

Clearwater Beach Marina Redevelopment Final Design Presentation

for City Council Work Session

November 13, 2023



Nicole Pauly Shaw, PE
Moffatt & Nichol



Project Goals

- Replace aging docks
- Replace / modernize marina utilities
- Optimize marina slip mix & layout
- Maximize city-owned submerged lands, but maintain existing slip count and balance
- Provide upland storage and ticket sales opportunities
- Reduce congestion along Coronado Drive
- Activate “Marina Walk”
- Maintain commercial operations during construction
- Provide 2 boat slips for water taxi
- **Replace/raise bulkhead**



CLEARWATER
BEHOLD AND BEAUTIFUL - BAY TO BEACH



moffatt & nichol

Project Progress

➤ NTP Oct 2021

1. Master Plan

- Market Study
- Commercial Tenant Outreach

2. 30% Submittal

3. 60% Submittal

4. Permitting

- Federal channel deauthorized Jan 2023
- FDEP ERP permit authorized June 2023
- FDEP stormwater exemption authorized Sept 2023
- Flex development app approved by CDB Oct 2023
- Army Corps (on going)
- Pinellas County PCWNCA (on going)

5. Grants

- Sportfish Restoration (on going)
- Tourism Development Council (on going)

6. Final Design (On going)

What's Next?

- Bid Submittal (90%) Nov 2023
- CMAR Bid Phase
- Construction Documents (100%)
- Building permitting
- Construction

Project Risks

- Federal Channel Deauthorization
- Parking Reduction
- Dredge Disposal
- Inflation & Supply chain issues

Project Area



PROJECT AREA

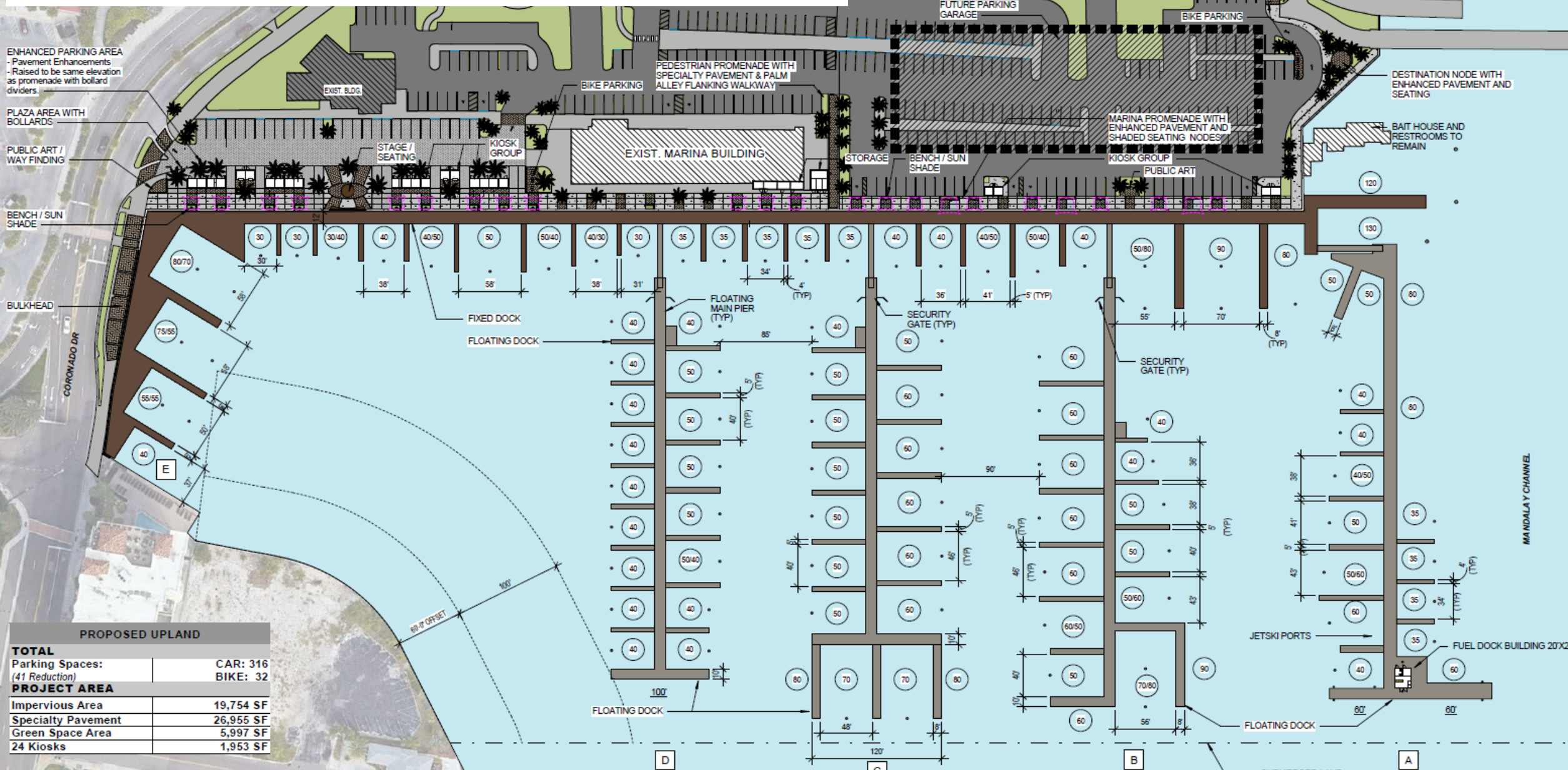
-  Upland
-  Marina

EXISTING SLIP MIX

Slip Size	COMMERCIAL*		RECREATIONAL		TOTAL	
	(#)	(%)	(#)	(%)	(#)	(%)
<40	21	35.6%	29	27.4%	50	30.3%
40	9	15.3%	0	0.0%	9	5.5%
50	10	16.9%	58	54.7%	68	41.2%
60	8	13.6%	7	6.6%	15	9.1%
70+	11	18.6%	12	11.3%	23	13.9%
Total	59	100.0%	106	100.0%	165	100%

