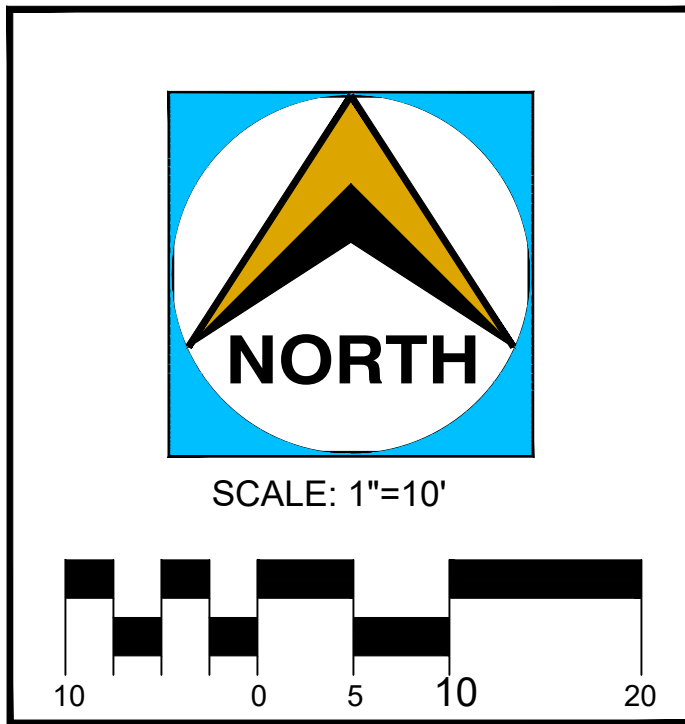


### SITE PREPARATION NOTES

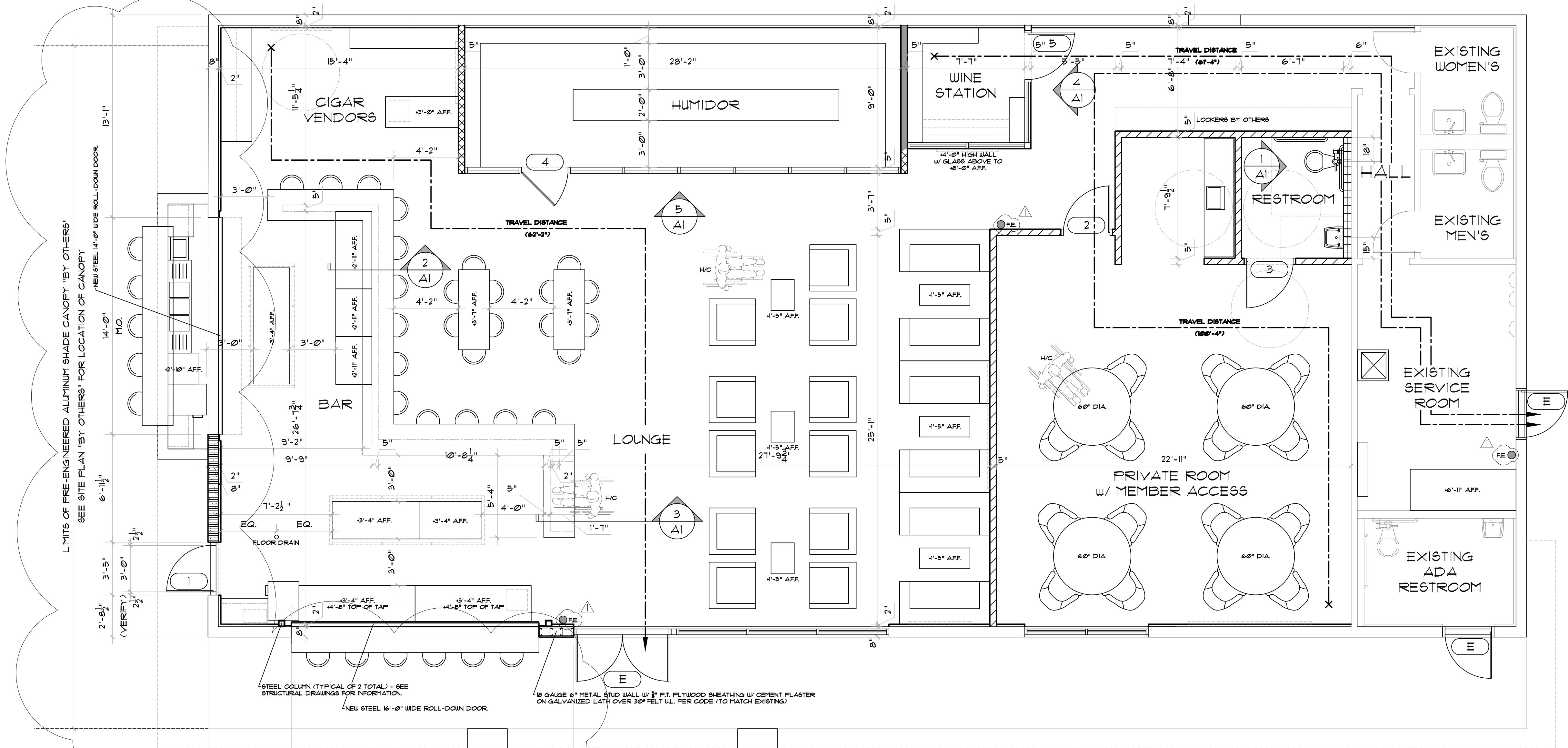
- PREPARATION OF THE SITE INCLUDES THE REMOVAL/RELOCATION OF ALL EXISTING STRUCTURES WITHIN PROJECT AREA, PAVING AND BASE, UTILITY LINES (SANITARY SEWER, STORM PIPES, WATER LINES, POWER POLES, OVERHEAD AND UNDERGROUND POWER AND TELEPHONE CABLES, GAS LINES, TREES, SHRUBS, ETC.) AND IS NOT LIMITED TO WHAT IS SHOWN ON PLANS.
- 1 REMOVE EXISTING PERVIOUS PAVERS
  - 2 REMOVE EXISTING CONCRETE (REMOVE SIDEWALKS TO NEAREST EXPANSION JOINT)
  - 3 REMOVE EXISTING CONC. CURB
  - 4 REMOVE EXISTING CONC. STOP BAR
  - 5 REMOVE EXISTING TREE
- A. ALL CAVITY & EXCAVATION RESULTING FROM REMOVAL OF TREES, SHRUBS, PIPES, INLETS, GREASE TRAPS, SIGN, AND POLE BASE SHALL BE FILLED WITH APPROVED SUITABLE MATERIAL AND COMPACTED IN 12" LIFTS TO 95% OF MAX DENSITY.
- B. OFF-SITE DISPOSAL OF STRUCTURES, UTILITIES AND CONSTRUCTION DEBRIS SHALL OCCUR IN SOLID WASTE DISPOSAL FACILITIES APPROVED BY F.D.E.P., AND LOCAL JURISDICTION'S STANDARDS AND SPECIFICATIONS.

