

Return to:  
Robert Kasmer  
Engineering Department  
City of Clearwater  
P. O. Box 4748  
Clearwater, FL 33758-4748

## UTILITY EASEMENT

**FOR AND IN CONSIDERATION** of the sum of Ten Dollars (\$10.00) in hand paid, the receipt of which is hereby acknowledged, and the benefits to be derived therefrom, Edgewater Valor Capital LLC, a Florida Limited Liability Company, whose mailing address is 400 Cleveland Street Clearwater, FL 33755 ("Grantor"), does hereby grant and convey to the **City of Clearwater, Florida**, a Florida Municipal Corporation, whose mailing address is 600 Cleveland St, 6<sup>th</sup> Floor, Clearwater, Florida 33756 ("Grantee"), its licensees, agents, successors and assigns a non-exclusive easement over, under, across and through the following described land lying and being situated in the County of Pinellas, State of Florida, to wit:

See Exhibit A appended hereto and by this reference made a part hereof ("Easement Premises")

The **CITY OF CLEARWATER, FLORIDA**, shall have the right to enter upon the above-described premises and construct, reconstruct, install and maintain therein the herein referenced utilities, together with appurtenances thereto (collectively, "Facilities"), and to inspect and alter such Facilities from time to time. Grantee shall be solely responsible for obtaining all governmental and regulatory permits required to exercise the rights granted herein.

The **CITY OF CLEARWATER, FLORIDA** covenants and agrees with Grantor that it shall promptly restore the Easement Premises and any affected areas surrounding the Easement Premises upon completion of any work activities undertaken in the exercise of these rights to at least the same quality of condition that existed as of the date Grantee first exercised any of its rights hereunder, and on each and every succeeding occasion thereafter. Grantee further represents and warrants that it shall diligently pursue the completion of all work activities in a timely manner.

Grantor warrants and covenants with Grantee that Grantor is the owner of fee simple title to the herein described Easement Premises, and that Grantor has full right and lawful authority to grant and convey this easement to Grantee, and that Grantee shall have the non-exclusive, limited purpose quiet and peaceful possession, use and enjoyment of this easement. It is expressly understood that Grantor reserves all rights of ownership of the Easement Premises not inconsistent with the easement rights granted herein.

In the event Grantor, its successors or assigns, should ever determine it necessary to relocate Grantee's facilities constructed within the Easement Premises to facilitate further development or redevelopment of the property encumbered hereby; then Grantor, its successors or assigns, in consultation with and upon approval of Grantee, shall provide an alternate easement for the utility facilities constructed within the Easement Premises, and shall at Grantor's sole cost and expense reconstruct the utility facilities within the alternate easement. Upon completion of the facilities relocation Grantee shall cause this easement to be vacated and evidence of vacation duly recorded in the public records of Pinellas County, Florida.

This easement is binding upon the Grantor, the Grantee, their heirs, successors and assigns. The rights granted herein shall be perpetual and irrevocable and shall run with the land, except by the written mutual agreement of both parties, or by abandonment of the Easement Premises by Grantee.

IN WITNESS WHEREOF, Grantor has hereunto set its hand and seal this 28<sup>th</sup>  
day of March, 2023.

Signed, sealed, and delivered  
in the presence of:

Ryan Feltz  
Print Witness Name

[Signature]  
Witness's Signature

BARIA SYCA  
Print Witness Name

[Signature]  
Witness's Signature

Moises Agami  
Print Grantor's Name

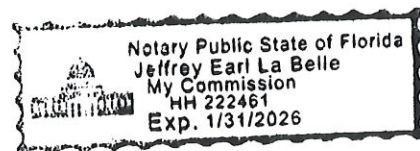
[Signature]  
Grantor's Signature

STATE OF FLORIDA  
COUNTY OF PINELLAS

The foregoing instrument was acknowledged before me by means of ☒ physical presence  
or ☐ online notarization, this 28<sup>th</sup> day of March, 2023, by  
Moises Agami, to me personally known or who has/have produced a  
driver's license as identification.

WITNESS my hand and official seal in the County and State last aforesaid this 28<sup>th</sup> day of  
March, 2023.