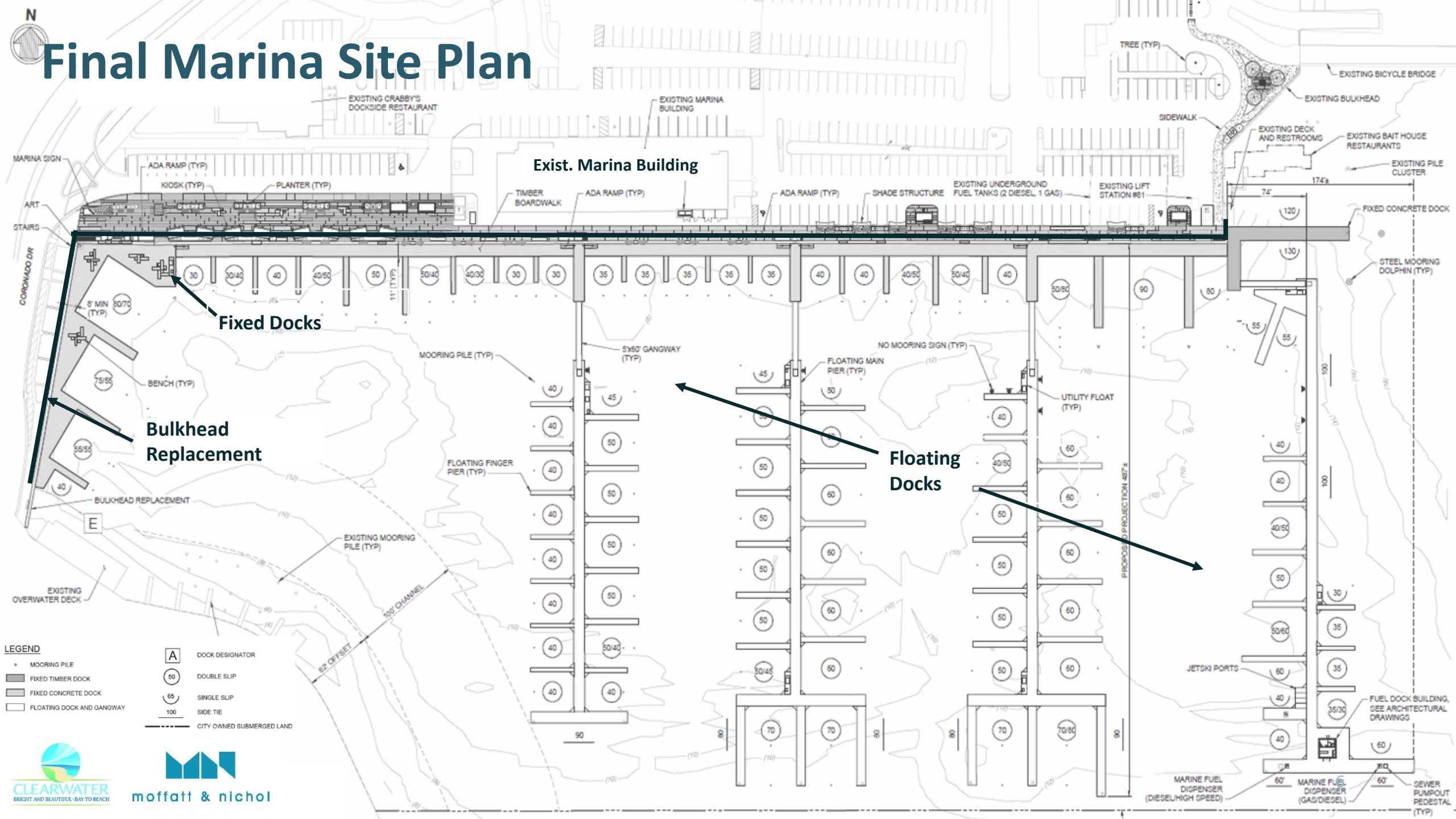
*Commercial count includes 6 fuel slips and 1 ferry slip