Tree Inventory Corresponding Numbered Tree Survey  
Prepared By: Urban Forestry Solutions, LLC  
Rick Albee, ISA Certified Arborist #SO-0989A  
7/30/2025



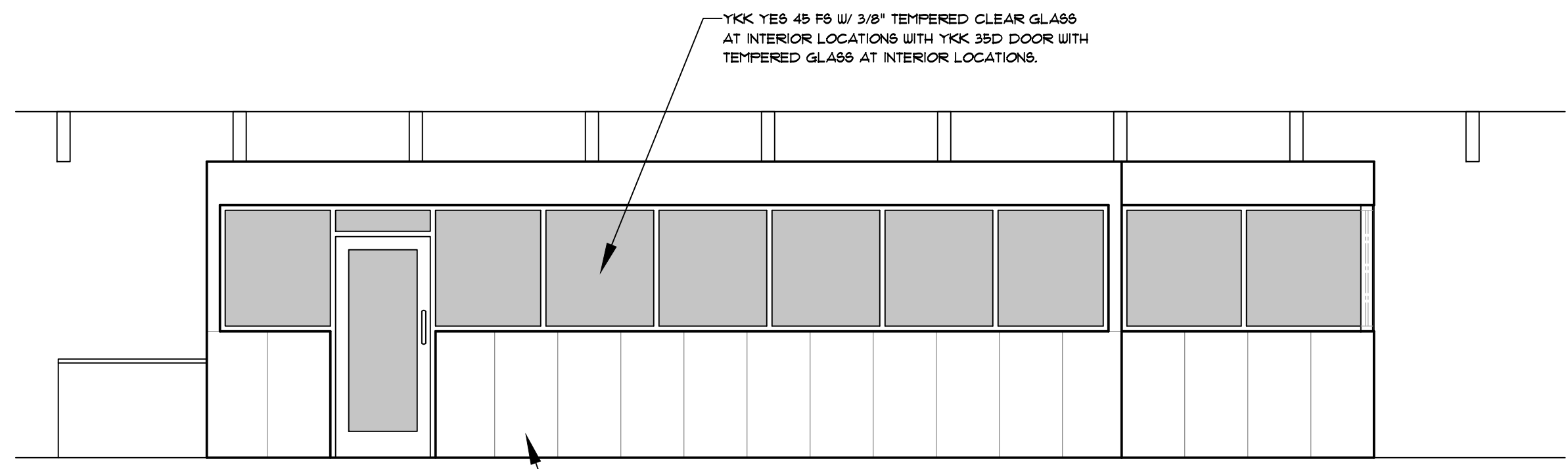
PROJECT #		2531
ISSUE DATE:		07/17/2025
REVISIONS:		
No.	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
DRAWN BY : HS		





