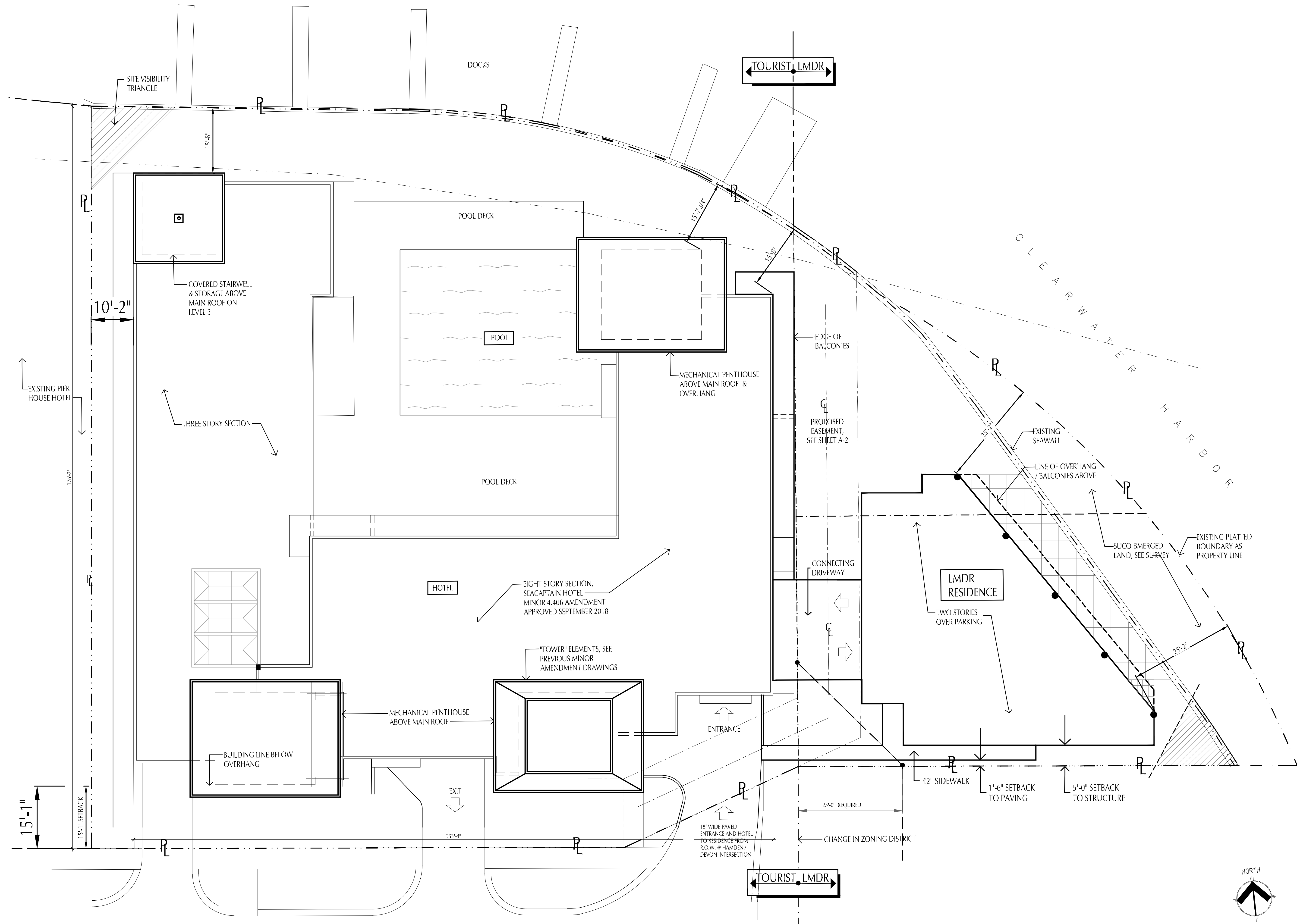
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SeaCaptain  
A 98 Room Hotel and LMDR Eastward Residence  
DECADE SEA CAPTAIN L.L.C.  
40 Devon Drive  
Clearwater, Fl.

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SITE PLAN



COMPOSITE SITE PLAN RESIDENCE & HOTEL ROOFTOP VIEW

SCALE: 3/32" = 1'-0"  
SEE SHEET A-3 FOR STREET VIEW

DEVON DRIVE



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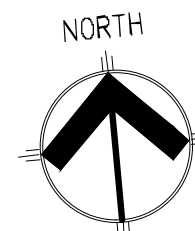
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RESIDENCE SITE PLAN

## KEYED NOTES

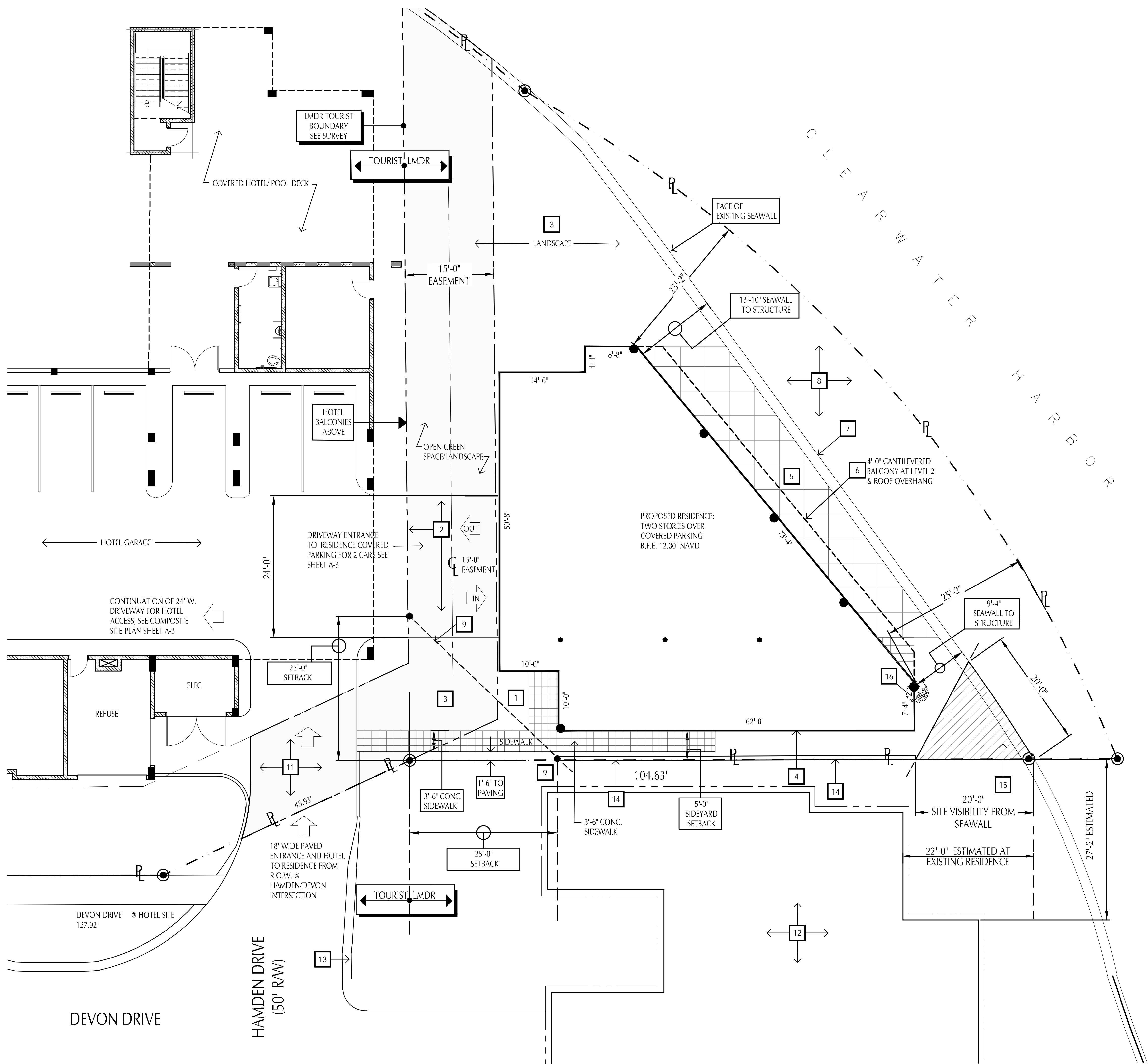
- 1 PEDESTRIAN ENTRANCE AND ACCESS TO UPPER RESIDENCE FROM DEVON DRIVE
- 2 24'-0" WIDE ENTRANCE TO COVERED PARKING FOR RESIDENCE
- 3 LANDSCAPE
- 4 ELECTRIC SERVICE METER ABOVE BFE, SEE FLOOR PLAN
- 5 OPEN PAVED DECK TO SEAWALL
- 6 LINE OF BALCONY ABOVE EXTENDED 4'-0" OUTWARD FROM STRUCTURE BELOW
- 7 EXISTING SEAWALL PER 2.14.19 SURVEY
- 8 SUBMERGED LAND 1,944 S.F.
- 9 FRONT COMPOSITE SETBACK LINE, 25' EACH WAY
- 10 NOT USED
- 11 18' DRIVEWAY
- 12 EXISTING ONE STORY RESIDENCE (TRANSCRIBED) ON ADJACENT LOT 3
- 13 EXISTING CURB AT HAMDEN DRIVE
- 14 CONTINUOUS 6'-0" HIGH MASONRY WALL
- 15 REQUIRED SIGHT VISIBILITY TRIANGLE AT SEAWALL BOUNDARY
- 16 EXISTING 13" HOLLY TREE TO BE REMOVED