Master Plan - Hybrid Alternative

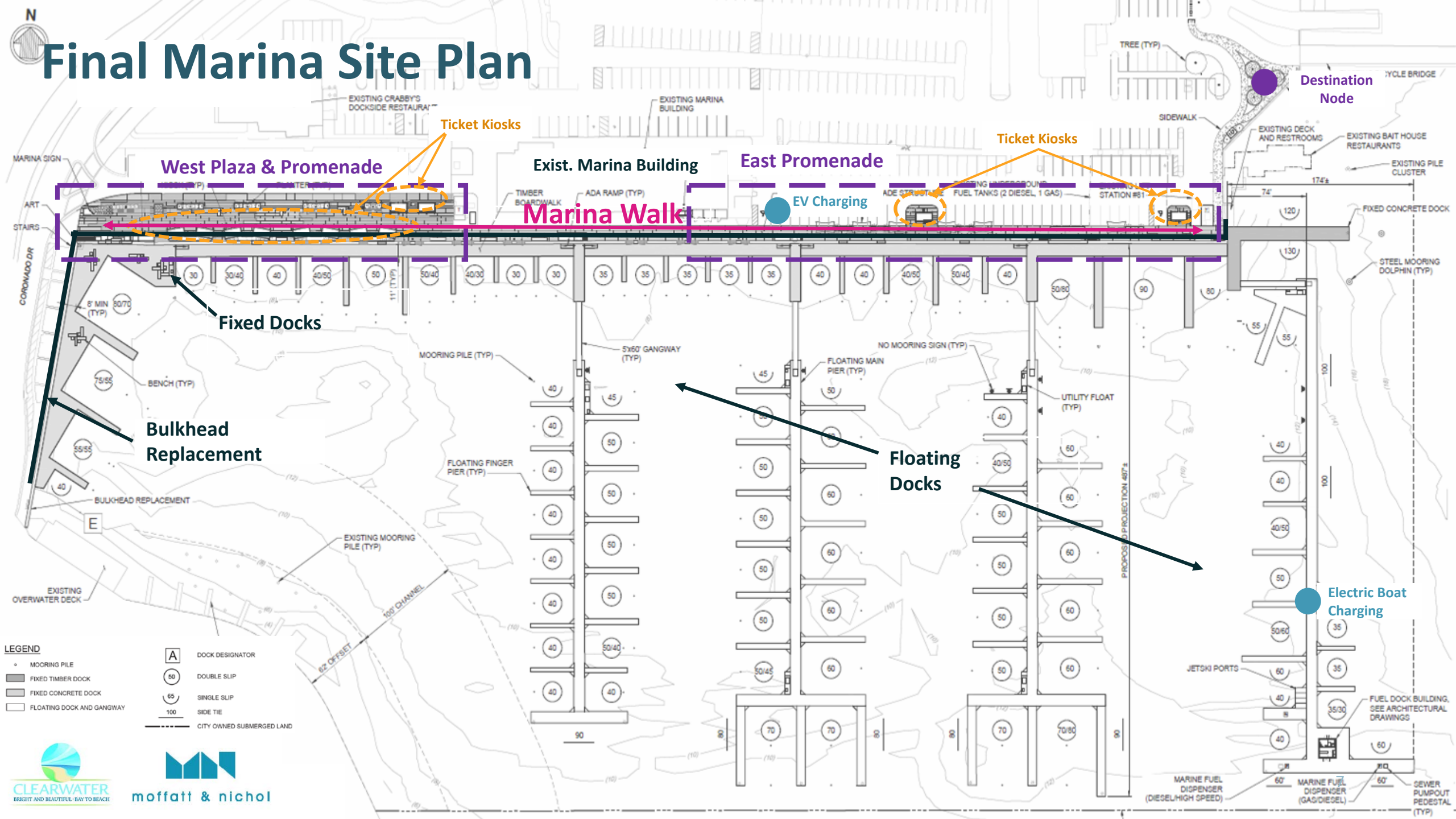


PROPOSED UPLAND	
TOTAL	
Parking Spaces:	CAR: 316
(41 Reduction)	BIKE: 32
PROJECT AREA	
Impervious Area	19,754 SF
Specialty Pavement	26,955 SF
Green Space Area	5,997 SF
24 Kiosks	1,953 SF

Final Marina Site Plan



Final Marina Site Plan



CORONADO DR
ART
STAIRS

- LEGEND**
- MOORING PILE
 - FIXED TIMBER DOCK
 - FIXED CONCRETE DOCK
 - FLOATING DOCK AND GANGWAY
 - CITY OWNED SUBMERGED LAND
 - DOCK DESIGNATOR
 - DOUBLE SLIP
 - SINGLE SLIP
 - SIDE TIE