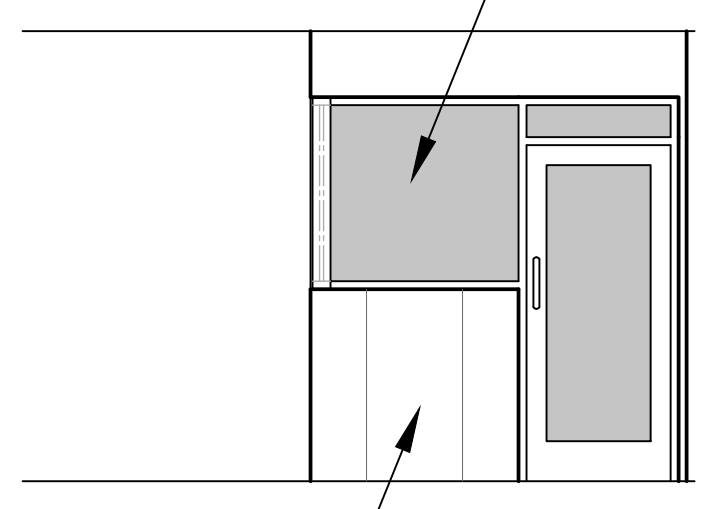
FLOOR PLAN / LIFE SAFETY PLAN

1/4" = 1'-0"



5 HUMIDOR ELEVATION  
1/4" = 1'-0"

YKK YES 45 FS W/ 3/8" TEMPERED CLEAR GLASS AT INTERIOR LOCATIONS WITH YKK 35D DOOR WITH TEMPERED GLASS AT INTERIOR LOCATIONS.



4 WINE ROOM ELEVATION  
1/4" = 1'-0"

3 ACCESSIBLE COUNTER SECTION  
1/2" = 1'-0"

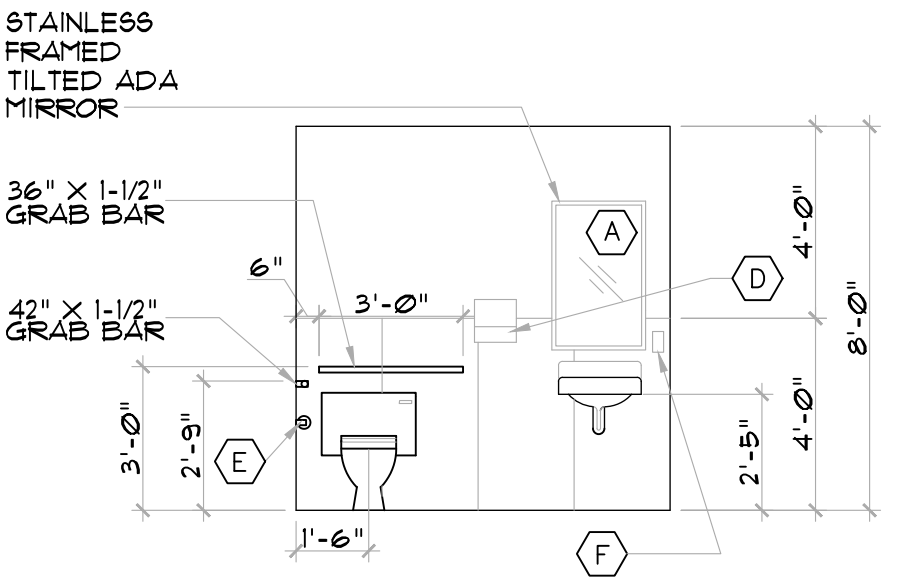
2 BAR COUNTER SECTION  
1/2" = 1'-0"

ROOM FINISH SCHEDULE						
SEE FINISH NOTES ON SHEET A(X) FOR ADDITIONAL INFORMATION.						
RM. NAME	FLOOR	BASE	WALLS	CEILING	PAINT	REMARKS
LOUNGE						ABBREVIATIONS:
HUMIDOR						AL - ALUMINUM
CIGAR VENDORS						SL - SATIN LATEX
WINE STATION						GL - GLASS
PRIVATE ROOM						EG - EGGSHELL
BAR						PR - PRIMED
ADA RESTROOM						SG - SEMI GLOSS
HALL						SV - STAIN/VARNISH
EXISTING SERVICE ROOM						VCT - VINYL COMPOSITION TILE
EXISTING ADA RESTROOM						WS - WALL SEALER OIL BASE
EXISTING MEN'S						WD - WALL COVERING
EXISTING WOMEN'S						W - WOOD