## RESIDENCE SITE PLAN ON LMDR

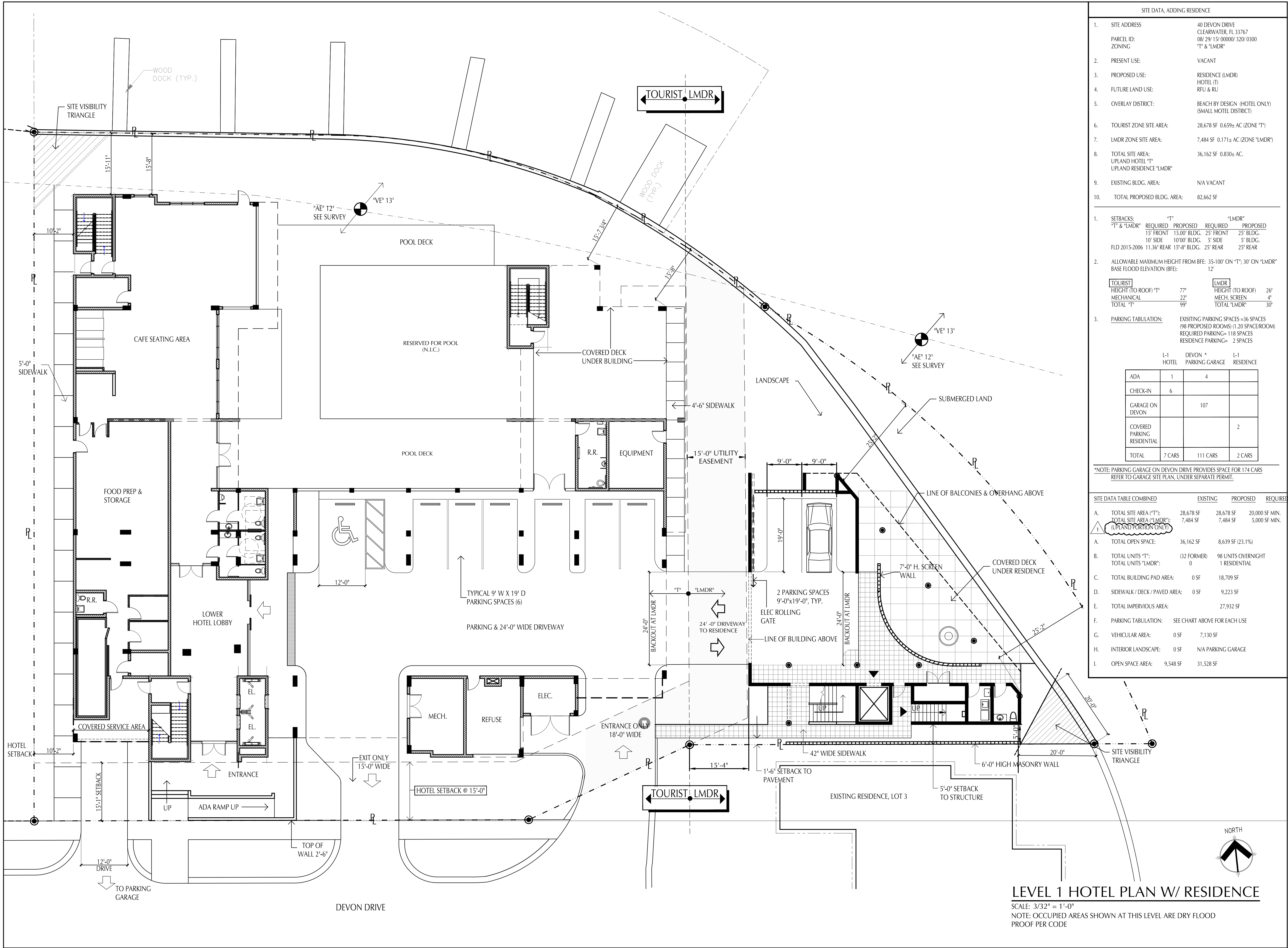


### SITE PLAN

SCALE: 1/8" = 1'-0"