Destination Node

West Plaza & Promenade

Exist. Marina Building

East Promenade

Marina Walk

Fixed Docks

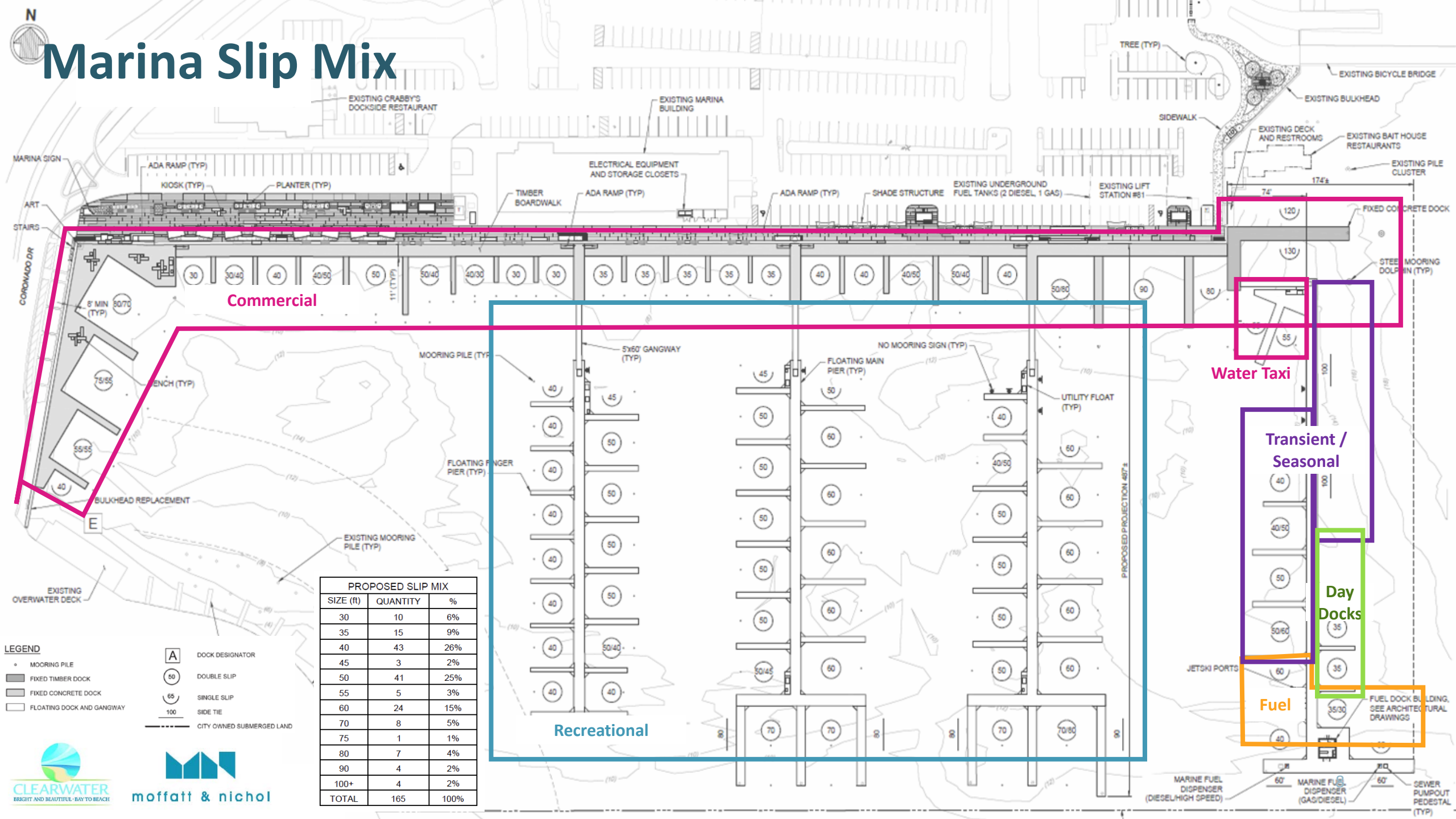
Bulkhead Replacement

Floating Docks

Electric Boat Charging

MARINE FUEL DISPENSER (DIESEL/HIGH SPEED)
MARINE FUEL DISPENSER (GAS/DIESEL)
SEWER PUMP/OUT PEDESTAL (TYP)