Jeff LaBelle  
Notary Public  
(Seal) Jeff LaBelle  
(Print Name of Notary Above)  
Commission No.: HH 222461  
My Commission expires: 1/31/2026



## AFFIDAVIT OF NO LIENS

STATE OF FLORIDA :  
 : ss  
COUNTY OF PINELLAS :

**BEFORE ME**, the undersigned authority, personally appeared Maria Nanni, whom, being duly authorized does depose and say:

1. That aforesaid party is the owner of legal and equitable title to the following described property in Pinellas County, Florida, to wit:

**See Exhibit A appended hereto and by this reference made a part hereof**

2. That there has been no labor performed or materials furnished on said property for which there are unpaid bills for labor or materials against said property, other than those which will be paid during the normal course of business, except: (list, or if none, insert "**NONE**". If no entry, it will be deemed that "**NONE**" has been entered.)

NONE \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

3. That there are no liens or encumbrances of any nature affecting the title of the property herein described, except easements and restrictions of record, any encroachments, overlaps or other rights of third parties which would be shown by a current survey, except: (list, or if none, insert "**NONE**." If no entry, it will be deemed that "**NONE**" has been entered.)

- Mortgage from BANCO INBURSA S A INSTITUCION DE BANCA MULTIPLE GRUPO  
FINANCIERO INBURSA  
- Lien from BILLD EXCHANGE LLC

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. That no written notice has been received for any public hearing regarding assessments for improvements by any government, and there are no unpaid assessments against the above described property for improvements thereto by any government, whether or not said assessments appear of record.

5. That there are no outstanding sewer service charges or assessments payable to any government.

6. That the representations embraced herein have been requested by the **CITY OF CLEARWATER**, its agents, successors and assigns to rely thereon in connection with the granting of the easement herein being conveyed to encumber the above-described property.



IN WITNESS WHEREOF, Grantor has hereunto set its hand and seal this 28<sup>th</sup>  
day of March, 2023.

Signed, sealed, and delivered  
in the presence of:

Ryan Flatt  
Print Witness Name

[Signature]  
Witness's Signature

BARIA SYKA  
Print Witness Name

[Signature]  
Witness's Signature

Moises Agami  
Print Grantor's Name

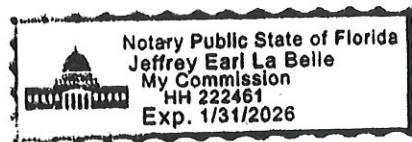
[Signature]  
Grantor's Signature

**STATE OF FLORIDA  
COUNTY OF PINELLAS**

The foregoing instrument was acknowledged before me by means of ☒ physical presence  
or ☐ online notarization, this 28<sup>th</sup> day of March, 2023, by  
Moises Agami, to me personally known or who has/have produced a  
driver's license as identification.

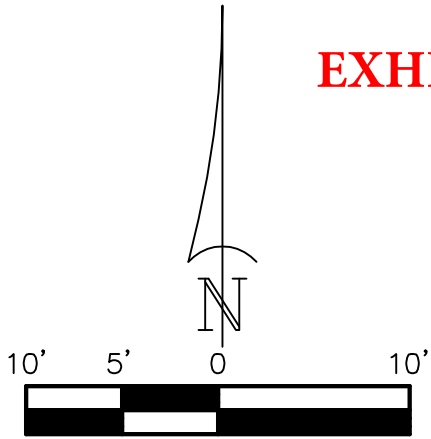
**WITNESS** my hand and official seal in the County and State last aforesaid this 28 day of  
March, 2023.

Jeff LaBelle  
Notary Public  
(Seal) Jeff LaBelle  
(Print Name of Notary Above)  
Commission No.: HH 222461  
My Commission expires: 1/31/2026



# EXHIBIT A

SECTION 3, TOWNSHIP 29S, RANGE 15E  
CITY OF CLEARWATER, PINELLAS COUNTY, FLORIDA  
PROJECT NUMBER 4741-01



SCALE: 1" = 10'

## LEGEND

BNDY = BOUNDARY  
COR = CORNER  
OR = OFFICIAL RECORDS BOOK  
PB = PLAT BOOK  
PG = PAGE  
POB = POINT OF BEGINNING  
POC = POINT OF COMMENCEMENT  
R/W = RIGHT-OF-WAY  
SR = STATE ROAD  
US = UNITED STATES

## SUNNYDALE DRIVE

**POC**  
NORTHWEST CORNER OF LOT 2  
SUNNYDALE SUBDIVISION  
PB 31, PG 12

S89°23'59"E  
4.04'