SITE DATA, ADDING RESIDENCE			
1.	SITE ADDRESS	40 DEVON DRIVE CLEARWATER, FL 33767	
	PARCEL ID:	08/29/15/0000/320/0300	
	ZONING	"T" & "LMDR"	
2.	PRESENT USE:	VACANT	
3.	PROPOSED USE:	RESIDENCE (LMDR)	
4.	FUTURE LAND USE:	HOTEL (T) RFU & RU	
5.	OVERLAY DISTRICT:	BEACH BY DESIGN (HOTEL ONLY) (SMALL MOTEL DISTRICT)	
6.	TOURIST ZONE SITE AREA:	28,678 SF 0.659± AC (ZONE "T")	
7.	LMDR ZONE SITE AREA:	7,484 SF 0.171± AC (ZONE "LMDR")	
8.	TOTAL SITE AREA:	36,162 SF 0.830± AC	
	UPLAND HOTEL "T"		
	UPLAND RESIDENCE "LMDR"		
9.	EXISTING BLDG. AREA:	N/A VACANT	
10.	TOTAL PROPOSED BLDG. AREA:	82,662 SF	
1.	SETBACKS:	"T"	"LMDR"
	"T" & "LMDR"	REQUIRED	PROPOSED
	15' FRONT	15.00' BLDG.	25' FRONT
	10' SIDE	10.00' BLDG.	5' SIDE
	FLD 2015-2006	11.36' REAR	15'-8" BLDG.
		25' REAR	25' REAR
2.	ALLOWABLE MAXIMUM HEIGHT FROM BFE:	35-100' ON "T"; 30' ON "LMDR"	
	BASE FLOOD ELEVATION (BFE):	12'	
	TOURIST		LMDR
	HEIGHT (TO ROOF) "T"	77'	HEIGHT (TO ROOF) 26'
	MECHANICAL	22'	MECH. SCREEN 4'
	TOTAL "T"	99'	TOTAL "LMDR" 30'
3.	PARKING TABULATION:	EXISTING PARKING SPACES ~36 SPACES (98 PROPOSED ROOMS) (1.20 SPACE/ROOM) REQUIRED PARKING= 118 SPACES RESIDENCE PARKING= 2 SPACES	
		L-1 HOTEL	DEVON * PARKING GARAGE
		ADA	1
		CHECK-IN	6
		GARAGE ON DEVON	107
		COVERED PARKING RESIDENTIAL	2
		TOTAL	7 CARS
			111 CARS
			2 CARS
*NOTE: PARKING GARAGE ON DEVON DRIVE PROVIDES SPACE FOR 174 CARS REFER TO GARAGE SITE PLAN, UNDER SEPARATE PERMIT.			
SITE DATA TABLE COMBINED			
		EXISTING	PROPOSED
A.	TOTAL SITE AREA ("T"):	28,678 SF	28,678 SF
	TOTAL SITE AREA ("LMDR"):	7,484 SF	7,484 SF
	(UPLAND PORTION ONLY)		5,000 SF MIN.
A.	TOTAL OPEN SPACE:	36,162 SF	8,639 SF (23.1%)
B.	TOTAL UNITS "T":	(32 FORMER)	98 UNITS OVERNIGHT
	TOTAL UNITS "LMDR":	0	1 RESIDENTIAL
C.	TOTAL BUILDING PAD AREA:	0 SF	18,709 SF
D.	SIDEWALK / DECK / PAVED AREA:	0 SF	9,223 SF
E.	TOTAL IMPERVIOUS AREA:		27,932 SF
F.	PARKING TABULATION:	SEE CHART ABOVE FOR EACH USE	
G.	VEHICULAR AREA:	0 SF	7,130 SF
H.	INTERIOR LANDSCAPE:	0 SF	N/A PARKING GARAGE
I.	OPEN SPACE AREA:	9,548 SF	31,528 SF

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REVISION 2 24 JULY '19

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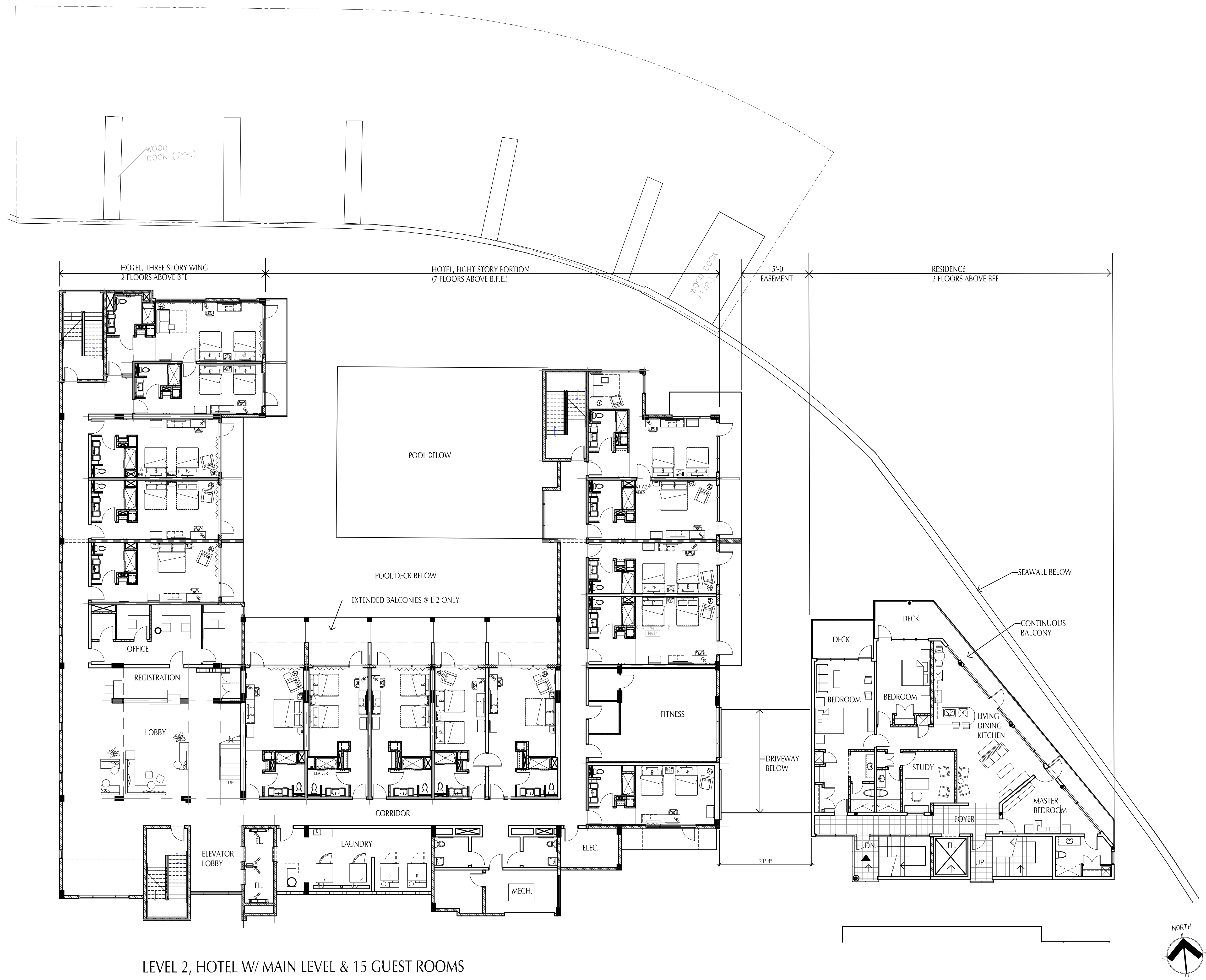
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LEVEL 1 PLAN

A-3





LEVEL 2, HOTEL W/ MAIN LEVEL & 15 GUEST ROOMS

COMPOSITE HOTEL LEVEL 2 PLAN W/ RESIDENCE  
SCALE: 3/32" = 1'-0"  
(FIRST LEVEL ABOVE BFE)