Marina Slip Mix



Commercial

Water Taxi

Transient / Seasonal

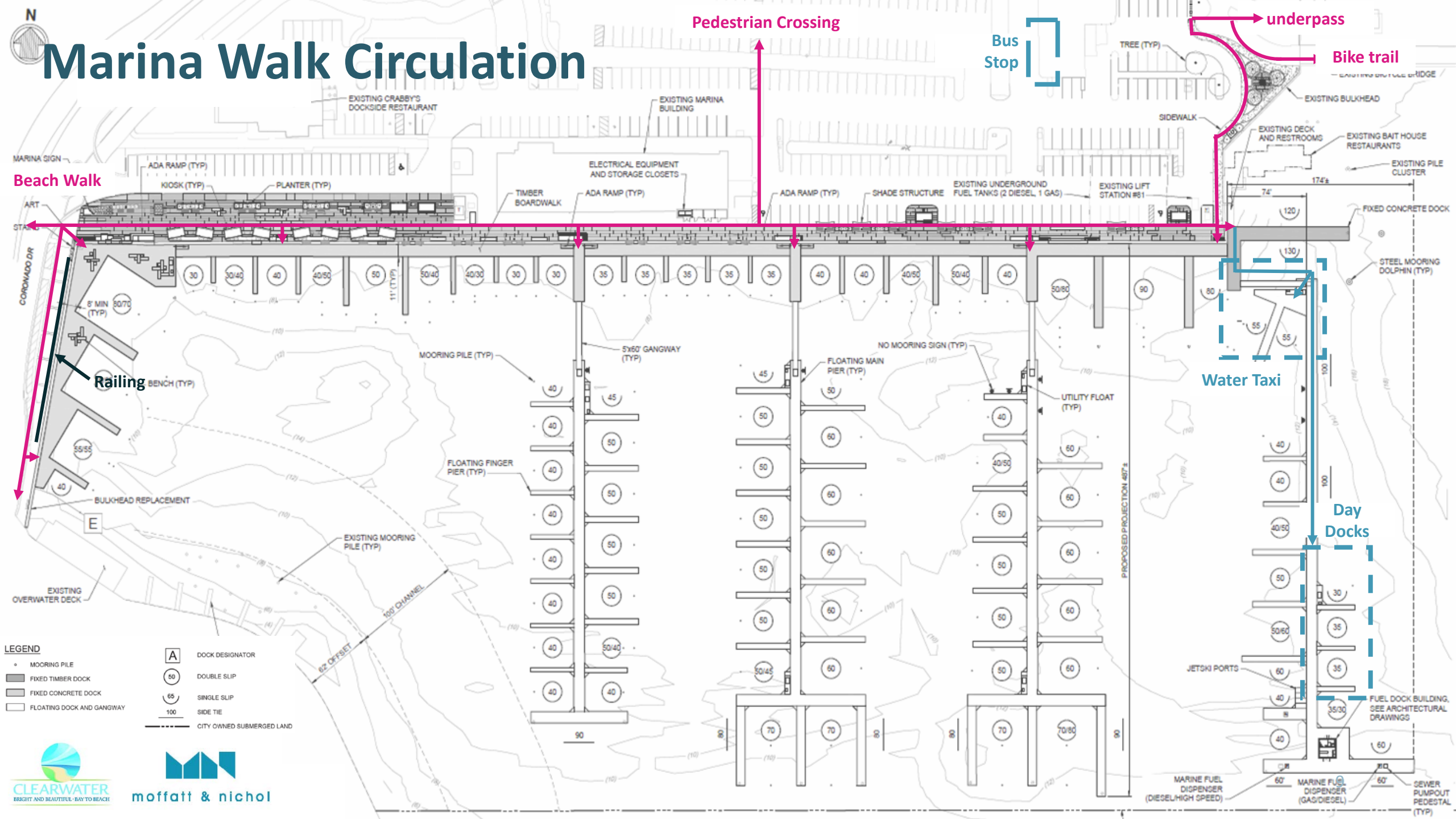
Day Docks

Recreational

PROPOSED SLIP MIX		
SIZE (ft)	QUANTITY	%
30	10	6%
35	15	9%
40	43	26%
45	3	2%
50	41	25%
55	5	3%
60	24	15%
70	8	5%
75	1	1%
80	7	4%
90	4	2%
100+	4	2%
TOTAL	165	100%

- LEGEND**
- MOORING PILE
 - FIXED TIMBER DOCK
 - FIXED CONCRETE DOCK
 - FLOATING DOCK AND GANGWAY
 - Ⓐ DOCK DESIGNATOR
 - ⓪ DOUBLE SLIP
 - Ⓛ SINGLE SLIP
 - 100 SIDE TIE
 - CITY OWNED SUBMERGED LAND