DOOR SCHEDULE							
SE - SEMI-GLOSS ENAMEL SL - SATIN LATEX							
DOOR NO.	SIZE	TYPE	MATERIAL	THRESH.	FRAME MATERIAL	FINISH	HARDWARE
1	3'-0" x 8'-0" x 1 3/4"	A	INSULATED HOLLOW METAL	ALUM.	STEEL	S.E.	BY OWNER
2	3'-0" x 7'-0" x 1 3/4"	B	SOLID CORE WOOD	---	STEEL	S.E.	BY OWNER
3	3'-0" x 7'-0" x 1 3/4"	B	SOLID CORE WOOD	---	STEEL	S.E.	BY OWNER
4	3'-0" x 7'-0"	C	ALUMINUM/GLASS STOREFRONT	---	ALUMINUM	BY MANU.	BY MANU.
5	3'-0" x 7'-0"	C	ALUMINUM/GLASS STOREFRONT	---	ALUMINUM	BY MANU.	BY MANU.
E	EXISTING DOOR AND FRAME TO REMAIN	AS-IS	---	---	---	---	---

TOILET ROOM ACCESSORIES:

- A WALL TILT MIRROR 18" X 20" ADA APPROVED AT SINK STATIONS. B-293 SURFACE MOUNTED BY BOBRICK
- B STAINLESS STEEL SAFETY GRAB BARS 1 1/2" X 36" BOBRICK (MODEL 6806 X 36)
- C STAINLESS STEEL SAFETY GRAB BARS 1 1/2" X 42" BOBRICK (MODEL 6806 X 42)
- D PAPER TOWEL DISPENSER B-262 SURFACE MOUNTED BY BOBRICK
- E TOILET PAPER DISPENSER B-21460 SURFACE MOUNTED BY BOBRICK
- F LIQUID SOAP DISPENSER BUC 9361 - 0110 SYMMETRY STEALTH ALPINE ML (BY BUCKEYE PRODUCTS, INC.)



1 ELEVATION - ADA RESTROOM  
SCALE: 1/4" = 1'-0"

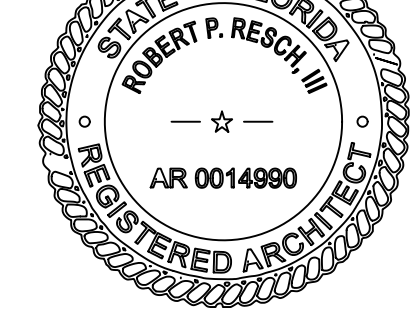
WALL LEGEND:

- 6" 20 GAUGE METAL STUD PARTITION WALL WITH STUDS SPACED AT 16" O.C. - CONTINUOUS FROM EXISTING FINISHED FLOOR TO UNDERSIDE OF ROOF DECK ABOVE WITH ONE LAYER OF 1/2" MOISTURE RESISTANT GYPSUM BOARD ON EXPOSED FACE OF STUDS ABOVE 4'-0" AFF. AND 1/2" DUROROCK BOARD ON EXPOSED FACE THAT RECEIVES PORCELAIN TILE - TYPICAL BELOW 4'-0" AFF.
- EXISTING WALL TO REMAIN AS-IS.
- 3 5/8" 20 GAUGE METAL STUD PARTITION WALL WITH STUDS SPACED AT 16" O.C. - CONTINUOUS FROM EXISTING FINISHED FLOOR TO 4'-5" AFF. WITH ONE LAYER OF 1/2" MOISTURE RESISTANT GYPSUM BOARD EACH SIDE OF STUDS ABOVE 4'-0" AFF. AND 1/2" DUROROCK BOARD EACH SIDE OF STUDS THAT RECEIVES PORCELAIN TILE - TYPICAL BELOW 4'-0" AFF. WALL SHALL BE BRACED TO ROOF STRUCTURE ABOVE AS REQUIRED - TYPICAL.
- 3 5/8" 20 GAUGE METAL STUD PARTITION WALL WITH STUDS SPACED AT 16" O.C. - CONTINUOUS FROM EXISTING FINISHED FLOOR TO 4'-5" AFF. WITH ONE LAYER OF 1/2" DUROROCK BOARD EACH SIDE OF STUDS THAT RECEIVE PORCELAIN TILE OR FRP BOARD (BARSIDE).
- EXISTING 8" CMU BLOCK WALL - CONTRACTOR SHALL INSTALL 1" R-6.2 FOIL-FACED RIGID INSULATION BOARD ON EXISTING F.T. WALL FURRING - TYPICAL FROM FINISHED FLOOR TO UNDERSIDE OF ROOF DECK ABOVE (AT ALL EXTERIOR WALL LOCATIONS) WITH 1/2" DUROROCK FROM FINISHED FLOOR TO 4'-0" AFF. AND 1/2" MOISTURE RESISTANT GYPSUM BOARD FROM 4'-0" AFF. TO UNDERSIDE OF ROOF DECK ABOVE DUROROCK SHALL RECEIVE PORCELAIN TILE FINISH.
- 3 5/8" 20 GAUGE METAL STUD PARTITION WALL WITH STUDS SPACED AT 16" O.C. - CONTINUOUS FROM EXISTING FINISHED FLOOR TO 4'-5" AFF. WITH ONE LAYER OF 1/2" MOISTURE RESISTANT GYPSUM BOARD ON PUBLIC SIDE ABOVE 4'-0" AFF. AND 1/2" DUROROCK BOARD ON PUBLIC SIDE BELOW 4'-0" AFF. THAT RECEIVES PORCELAIN TILE. HUMIDOR SIDE OF STUDS SHALL RECEIVE CEDAR TAG PLANK FROM FINISHED FLOOR TO UNDERSIDE OF PLANK CEILING ABOVE (4'-0" AFF.).
- 3 5/8" 20 GAUGE METAL STUD PARTITION WALL WITH STUDS SPACED AT 16" O.C. - CONTINUOUS FROM EXISTING FINISHED FLOOR TO 4'-5" AFF. WITH CEDAR TAG PLANK EACH SIDE OF STUDS FROM FINISHED FLOOR TO UNDERSIDE OF PLANK CEILING ABOVE (4'-0" AFF.).
- NEW 8" CMU BLOCK WALL - CONTRACTOR SHALL INSTALL 1" R-6.2 FOIL-FACED RIGID INSULATION BOARD ON EXISTING F.T. WALL FURRING - TYPICAL FROM FINISHED FLOOR TO UNDERSIDE OF ROOF DECK ABOVE (AT ALL EXTERIOR WALL LOCATIONS) WITH 1/2" DUROROCK FROM FINISHED FLOOR TO 4'-0" AFF. AND 1/2" MOISTURE RESISTANT GYPSUM BOARD FROM 4'-0" AFF. TO UNDERSIDE OF ROOF DECK ABOVE (SEE STRUCTURAL FOR INFORMATION). DUROROCK SHALL RECEIVE PORCELAIN TILE FINISH.