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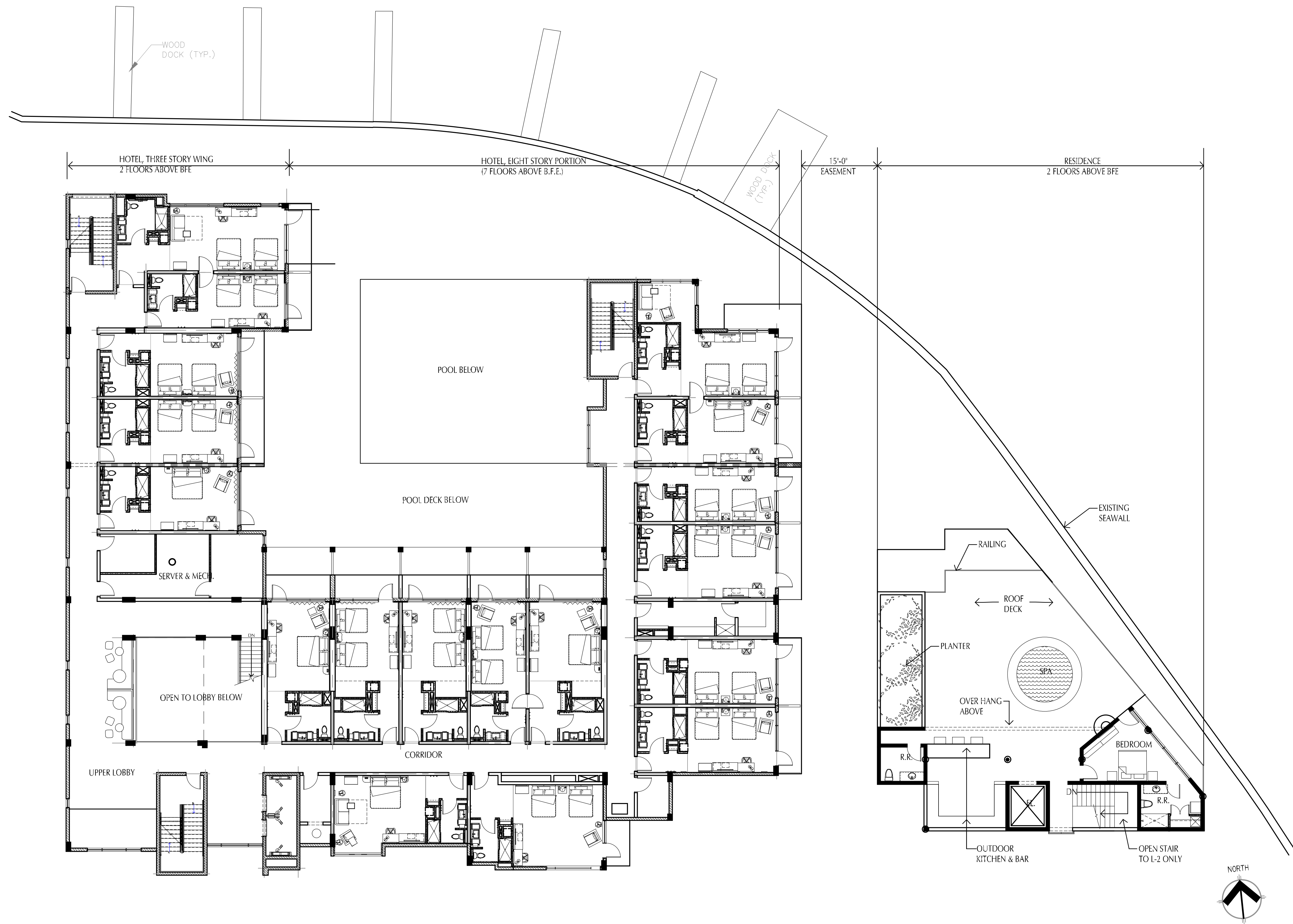
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LEVEL 2 PLAN





LEVEL 3 HOTEL W/ UPPER LOBBY & 18 GUEST ROOMS

COMPOSITE HOTEL LEVEL 3 PLAN W/ RESIDENCE  
SCALE: 3/32" = 1'-0"

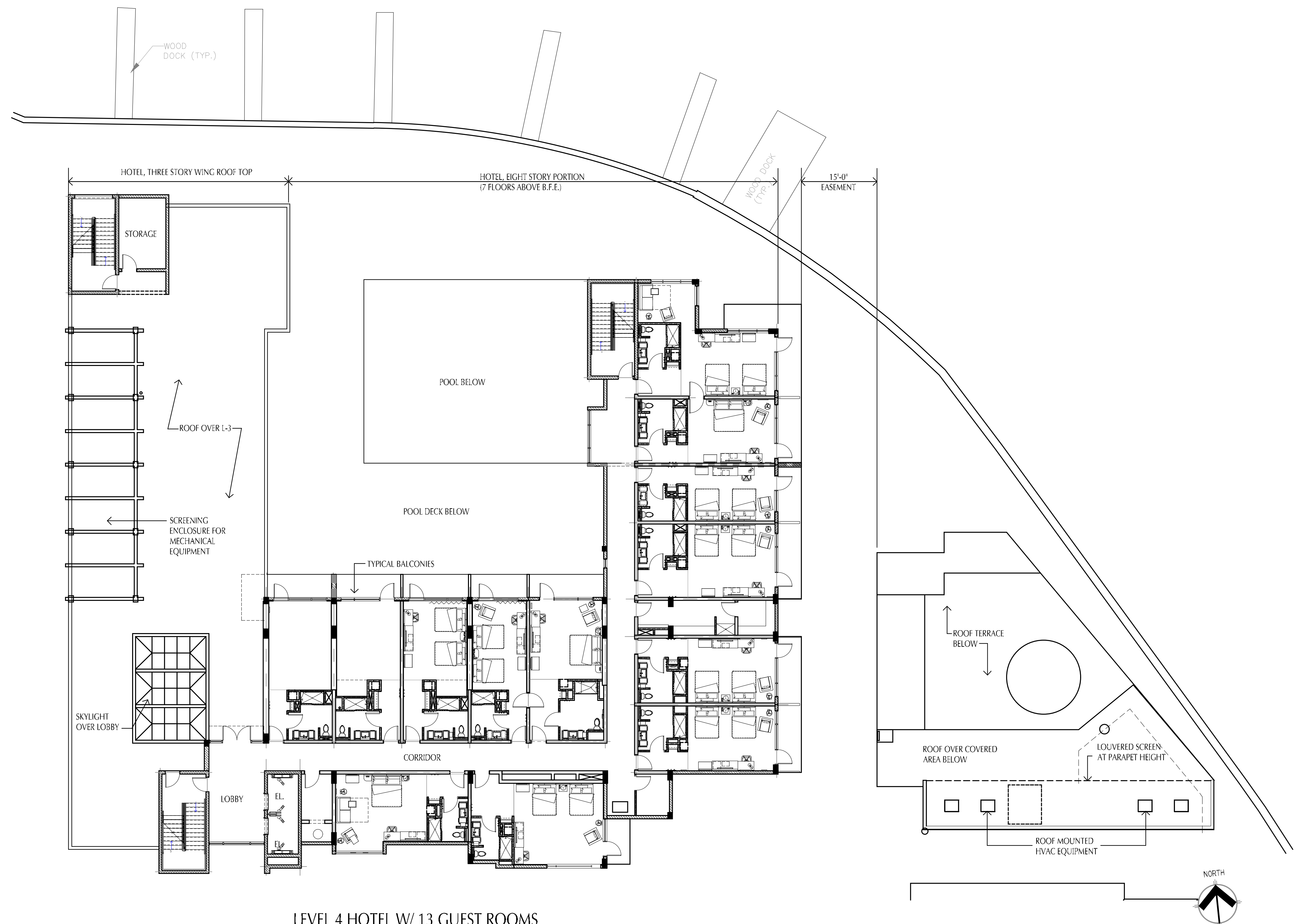
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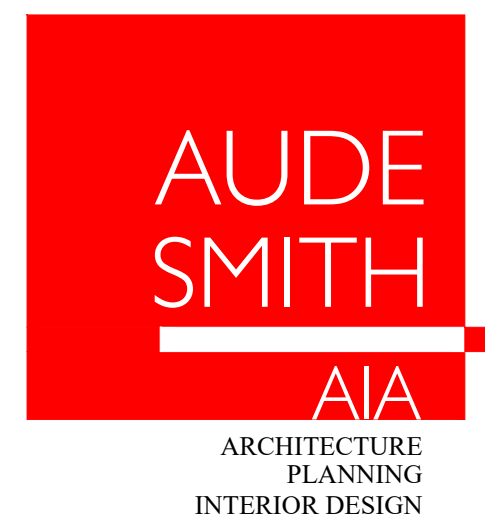
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LEVEL 3 PLAN