Marina Walk Circulation

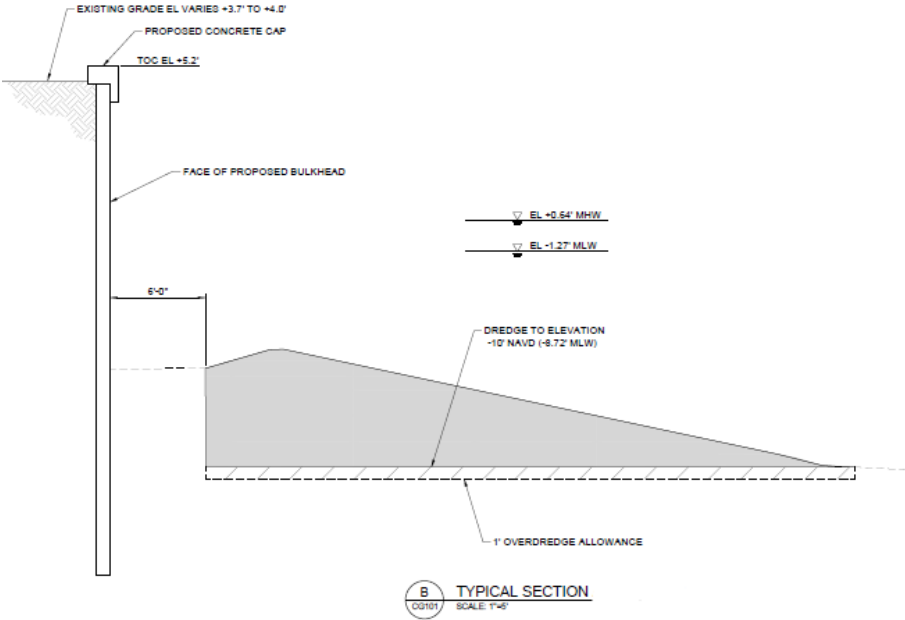
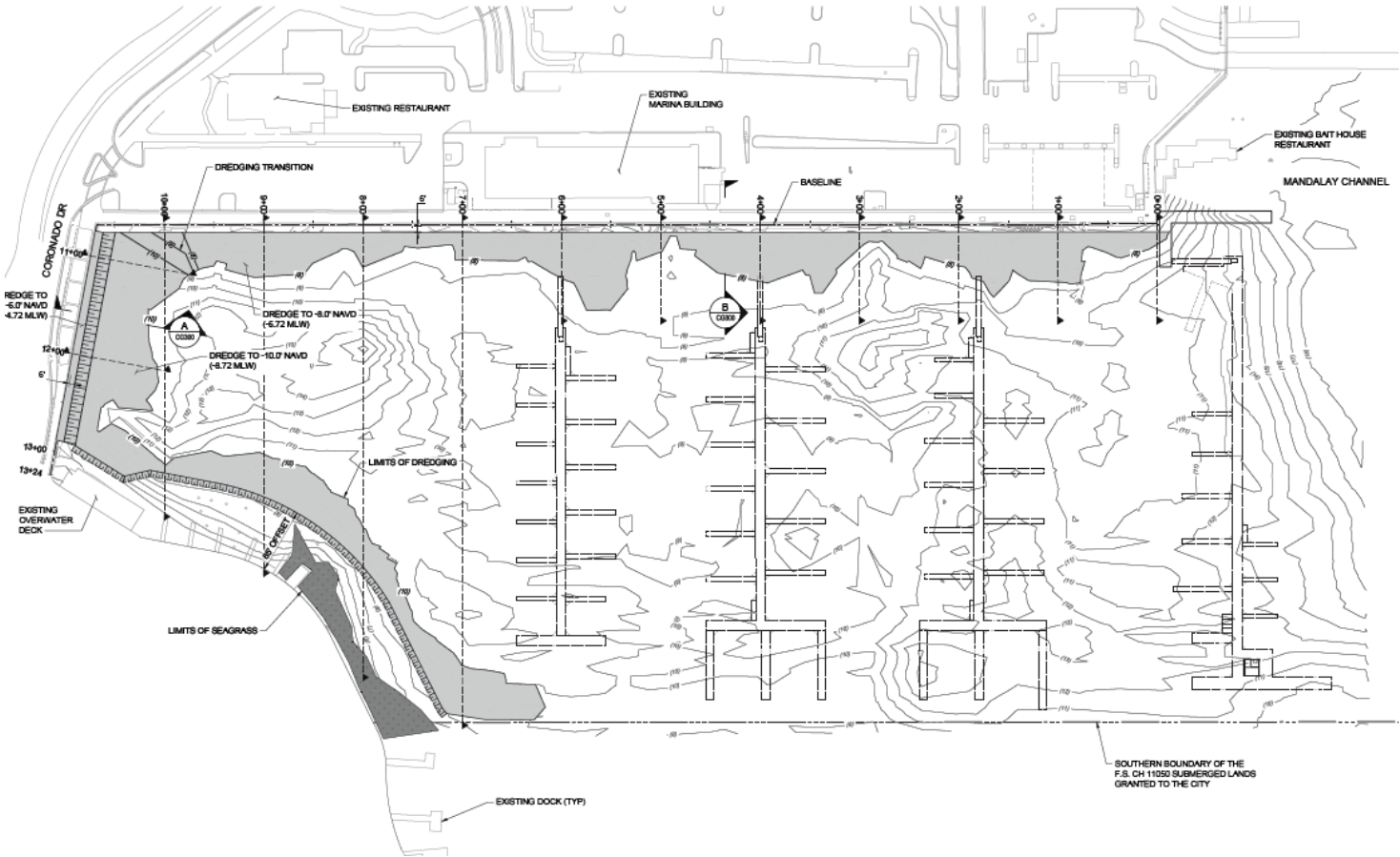