Robert Resch

Date: 2025.07.19 12:48:23

04/00



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reschlliversonet

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FLOOR PLAN / LIFE SAFETY PLAN			
Rev.	Date	Item	
1	07-23-25	REVISED SHEET FOR PLAN REVIEW COMMENTS	

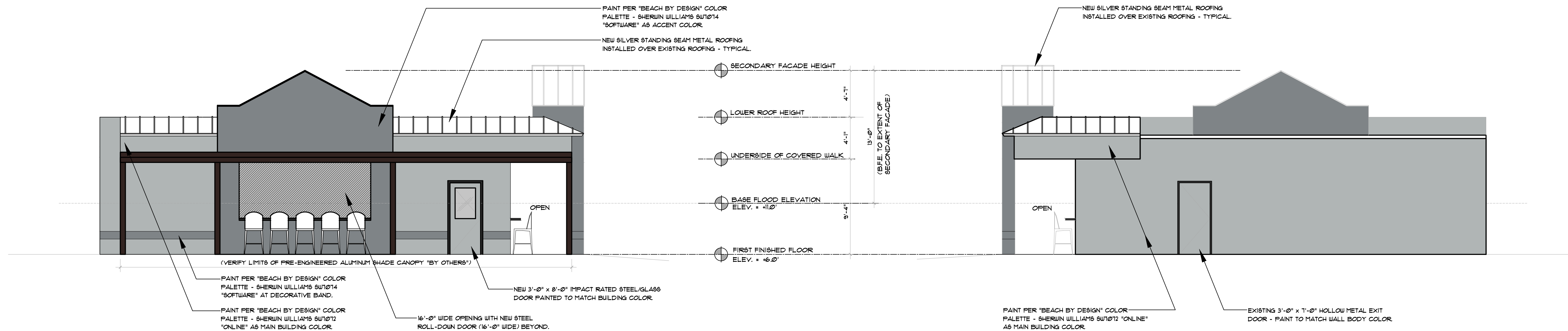
INTERIOR RENOVATION FOR:  
FUSION  
CIGAR LOUNGE  
696 SOUTH GULFVIEW BLVD  
CLEARWATER, FLORIDA 33761