LEVEL 4 HOTEL W/ 13 GUEST ROOMS

COMPOSITE HOTEL LEVEL 4 PLAN W/ RESIDENCE  
SCALE: 3/32" = 1'-0"



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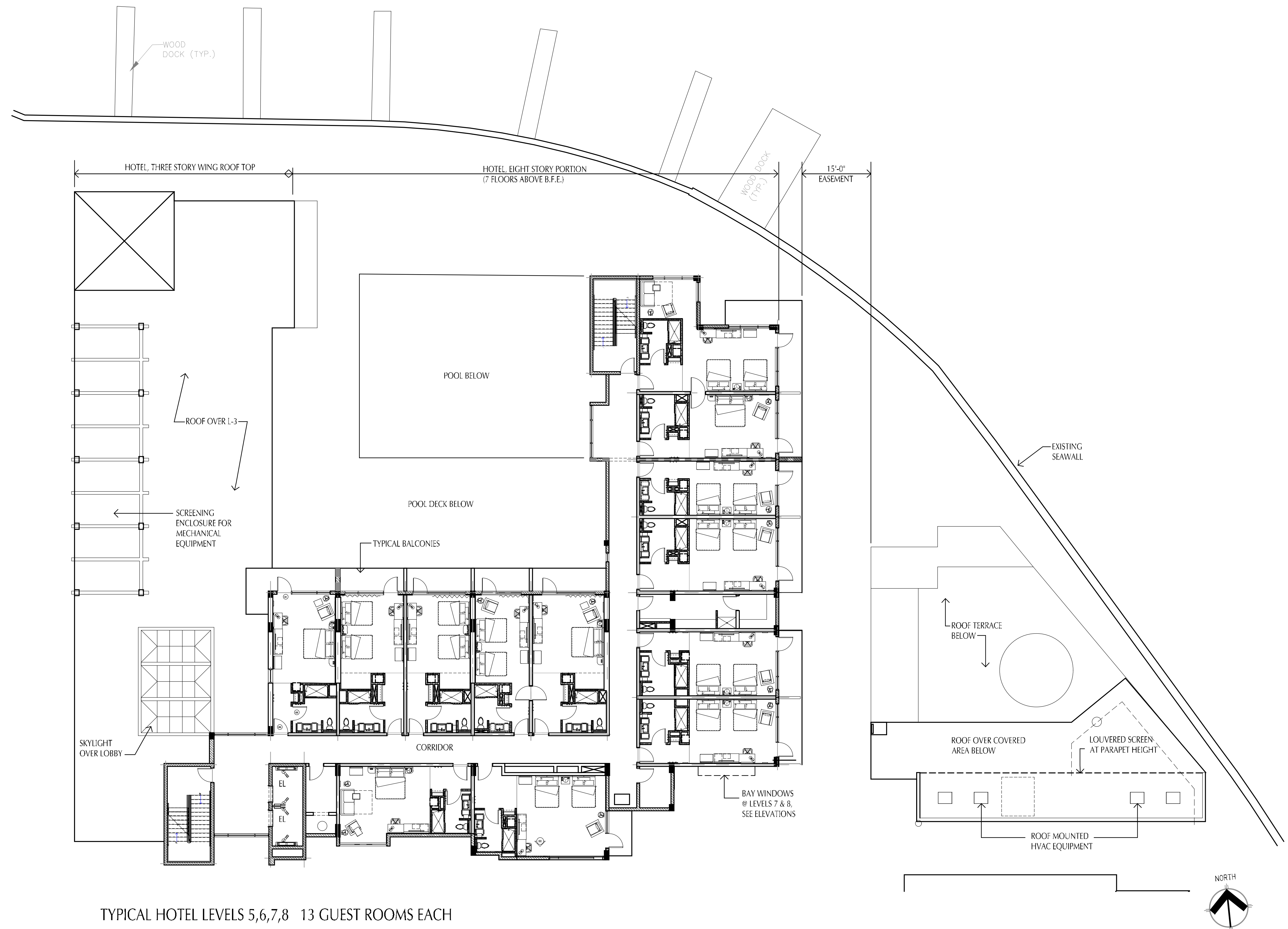
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LEVEL 4 PLAN





TYPICAL HOTEL LEVELS 5,6,7,8 13 GUEST ROOMS EACH

COMPOSITE HOTEL LEVEL 5 PLAN W/ RESIDENCE AND TYPICAL HOTEL LEVELS 5,6,7,8 13 GUEST ROOMS EACH

SCALE: 3/32" = 1'-0"



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LEVEL 5 PLAN

## KEYED NOTES

- 1 PAINTED STUCCO WITH SHADOW REVEALS
- 2 BAY WINDOWS AT L-7 AND L-8
- 3 ARCHITECTURAL GRILLWORK
- 4 TYPICAL: ACM PANELS AT OVERHANG AND SOFFIT
- 5 TYPICAL: PAINTED CEMENT FIBER DECORATIVE PANELS
- 6 BAY WINDOWS, L-3 THROUGH L-8
- 7 TYPICAL: 11'-0" X 7'-0" HIGH WINDOWS PANELS USED AT LOBBIES & GUESTROOMS
- 8 WINDOW PANELS IN HOTEL LOBBY
- 9 SERVICE ENTRANCE
- 10 ACM DECORATIVE PANELS
- 11 HOTEL ENTRANCE FROM DEVON
- 12 ARCHITECTURAL LOUVERS
- 13 ENTRANCE STAIRS TO LIVING LEVEL
- 14 CEMENT FIBER HORIZONTAL SIDING, PAINTED ON RESIDENCE