S89°23'59"E  
20.00'

**POB**

NORTH  
15.00'

15.00' SOUTH

20.00'  
N89°23'59"W

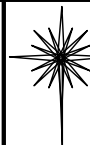
SUNNYDALE SUBDIVISION  
PLAT BOOK 31, PAGE 12

NOT A SURVEY

SHEET 1 OF 2

ITEM	DATE	BY	QC
SKETCH & DESCRIPTION	10-24-22	SMW	DHR
H:\JN\4741\DWG\4741SD WM EASE.DWG			

EXHIBIT "E"  
PROPOSED 15 X 20"  
UTILITY EASEMENT



**POLARIS** ASSOCIATES INC.  
PROFESSIONAL SURVEYING LB 6113  
2165 SUNNYDALE BOULEVARD, SUITE D  
CLEARWATER, FLORIDA 33765  
(727) 461-6113

**DESCRIPTION**

THAT PORTION OF SUNNYDALE SUBDIVISION AS RECORDED IN PLAT BOOK 31, PAGE 12, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA,  
BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF LOT 2, SUNNYDALE SUBDIVISION, THENCE S.89°23'59"E., 4.04 FEET  
ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID PLAT TO THE POINT OF BEGINNING; THENCE S.89°23'59"E., 20.00  
FEET; THENCE SOUTH, 15.00 FEET; THENCE N.89°23'59"W., 20.00 FEET; THENCE NORTH, 15.00 FEET TO THE POINT  
OF BEGINNING.

CONTAINING 300.016 SQUARE FEET OR 0.006 ACRES, MORE OR LESS

**NOTES**

1. BEARINGS ARE BASED ON THE SURVEY CENTERLINE OF STATE ROAD 595, BEING ASSUMED AS N 05°56'39"E.
2. LEGAL DESCRIPTION WAS PREPARED BY POLARIS ASSOCIATES, INC.
3. RE-USE OF THIS SKETCH FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN  
VERIFICATION, WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING  
HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED  
TO.
4. THIS SKETCH IS NOT INTENDED TO SHOW THE LOCATION OR EXISTENCE OF ANY JURISDICTIONAL, HAZARDOUS  
OR ENVIRONMENTALLY SENSITIVE AREAS.
5. THIS SKETCH WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND MAY BE SUBJECT TO  
EASEMENTS, RESTRICTIONS, RIGHTS-OF-WAY AND OTHER MATTERS OF RECORD.

**CERTIFICATION**

I HEREBY CERTIFY THAT THE SKETCH REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE SET FORTH  
BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA  
ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

*Dan H. Rizzuto*

DAN H. RIZZUTO  
PROFESSIONAL LAND SURVEYOR  
LS 5227, STATE OF FLORIDA

SHEET 2 OF 2

HA\JN\4741\DWG\4741SD WM EASE.DWG, 11/2/2022 1:32:34 PM, DHR

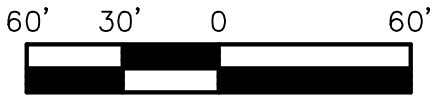
NOT A SURVEY

ITEM	DATE	BY	QC
SKETCH & DESCRIPTION	10-24-22	SMW	DHR
HA\JN\4741\DWG\4741SD WM EASE.DWG			

EXHIBIT "E"  
PROPOSED 15 X 20"  
UTILITY EASEMENT



**POLARIS** ASSOCIATES INC.  
PROFESSIONAL SURVEYING LB 6113  
2165 SUNNYDALE BOULEVARD, SUITE D  
CLEARWATER, FLORIDA 33765  
(727) 461-6113



SCALE: 1" = 60'

### LEGEND

BNBY = BOUNDARY  
COR = CORNER  
OR = OFFICIAL RECORDS BOOK  
PB = PLAT BOOK  
PG = PAGE  
POB = POINT OF BEGINNING  
POC = POINT OF COMMENCEMENT  
R/W = RIGHT-OF-WAY  
SR = STATE ROAD  
US = UNITED STATES