DATE: 04/18/2025  
DRAWN BY: GR  
CHECKED BY: R3  
JOB NO. 25-101  
SHEET# A1



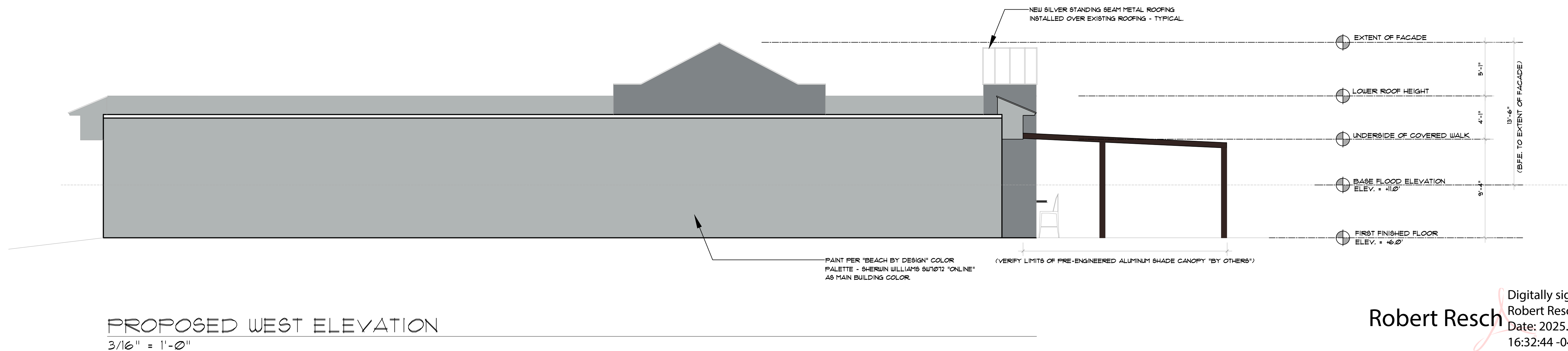


PROPOSED EAST ELEVATION  
3/16" = 1'-0"



PROPOSED SOUTH ELEVATION  
3/16" = 1'-0"

PROPOSED NORTH ELEVATION  
3/16" = 1'-0"



PROPOSED WEST ELEVATION  
3/16" = 1'-0"

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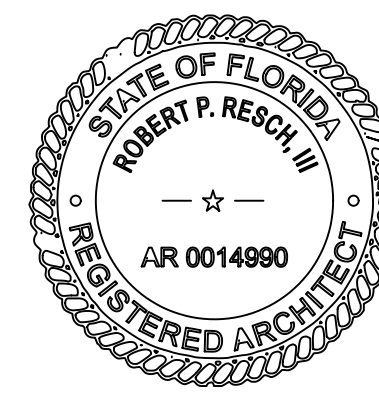
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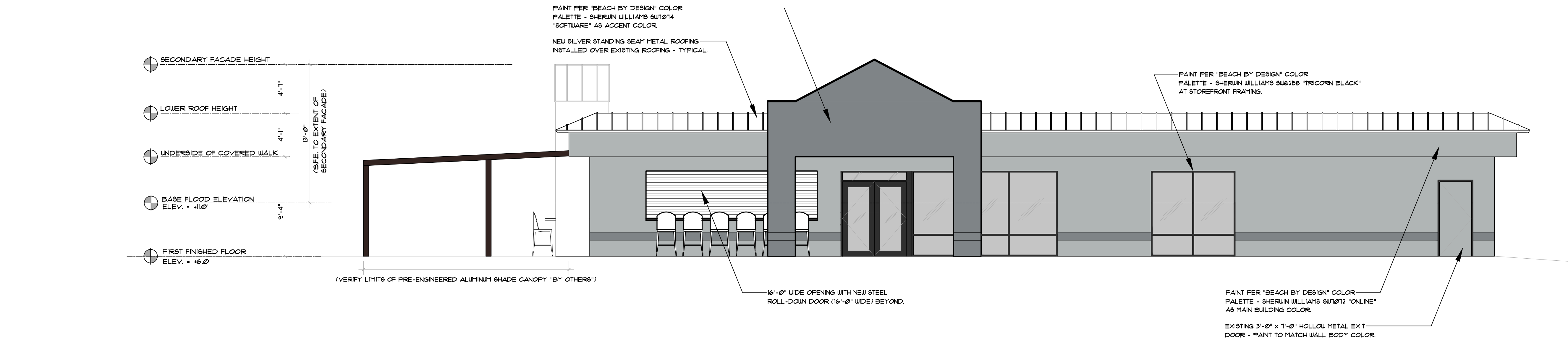
PROPOSED EXTERIOR ELEVATIONS			
Rev.	Date	Item	
A	08-11-25	REVISED EXTERIOR ELEVATIONS (ROLL-DOWN OPEN)	
A	07-23-25	ADDED SHEET FOR "BEACH BY DESIGN"	