SW 6385  
DOVER  
WHITE

SW 7036  
ACCESSIBLE  
BEIGE

## RESIDENCE HEIGHT

- TOP OF PARAPET
- ROOF
- 22'-0" LEVEL 3  
UPPER BEDROOM &  
ROOF TERRACE
- 11'-0" LEVEL 2  
PRIMARY LIVING
- 0'-0" LEVEL 1  
PARKING

7'-0"  
BFE 12'-0"

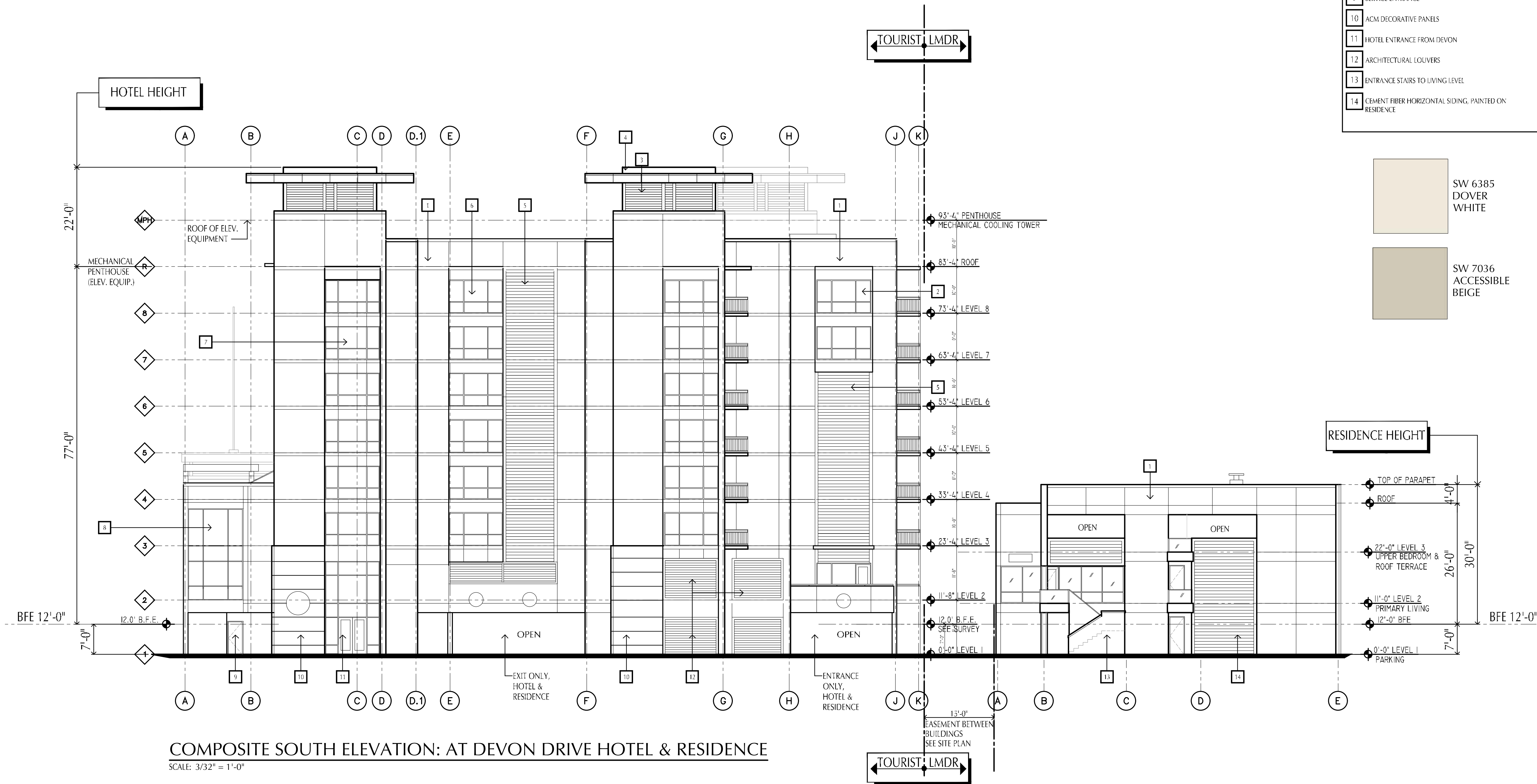
26'-0"

30'-0"

4'-0"

## COMPOSITE SOUTH ELEVATION: AT DEVON DRIVE HOTEL & RESIDENCE

SCALE: 3/32" = 1'-0"







SECTION/ AND EAST ELEVATION  
RESIDENCE & HOTEL

SCALE: 3/32" = 1'-0"

NOTE TO PLAN REVIEW  
THE DOMINATE ELEVATION OF PROPOSED RESIDENCE IS  
OBLIQUE TO THIS ORTHOGRAPHIC DRAWING. FOR  
CLARIFICATION SEE SHEET A-11 FOR "NORTHEAST" ELEVATION.

KEYED NOTES

- 1 8" POST TENSIONED CONCRETE FLOOR & ROOF FRAMING, SEE FLOOR PLAN FOR COLUMNS, SHEARWALLS, AND SPANS
- 2 OPEN DECK BELOW BFE W/ PARKING, SEE L-1
- 3 RESIDENTIAL ELEVATOR, DRY FLOOD PROOF IN MASONRY SHAFT
- 4 ROOF MOUNTED CONDENSORS SERVING 5 SPLIT SYSTEMS, SEE FLOOR PLAN FOR AHU LOCATIONS
- 5 SPA ON ROOF
- 6 UPPER LEVEL BEDROOM & BATH, SEE LEVEL 3 SHEET A-5
- 7 ELEVATION OF ADJACENT HOTEL ON WESTWARD TOURIST TRACT
- 8 WESTWARD 3 STORY WING OF HOTEL BEYOND