SECTION 3, TOWNSHIP 29S, RANGE 15E  
CITY OF CLEARWATER, PINELLAS COUNTY, FLORIDA  
PROJECT NUMBER 4741-01

### LINE TABLE

LINE	BEARING	DISTANCE
L1	S89°24'24"E	51.30'
L2	S00°35'29"W	6.31'
L3	S89°25'26"E	1.69'
L4	S00°41'12"W	3.69'
L5	N89°24'24"W	43.00'
L6	N87°41'49"W	10.00'

**EXHIBIT A**

SUNNYDALE DRIVE

SUNNYDALE SUBDIVISION

PLAT BOOK 31, PAGE 12

1

2

LOT 3

3

5' UTILITY EASEMENT

10' ALLEY PER PLAT BOOK 4, PAGE 56

2

6

7

8

9

SUNSET POINT  
SUBDIVISION

PLAT BOOK 4, PAGE 56

3

4

5

POC

SOUTHEAST CORNER  
OF LOT 5, SUNSET  
POINT SUBDIVISION

WEST 34' FEET  
OF LOT 3

WEST 40'  
OF LOT 9

N 00°41'12"E 264.83'

S 00°41'12"W 255.13'

POB

135.99'  
S 82°12'27"E

31.71'  
S 87°41'49"E

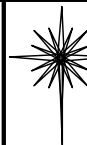
SUNSET POINT ROAD

NOT A SURVEY

SHEET 1 OF 2

ITEM	DATE	BY	QC
REVISE SKETCH	08-13-19	DHR	DHP
SKETCH & DESCRIPTION	07-08-19	SMW	DHR
H: \JN\4741\DWG\4741SD SANI EASE.DWG			

**EXHIBIT "C"**  
**PROPOSED 10' UTILITY**  
**EASEMENT**



**POLARIS** ASSOCIATES INC.  
PROFESSIONAL SURVEYING LB 6113  
2165 SUNNYDALE BOULEVARD, SUITE D  
CLEARWATER, FLORIDA 33765  
(727) 461-6113

## DESCRIPTION

THAT PORTION OF SUNNYDALE SUBDIVISION AS RECORDED IN PLAT BOOK 31, PAGE 12, AND SUNSET POINT SUBDIVISION AS RECORDED IN PLAT BOOK 4, PAGE 56, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, BEING FURTHER DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF LOT 5, SUNSET POINT SUBDIVISION; THENCE ALONG THE NORTH RIGHT-OF-WAY LINE OF SUNSET POINT ROAD, S.82°12'27"E., 135.99 FEET; THENCE S.87°41'49"E., 31.71 FEET TO THE POINT OF BEGINNING; THENCE LEAVING SAID NORTH RIGHT-OF-WAY LINE, N.00°41'12"E., 264.83 FEET; THENCE S.89°24'24"E., 51.30 FEET; THENCE S00°35'29"W., 6.31 FEET; THENCE S89°25'26"E., 1.69 FEET; THENCE S.00°41'12"W., 3.69 FEET; THENCE N.89°24'24"W., 43.00 FEET; THENCE S.00°41'12"W., 255.13 FEET TO THE AFORESAID NORTH RIGHT-OF-WAY LINE OF SUNSET POINT ROAD; THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE, N.87°41'49"W., 10.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 3,069 SQUARE FEET OR 0.070 ACRES, MORE OR LESS

## NOTES

1. BEARINGS ARE BASED ON THE SURVEY CENTERLINE OF STATE ROAD 595, BEING ASSUMED AS N 05°56'39"E.
2. LEGAL DESCRIPTION WAS PREPARED BY POLARIS ASSOCIATES, INC.
3. RE-USE OF THIS SKETCH FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN VERIFICATION, WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.
4. THIS SKETCH IS NOT INTENDED TO SHOW THE LOCATION OR EXISTENCE OF ANY JURISDICTIONAL, HAZARDOUS OR ENVIRONMENTALLY SENSITIVE AREAS.
5. THIS SKETCH WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND MAY BE SUBJECT TO EASEMENTS, RESTRICTIONS, RIGHTS-OF-WAY AND OTHER MATTERS OF RECORD.

## CERTIFICATION

I HEREBY CERTIFY THAT THE SKETCH REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027 FLORIDA STATUTES.