LEGEND

- MOORING PILE
- FIXED TIMBER DOCK
- FIXED CONCRETE DOCK
- FLOATING DOCK AND GANGWAY
- CITY OWNED SUBMERGED LAND

A	DOCK DESIGNATOR
50	DOUBLE SLIP
65	SINGLE SLIP
100	SIDE TIE

Maintenance Dredging



Marina Walk West Plaza



Marina Walk

Marina Walk Promenade



Commercial Boardwalk



ADA Dock Access



Destination Node



Buildings

Ticket Kiosks



Fuel Office



Master Plan vs. 60 % Design

PROBABLE OPINION OF CONSTRUCTION COST		DATE PREPARED		
		25-Aug-22		
CLIENT AND LOCATION City of Clearwater Clearwater, FL		ESTIMATED BY Moffatt & Nichol		
PROJECT TITLE Clearwater Beach Marina Rehabilitation - Fixed Dock Alternative		MN JOB NUMBER 211223		
		STATUS OF DESIGN Concept Estimate		
ITEM DESCRIPTION	QUANTITY		ENGINEERING ESTIMATE	
	NUMBER	UNIT	UNIT COST	TOTAL
1 General Conditions				\$ 1,000,000.00
Mobilization/demobilization, construction management, insurance, etc	1	LS	\$ 1,000,000.00	\$ 1,000,000.00
2 Marina Structures				\$ 10,320,000.00
Demolition of Existing Docks, Overwater Buildings, Mooring Piles, and Utilities	1	LS	\$ 1,000,000.00	\$ 1,000,000.00
Boarwalk Timber Fixed Docks and Piling	25,000	SF	\$ 120.00	\$ 3,000,000.00
Concrete Floating Docks and Guide Piling	36,000	SF	\$ 150.00	\$ 5,400,000.00
Dock Appurtenances (Dock Boxes, Cleaning Stations, etc.)	1	ALLOW	\$ 200,000.00	\$ 200,000.00
Timber Mooring Piles	90	EA	\$ 2,000.00	\$ 180,000.00
Mooring Dolphins for Dinner Cruise Docks	2	EA	\$ 50,000.00	\$ 100,000.00
Overwater Fuel Building (20'x20')	1	ALLOW	\$ 200,000.00	\$ 200,000.00
60' long ADA Aluminum Gangway	4	EA	\$ 60,000.00	\$ 240,000.00
3 Maintenance Dredging				\$ 960,000.00
Maintenance Dredging (assumes local disposal site)	6,000	CY	\$ 160.00	\$ 960,000.00
4 Seawall Repairs				\$ 3,990,000.00
Sheetpile bulkhead wall with Reinf. Conc. Cap	1,330	LF	\$ 3,000.00	\$ 3,990,000.00
5 Site Improvements				\$ 1,280,000.00
Sidewalk and pedestrian plaza pavement	24,000	SF	\$ 10.00	\$ 240,000.00
Landscaping	1	ALLOW	\$ 100,000.00	\$ 100,000.00
Site Furniture, Shade Structures, & Lighting	1	ALLOW	\$ 300,000.00	\$ 300,000.00
Parking Lot Pavement Re-stripping	1	LS	\$ 25,000.00	\$ 25,000.00
Kiosk	24	EA	\$ 15,000.00	\$ 360,000.00
Building Storage Renovations	1	ALLOW	\$ 50,000.00	\$ 50,000.00
Public Art (~1% Construction Budget)	1	ALLOW	\$ 180,000.00	\$ 180,000.00
Wayfinding / Signage	1	ALLOW	\$ 25,000.00	\$ 25,000.00
6 Marina Utilities				\$ 5,510,000.00
Dock Utilities (Water, Sewer, Electrical, Fire)	61,000	SF	\$ 75.00	\$ 4,575,000.00
Water Main Connection(s) including fire hydrant(s) and backflow preventer(s)	1	ALLOW	\$ 75,000.00	\$ 75,000.00
Sewer connection	1	ALLOW	\$ 50,000.00	\$ 50,000.00
Electrical Distribution Equipment	1	LS	\$ 250,000.00	\$ 250,000.00
Communications / Low Voltage	1	LS	\$ 160,000.00	\$ 160,000.00
Marina Lighting	1	ALLOW	\$ 150,000.00	\$ 150,000.00
Fuel System Dispensers & hose reels	1	LS	\$ 150,000.00	\$ 150,000.00
Sewage Pumpout Stations	1	LS	\$ 100,000.00	\$ 100,000.00
SUBTOTAL				\$ 23,060,000
Engineer's Contingency	15%		\$	3,459,000
Inflation Allowance (Est @ 7% for 1 year)	7%		\$	1,614,200
TOTAL				\$ 28,133,200