INTERIOR RENOVATION FOR:  
FUSION  
CIGAR LOUNGE  
696 SOUTH GULFVIEW BLVD  
CLEARWATER, FLORIDA 33761

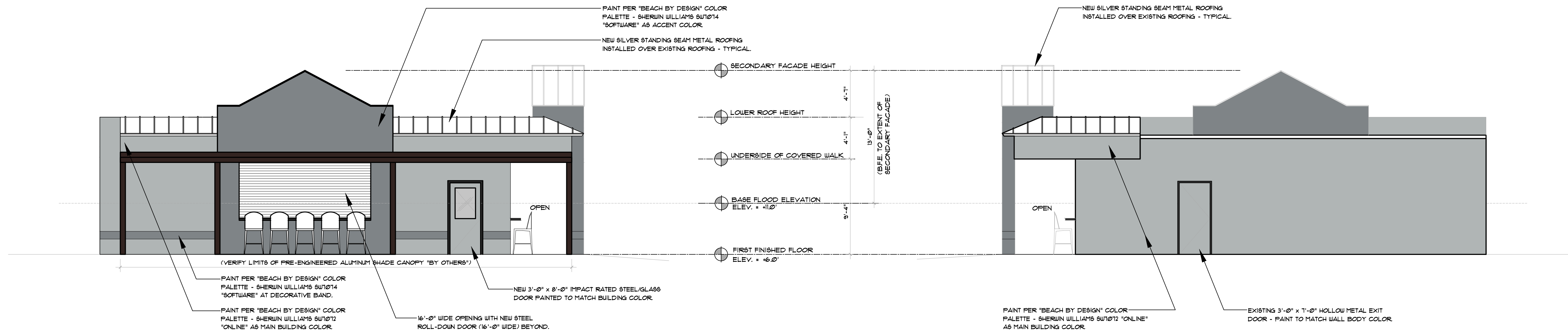
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DRAWN BY: GR  
CHECKED BY: R.3  
JOB NO. 25-101  
SHEET# A4

Robert Resch  
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Date: 2025.09.08 16:32:44 -04'00'



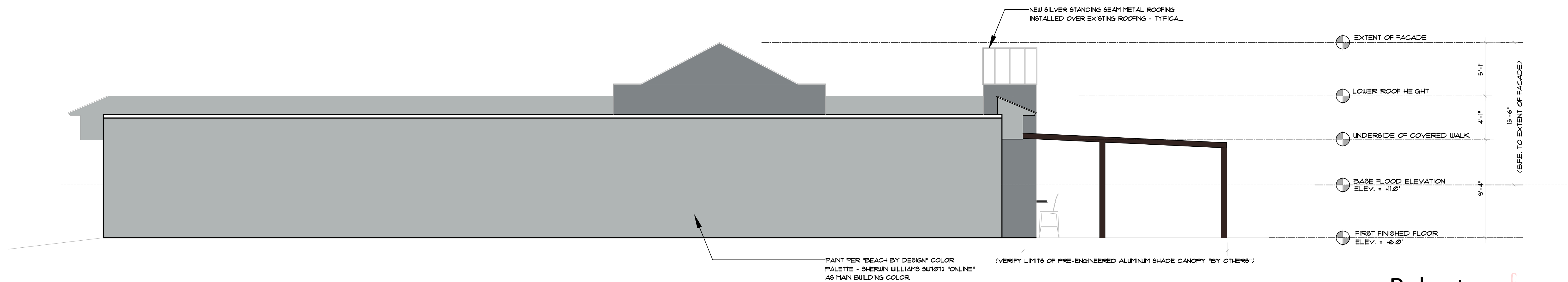


PROPOSED EAST ELEVATION  
3/16" = 1'-0"



PROPOSED SOUTH ELEVATION  
3/16" = 1'-0"

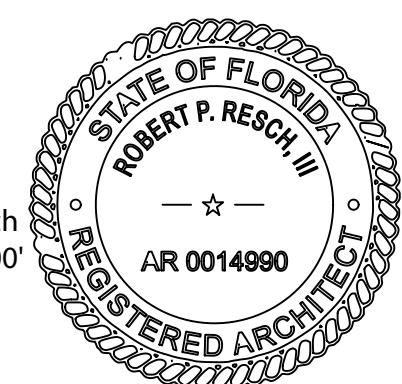
PROPOSED NORTH ELEVATION  
3/16" = 1'-0"



PROPOSED WEST ELEVATION  
3/16" = 1'-0"

Robert  
Resch

Digitally signed by Robert Resch  
Date: 2025.09.08 16:33:51 -04'00'



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PROPOSED EXTERIOR ELEVATIONS			
Rev.	Date	Item	
A	08-11-25	ADDED EXTERIOR ELEVATIONS (ROLL-DOWN CLOSED)	
A	07-23-25	ADDED SHEET FOR "BEACH BY DESIGN"	

INTERIOR RENOVATION FOR:  
FUSION  
CIGAR LOUNGE  
696 SOUTH GULFVIEW BLVD  
CLEARWATER, FLORIDA 33761

DATE:	09/11/2025
DRAWN BY:	GR
CHECKED BY:	R3
JOB NO.	25-101
SHEET #	A4



## ARCHITECTURAL AND CONSTRUCTION NOTES

A. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED DIMENSIONS AND CONDITIONS PRIOR TO ANY CONSTRUCTION.