  
DAN H. RIZZUTO  
PROFESSIONAL LAND SURVEYOR  
LS 5227, STATE OF FLORIDA

**NOT A SURVEY**

SHEET 2 OF 2

ITEM	DATE	BY	QC
REVISE SKETCH	08-13-19	DHR	DHR
SKETCH & DESCRIPTION	07-08-19	SMW	DHR
H: \JN\4741\DWG\4741SD SANI EASE.DWG			

**EXHIBIT "C"**  
**PROPOSED 10' UTILITY**  
**EASEMENT**



**POLARIS** ASSOCIATES INC.  
PROFESSIONAL SURVEYING LB 6113  
2165 SUNNYDALE BOULEVARD, SUITE D  
CLEARWATER, FLORIDA 33765  
(727) 461-6113



FIRE DEPARTMENT NOTES

Fire Notes:

1. Shall meet the requirements of the Florida Fire Prevention Code 6<sup>th</sup> Edition.
2. Shall meet the requirements of NFPA 1 2015 edition chapter 16 Safeguarding Construction, Alteration, and Demolition Operations to include but not be limited to complying with NFPA 241 including establishing a fire protection plan, providing and maintaining adequate escape facilities throughout the entire project and providing stairs and standpipe as the building progresses. A pre-construction meeting shall be set up to discuss these and other issues resulting in this construction project. This shall be coordinated through the construction site project manager. Where underground water mains and hydrants are to be installed, they shall be installed, completed and in service prior to construction as per NFPA-241. All underground fire lines must be installed by a contractor with a class I, II or V license with separate plans and permit.
3. Provisions for Fire Sprinkler protection. FDC and DDCV locations. Shall meet the requirement of NFPA 101 2015 Edition Sections 30.3.5 Extinguishing Requirements.
4. A supporting fire hydrant shall be provided to supply the FDC. This fire hydrant shall be located on the same side of the street as the building within 25-50 feet as measured along a normal access route of the fire department connection. FDC shall be a minimum of 15' from building. Fire Department Connection shall be a 2 1/2 inch Siamese connection listed for such use.
5. Separate plans and permits will be required for Fire Alarm and Fire Sprinkler work.
6. An automatic Class I standpipe system with a Fire Pump is required. 100psi at roof is required. Fire Pump to be located above BFE.
7. Tamper switches are required to be installed on the fire supply DDCV and must be connected to the FACP.
8. Must test for if needed, to comply with City of Clearwater Ordinance No. 7617-06 sec. 47.053 Radio System Regulations for Buildings.
9. Areas of refuge required in this building. Shall meet the requirements of NFPA 101 2015 Edition Section 30.2.2.12 Areas of Refuge. Required elevator shall meet the requirements of ASME A17.1/CSA B44, Safety Code for Elevators and Escalators, for standby power.
10. High rise building is defined as a building where the floor of an occupiable story is greater than 75 ft above the lowest level of fire department vehicle access. all buildings shown greater than 75 ft above the lowest level of fire department vehicle access meet the definition of high rise buildings and shall meet the requirements of NFPA 101 2015 edition section 11.8 High Rise Building.
11. Gates at access roadway. Shall meet the requirement of NFPA 1 2015 edition section 18.2 Fire Department Access. Provide knox key Switch for Access Gate.
12. 520 FIRE FINAL INSPECTION IS REQUIRED AFTER THE PERMIT HAS BEEN ISSUED BEFORE THE PERMIT CAN BE COMPLETED / CLOSED.

NOTE:

CONTRACTOR SHALL CALL FOR A 000-SITE DEVELOPMENT MEETING WITH THE CITY OF CLEARWATER'S ENGINEERING DEPARTMENT'S UTILITY CONSTRUCTION INSPECTORS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES ON SITE TO SCHEDULE AN INSPECTION BY PHONE PLEASE DIAL 727-562-4580.

NOTE:

THE CITY WILL NOT BE RESPONSIBLE TO RESTORE THE DECORATIVE PAVEMENT WITHIN THE UTILITY EASEMENT IF THE CITY HAS TO USE THE EASEMENT RIGHT.

NOTE:

NO DOG HOUSE MANHOLES ARE ALLOWED.