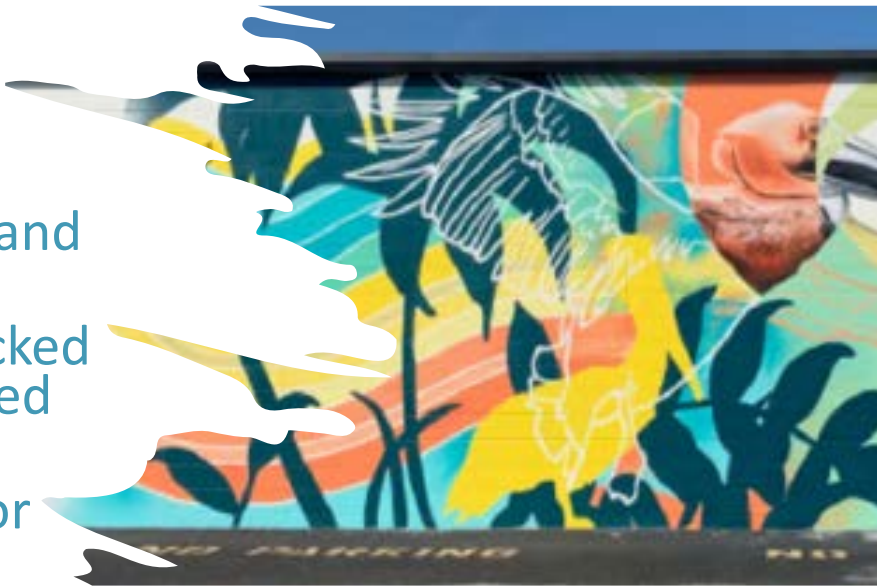


PROBABLE OPINION OF CONSTRUCTION COST			DATE PREPARED	
			20-Jun-23	
CLIENT AND LOCATION City of Clearwater Clearwater, FL			ESTIMATED BY Moffatt & Nichol	
PROJECT TITLE Clearwater Beach Marina Replacement			MN JOB NUMBER 211223	
			STATUS OF DESIGN 80% Design Submittal	
ITEM DESCRIPTION	QUANTITY		ENGINEERING ESTIMATE	
	NUMBER	UNIT	UNIT COST	TOTAL
1 General Conditions				\$ 2,517,737.50
Mobilization/demobilization, construction management (6%), insurance, etc	10%	of subtotal		\$ 2,517,737.50
2 Marina Structures				\$ 12,392,750.00
Demolition of Existing Docks, Overwater Buildings, Mooring Piles, and Utilities	1	LS	\$ 1,500,000.00	\$ 1,500,000.00
Fixed Timber Commercial Boardwalk, Piers, and Timber Support Piling	21,700	SF	\$ 145.00	\$ 3,146,500.00
Concrete Floating Docks with HDPE Sleeved Steel Guide Piling	35,000	SF	\$ 180.00	\$ 6,300,000.00
Fixed Concrete Dinner Cruise Dock with Coated Steel Support Piling	1,885	SF	\$ 250.00	\$ 471,250.00
60' long ADA Aluminum Gangway	4	EA	\$ 60,000.00	\$ 240,000.00
Timber Mooring/Fender Pile	120	EA	\$ 2,000.00	\$ 240,000.00
Mooring Dolphin for Dinner Cruise Dock	2	EA	\$ 60,000.00	\$ 120,000.00
Dock Appurtenances (Dock Boxes, Cleaning Stations, etc.)	1	ALLOW	\$ 200,000.00	\$ 200,000.00
Overwater Fuel Building (Building only)	1	LS	\$ 175,000.00	\$ 175,000.00
3 Maintenance Dredging				\$ 1,001,920.00
Maintenance Dredging (includes 1' overdredge allowance & offsite disposal)	6,282	CY	\$ 160.00	\$ 1,001,920.00
4 Bulkhead Replacement				\$ 4,294,400.00
Cantilever Bulkhead with NZ26 Steel Sheet Piles and Reinforced Concrete Cap	1,342	LF	\$ 3,200.00	\$ 4,294,400.00
5 Site Improvements				\$ 1,916,305.00
Sidewalk/Plaza Colored Concrete Pavement	19,820	SF	\$ 12.00	\$ 235,440.00
Concrete Sidewalk at East End	2,350	SF	\$ 12.00	\$ 28,200.00
Trench Drain	550	LF	\$ 150.00	\$ 82,500.00
Nyloplast Drain Basin	6	EA	\$ 2,500.00	\$ 15,000.00
12" PVC Drainage Pipe	80	LF	\$ 85.00	\$ 6,800.00
Storm Manhole	1	EA	\$ 5,500.00	\$ 5,500.00
Ribbon Palm	18	EA	\$ 1,500.00	\$ 27,000.00
Cabbage Palmetto	18	EA	\$ 450.00	\$ 8,100.00
Silver Trumpet Tree	1	EA	\$ 800.00	\$ 800.00
Red Tip Coco Plum	44	EA	\$ 50.00	\$ 2,200.00
Firebush	28	EA	\$ 30.00	\$ 840.00
Dwarf Pink Ice Oleander	6	EA	\$ 30.00	\$ 180.00
Saw Palmetto	24	EA	\$ 150.00	\$ 3,600.00
Horizontal Coco Plum	26	EA	\$ 30.00	\$ 780.00
Dune Sunflower	22	EA	\$ 20.00	\$ 440.00
Lipstick Chinese Hibiscus	54	EA	\$ 30.00	\$ 1,620.00
Yaupon Holly	21	EA	\$ 35.00	\$ 735.00
Pink Muhly Grass	46	EA	\$ 35.00	\$ 1,610.00
Fakahatchee Grass	56	EA	\$ 35.00	\$ 1,960.00
Landscape installation (Including mulch)	1	ALLOW	\$ 45,000.00	\$ 45,000.00
Site Furniture, Seat Walls, bollards	1	ALLOW	\$ 250,000.00	\$ 250,000.00
Parking Lot Re-stripping	1	LS	\$ 15,000.00	\$ 15,000.00
Shade Structures	18	ALLOW	\$ 26,000.00	\$ 468,000.00
Kiosk Group (2 units)	12	EA	\$ 45,000.00	\$ 540,000.00
Building Storage Renovations	1	LS	\$ 50,000.00	\$ 50,000.00
Wayfinding / Signage	1	ALLOW	\$ 25,000.00	\$ 25,000.00
Public Art	1	ALLOW	\$ 100,000.00	\$ 100,000.00
6 Marina Utilities				\$ 5,572,000.00
Water Main Connection and backflow preventer for Portable Water System	1	LS	\$ 20,000.00	\$ 20,000.00
FDC and Connection to Fire Main for Fire Water System	1	LS	\$ 12,000.00	\$ 12,000.00
Sewer connection	1	LS	\$ 15,000.00	\$ 15,000.00
Marina Electrical System	1	LS	\$ 3,950,000.00	\$ 3,950,000.00
Potable Water System	1	LS	\$ 225,000.00	\$ 225,000.00
Fire Water System	1	LS	\$ 250,000.00	\$ 250,000.00
Sewage Pumpout System	1	LS	\$ 200,000.00	\$ 200,000.00
Fuel System Dispensers & hose reels	1	LS	\$ 400,000.00	\$ 400,000.00
Communications / Low Voltage	1	ALLOW	\$ 200,000.00	\$ 200,000.00
Lighting	1	ALLOW	\$ 300,000.00	\$ 300,000.00
SUBTOTAL				\$ 27,695,113
Engineer's Contingency	15%		\$	4,154,267
Inflation Allowance (Est @ 10% for 1 year)	10%		\$	2,769,511
TOTAL				\$ 34,618,891



Final Design Summary

- Marina maintains same slip count and balanced slip mix
- Commercial boats slips remain docked along perimeter of marina with fixed docks
- Resilient floating docks provided for non-commercial end users
- Fixed docks and gangway access platforms raised 15" to 24" to accommodate rising water levels
- Bulkhead replacement raises cap by 15" to 18" to meet minimum cap height
- "Marina Walk" extends Beach Walk with shade, and seating
- Kiosks located upland near primary dock entrances
- ADA compliant facility
- EV charging stations and electric boat charging added



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BRIGHT AND BEAUTIFUL - BAY TO BEACH



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THANK YOU!

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