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SECTION

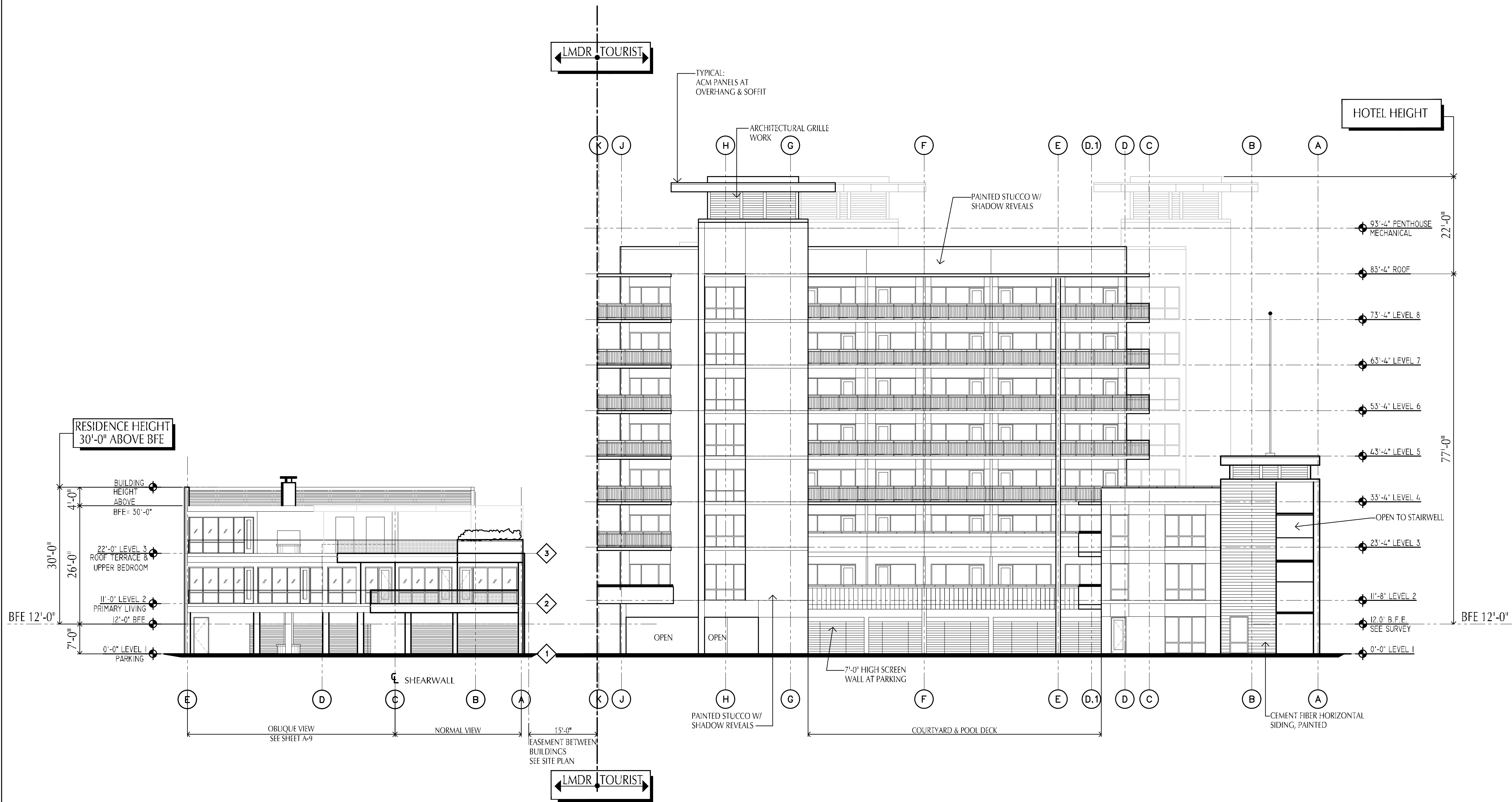
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ELEVATION



COMPOSITE NORTH ELEVATION  
SCALE: 3/32" = 1'-0"



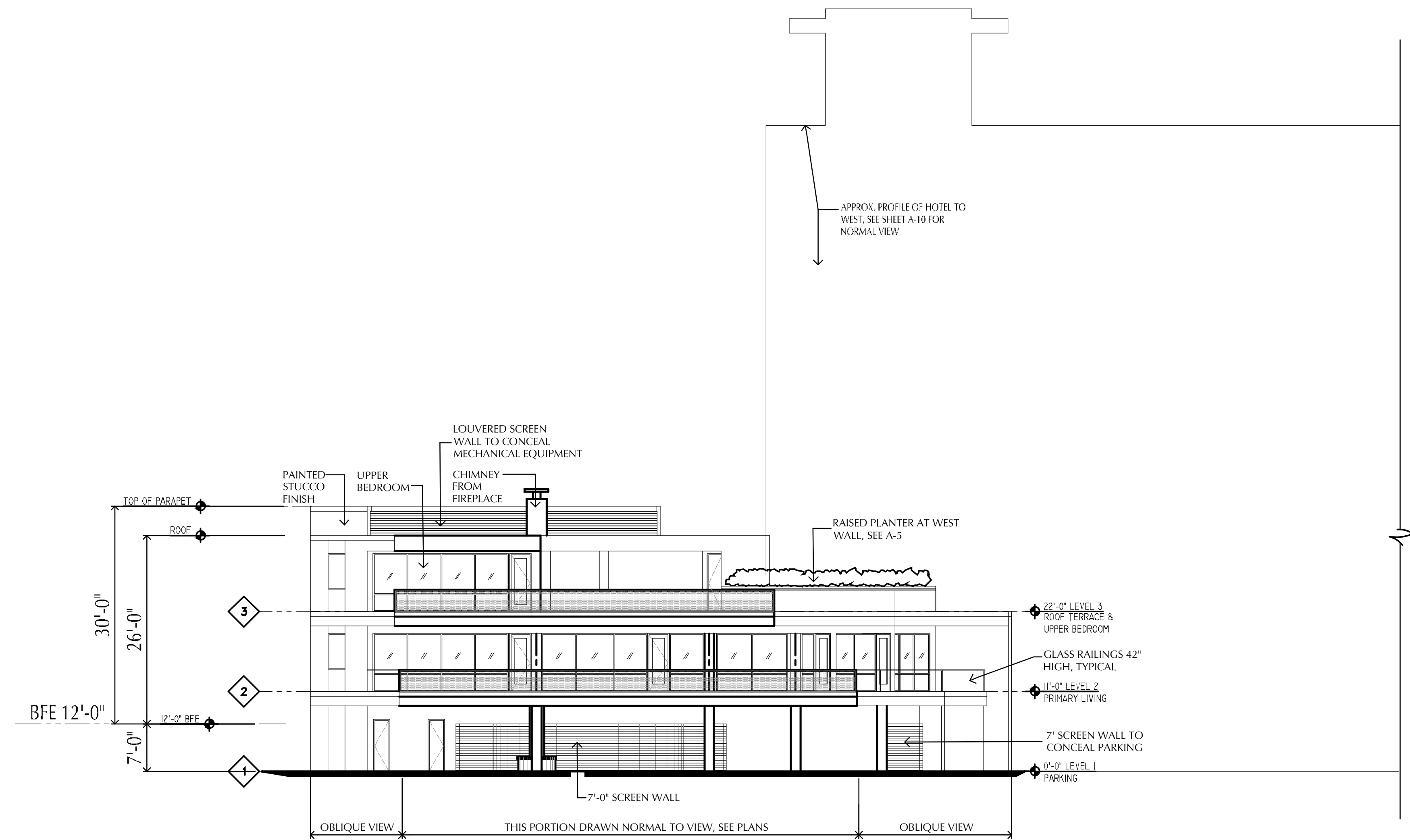
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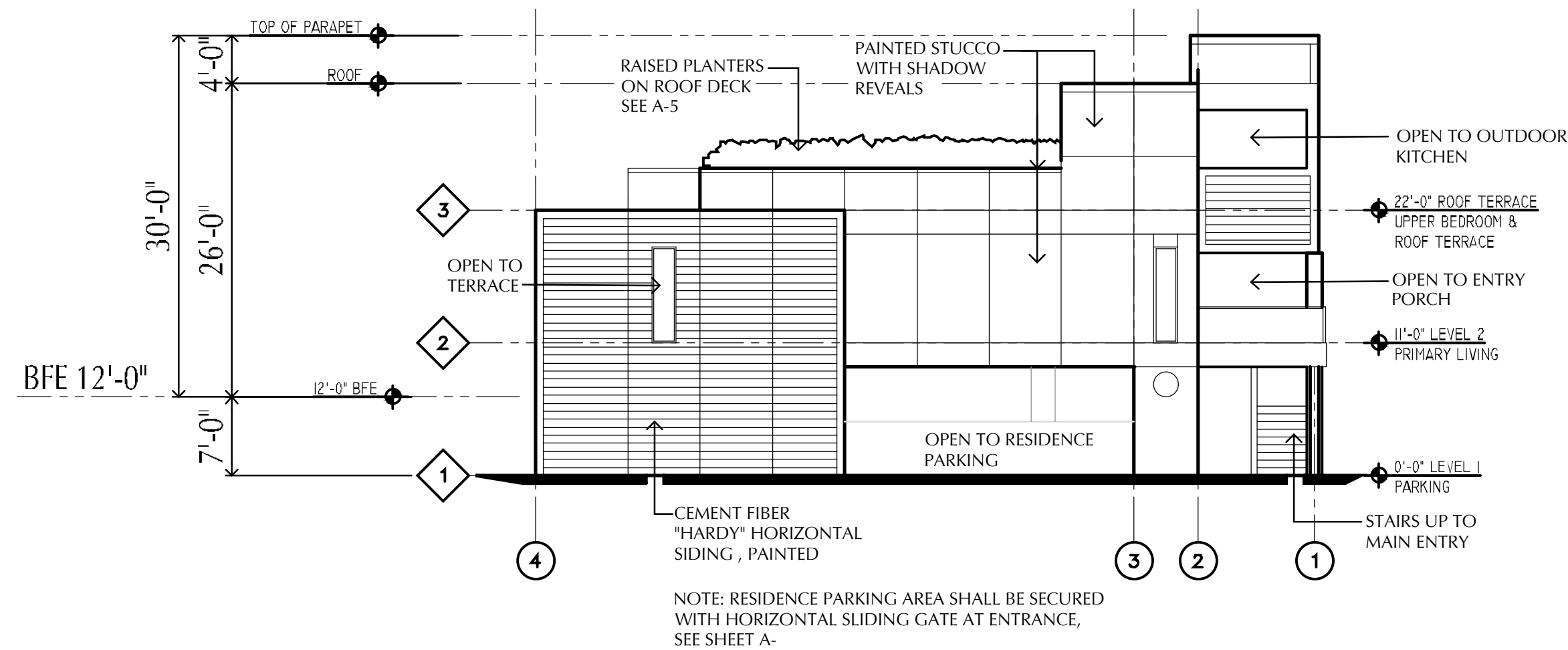
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ELEVATIONS