EXHIBIT A

SANITARY SEWER TABLE				
PIPE	LENGTH	DIAMETER	TYPE	SLOPE
①-②	250'	8"	PVC	0.54%
②-③	205'	8"	PVC	1.17%
③-④	202'	8"	PVC	2.10%
④-⑤	102'	8"	PVC	0.59%

SANITARY STRUCTURE TABLE			
#	STRUCTURE TYPE	RIM ELEV.	INV. ELEV.
①	SAN. MANHOLE	7.0'	2.75'
②	SAN. MANHOLE	6.5'	1.4'
③	SAN. MANHOLE	8.7'	4.95'± EX. (E) 3.25' NEW (S)
④	SAN. MANHOLE	6.0'	(-13.4'± EX. VERIFY PRIOR TO CONST.) 0.00' EAST
⑤	SEWER MANHOLE	4.20'	(-1.62' NEW (W))

NOTE TO CONTRACTOR:

1. PLUG UPSTREAM & DOWNSTREAM MH's .BYPASS FROM MH TO MH .EXCAVATE, CUT MAIN, INSTALL NEW PRE-CAST MH PER CITY DETAIL 302 ON SHEET C6.2 .REMOVE BYPASS .REMOVE PLUGS
2. THE COLLECTION SYSTEM LOCATED WITHIN THE EASEMENT IS PUBLIC AND THE REST OF THE SYSTEM IS PRIVATE.
3. ALL PUBLIC SANITARY SEWER LIDS SHALL BE PER CITY DETAIL 301 AND ALL PRIVATE SANITARY SEWER LIDS SHALL SAY PRIVATE.
4. CONTRACTOR SHALL COORDINATE WITH CITY INSPECTOR FOR CONSTRUCTION OF MANHOLES 3, 4 & 5

NOTES:

FIRE DEPARTMENT MAY REQUIRE THE PROVISION OF A WATER STUDY PERFORMED BY A FIRE PROTECTION ENGINEER IN ORDER TO ENSURE THAT AN ADEQUATE WATER SUPPLY IS AVAILABLE AND TO DETERMINE IF ANY UPGRADES ARE REQUIRED BY THE DEVELOPER DUE TO THE IMPACT OF THE PROJECT. THE WATER SUPPLY MUST BE ABLE TO SUPPORT THE NEEDS OF ANY REQUIRED FIRE SPRINKLER, STANDPIPE AND/OR FIRE PUMP. IF A FIRE PUMP IS REQUIRED, THEN THE WATER SUPPLY MUST BE ABLE TO SUPPLY 150 PERCENT OF ITS RATED CAPACITY.

LOCATION AND VISIBILITY OF ELECTRIC EQUIPMENT (ELECTRIC PANELS, BOXES AND METERS) BE REVIEWED AND, IF LOCATED EXTERIOR TO THE BUILDING WHERE VISIBLE FROM ANY STREET FRONTAGE, BE SHOWN TO BE PAINTED THE SAME COLOR AS THE PORTION OF THE BUILDING TO WHICH SUCH FEATURES ARE ATTACHED.

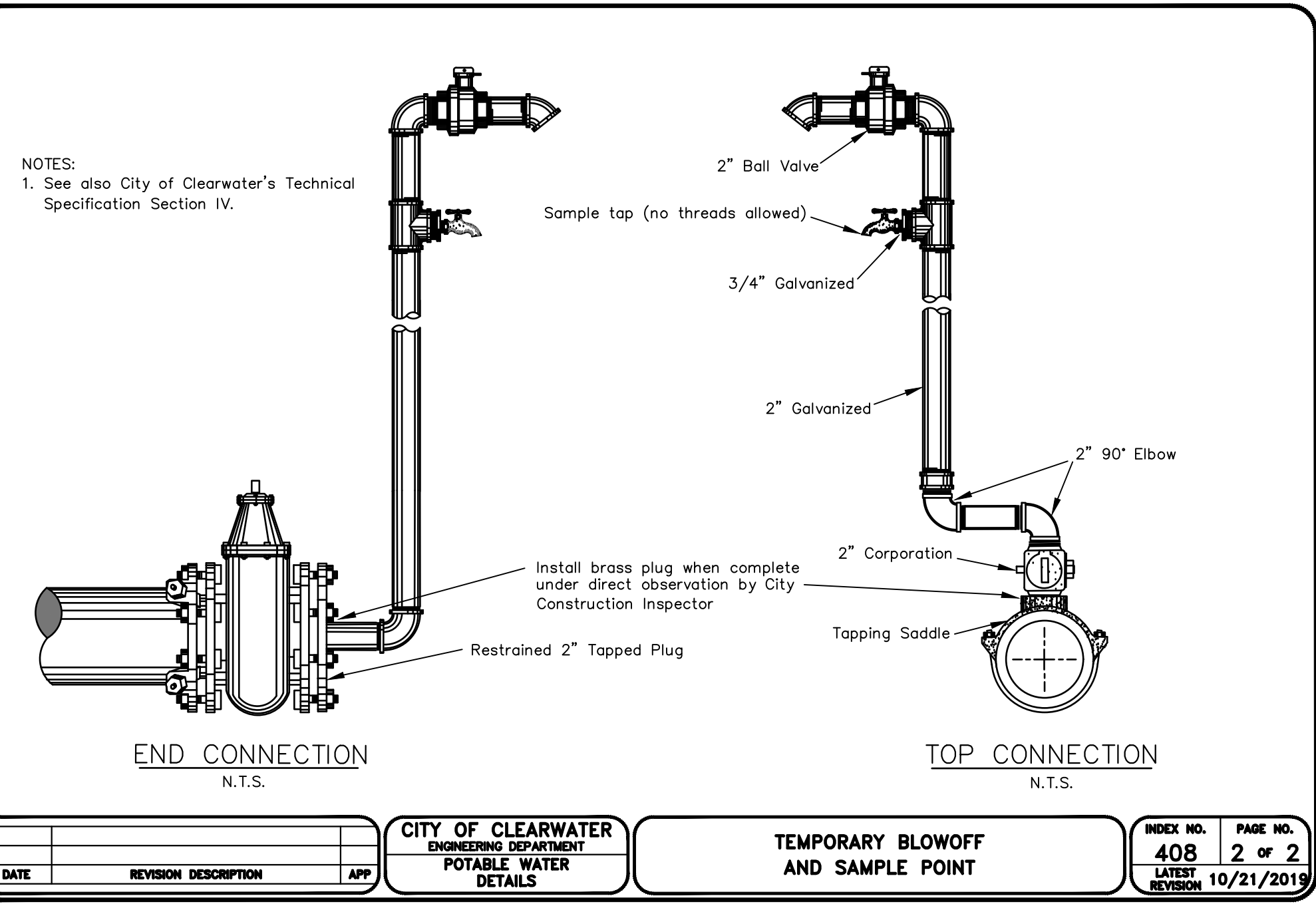
SCREENING DETAILS FOR ALL MECHANICAL EQUIPMENT ARE PROVIDED AND SHALL BE SCREENED FROM PUBLIC VIEW BY LANDSCAPING, FENCING, OR ARCHITECTURALLY- FINISHED WALLS AND/OR ENCLOSURES DESIGNED TO BE COMPATIBLE WITH THE EXTERIOR FACADE OF THE BUILDING.

520 FIRE FINAL INSPECTION IS REQUIRED AFTER THE PERMIT HAS BEEN ISSUED AND BEFORE THE PERMIT CAN BE COMPLETED/CLOSED. FINAL DESIGN, COLOR, AND ELEVATION OF THE PROPOSED BUILDING BE GENERALLY CONSISTENT WITH THE CONCEPTUAL DESIGN APPROVED BY CDB.



SCALE: 1"=30'

LEGEND	
NEW INLET	EXIST. ELEVATION
NEW INSPECTION RIM & COVER	PROP. ELEVATION
NEW CLEAN-OUT(C.O.)	NEW MITERED END
TEMP. SILT BARRIER	EXIST. STORM SEWER
POINT OF CONNECTION OF NEW UTILITY TO EXIST.	NEW STORM SEWER
FLOW ARROW	EXIST. SAN. SEWER
SWALE ARROW	NEW SAN. SEWER
T.B.O. T.&V. M. F.H.A. F.D.C.	EXIST. WATER SERVICE
TEMPORARY BLOW-OFF TAP AND VALVE METER FIRE HYDRANT ASSEMBLY FIRE DEPARTMENT CONNECTION	NEW WATER SERVICE
	PROP. CONTOUR



DATE	REVISION	DESCRIPTION	APP

CITY OF CLEARWATER ENGINEERING DEPARTMENT POTABLE WATER DETAILS	TEMPORARY BLOWOFF AND SAMPLE POINT	INDEX NO. 408 LATEST REVISION 10/21/2019	PAGE NO. 2 OF 2
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