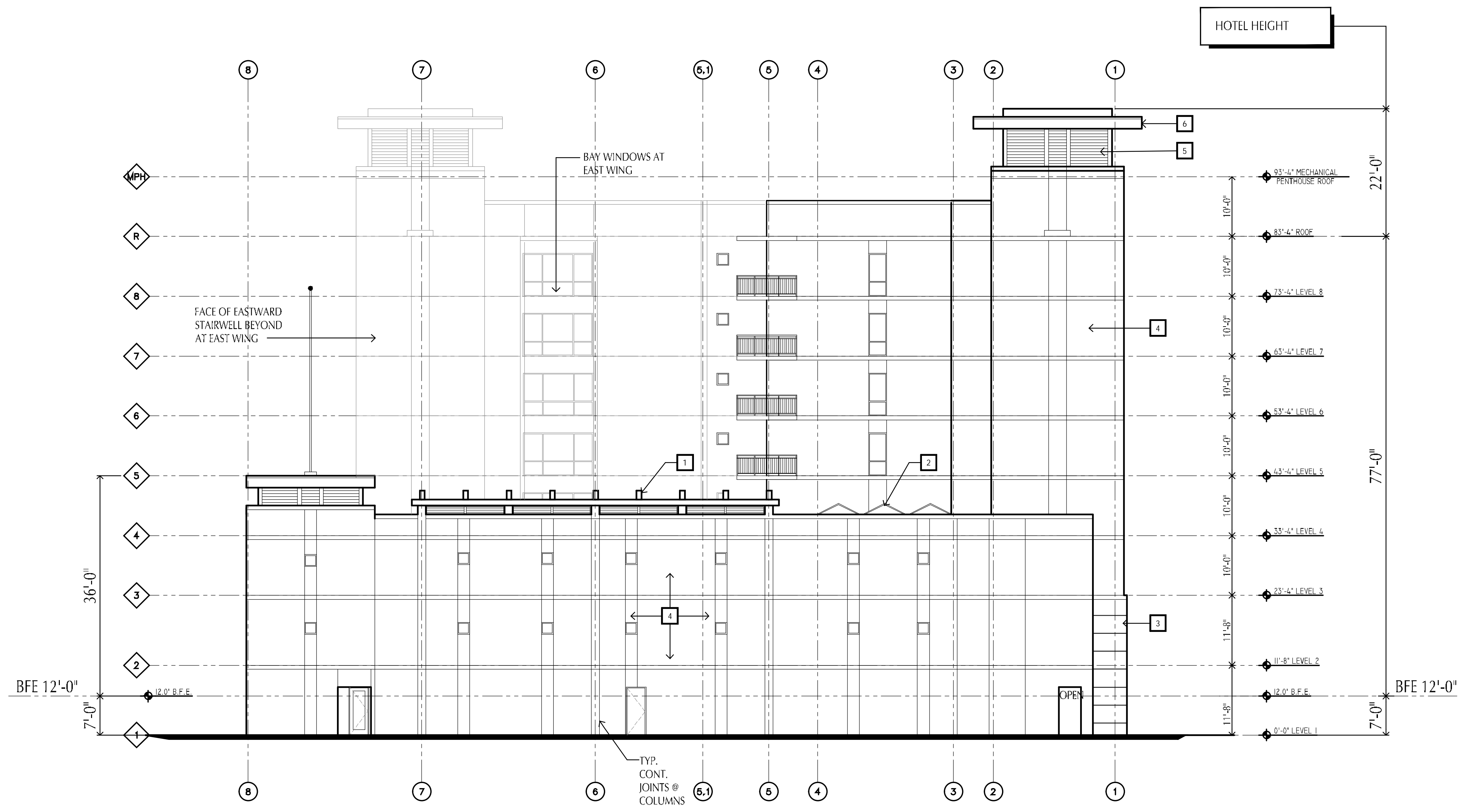
"NORTH/EAST" ELEVATION OF RESIDENCE

SCALE: 3/32" = 1'-0"



WEST ELEVATION OF RESIDENCE

SCALE: 1/8" = 1'-0"



**HOTEL, WEST ELEVATION**  
SCALE: 3/32" = 1'-0"

KEYED NOTES

- 1 ALUMINUM TRELLIS AND SCREEN WALL AROUND MECHANICAL EQUIPMENT ON ROOF OVER L-3
- 2 WASCO PYRAMID SKYLIGHTS (3)
- 3 ACM DECORATIVE PANELS
- 4 PAINTED STUCCO OVER CMU
- 5 OPEN LOUVERS WITH ARCHITECTURAL GRILLES
- 6 ACM FASCIA, SEE SOUTH ELEVATION

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