B. GENERAL CONTRACTOR SHALL FURNISH AND INSTALL FIRE EXTINGUISHERS AS PER THE CITY OF CLEARWATER FIRE MARSHAL'S LOCATIONS.

C. GENERAL CONTRACTOR SHALL FURNISH DETAILED SHOP DRAWINGS FOR ARCHITECT'S REVIEW AND APPROVAL PRIOR TO FABRICATING ANY CABINETRY. ALL CABINETRY AND MILLWORK WILL BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.

D. ALL ARCHITECTURAL CONSTRUCTION DRAWINGS REPRESENT DIMENSIONAL INFORMATION, FINISH INFORMATION, SCHEDULES AND SPECIFICATIONS ONLY AND DO NOT REPRESENT ANY ENGINEERING - SEE CONSTRUCTION NOTES "E" THROUGH "J" FOR ITEMS OUTSIDE OF ARCHITECT'S SCOPE OF PROFESSIONAL SERVICES.

E. NO SOILS ENGINEERING OR RECOMMENDATIONS FOR DESIGN WILL BE REQUIRED.

F. ANY/ALL CIVIL ENGINEERING OR DESIGN WILL BE PROVIDED BY OTHERS.

G. ALL / ANY HARDWARE DESIGN WILL BE PROVIDED BY OTHERS.

H. ALL SECURITY SYSTEMS WILL BE PROVIDED BY OTHERS.

I. ANY/ALL LANDSCAPE AND IRRIGATION DESIGN WILL BE PROVIDED BY OTHERS.

J. ALL SIGNAGE WILL BE DESIGNED, FURNISHED AND INSTALLED BY OTHERS.

K. ALL CONSTRUCTION MUST MEET FLORIDA BUILDING CODE 2011 INCLUDING "FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION" AND ADA CODES - TYPICAL ALL AREAS, ROOMS, EXTERIOR WALKS, ENTRANCES AND PROJECT SITE CONSTRUCTION.

L. PROVIDE EXTERIOR EMERGENCY ILLUMINATION @ ALL REQUIRED EXITS PER CODE.

M. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL ADA HANDICAP CODE REQUIREMENTS, INCLUDING CRITICAL DIMENSIONS, HARDWARE, AND SIGNAGE, AND REQUIRED EQUIPMENT.

N. ALL INTERIOR FINISHES FOR THIS PROJECT SHALL BE PER FBC-B203 AND TABLE B203.5. ALL INTERIOR FINISHES FOR THIS PROJECT ARE BEING COORDINATED BY THE OWNER.

## GENERAL NOTES

1. ALL WORK SHALL CONFORM WITH THE LATEST ADOPTED EDITION OF THE "FLORIDA BUILDING CODE", THE "NATIONAL ELECTRIC CODE" AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL CODES AND ORDINANCES, AND ALL AUTHORITIES HAVING LOCAL JURISDICTION. IN ADDITION, GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL ADA HANDICAP CODE REQUIREMENTS, INCLUDING CRITICAL DIMENSIONS, HARDWARE, SIGNAGE, AND

2. ANY EXISTING CONDITIONS WHICH DIFFER SUBSTANTIALLY FROM THAT INDICATED ON THE ATTACHED PLANS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH OR CONTINUING ANY FURTHER CONSTRUCTION.

3. IN THE EVENT OF ANY DIFFERENCES OR CONFLICTS BETWEEN THESE CONTRACT DOCUMENTS AND THE AGREEMENT BETWEEN THE CONTRACTOR AND THE OWNER, THE TERMS AND CONDITIONS OF THAT AGREEMENT SHALL GOVERN AND PREVAIL. NO EXCLUSIONS FURTHER, THESE DOCUMENTS ARE SUBJECT TO REVIEW, CHANGES AND FINAL APPROVAL.

4. THESE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED FROM THE MOST COMPLETE FIELD INFORMATION AVAILABLE TO THE ARCHITECT. ALL THE DATA ON EXISTING CONSTRUCTION CONDITIONS IS APPROXIMATE AND SHALL BE VERIFIED PRIOR TO COMMENCING ANY WORK. ANY CONDITIONS WHICH DIFFER SUBSTANTIALLY FROM THAT INDICATED ON THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH OR CONTINUING ANY FURTHER CONSTRUCTION, AS THE SITUATION WARRANTS.

5. CONTRACTOR SHALL COMPLY FULLY WITH THE RULES AND REGULATIONS FOR CONSTRUCTION AS ESTABLISHED BY THE LOCAL GOVERNING JURISDICTION AND ITS AUTHORIZED AGENTS. CONSTRUCTION CONTRACT.

6. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE "GENERAL CONDITION OF THE CONTRACT" AIA DOCUMENT A201, AND SHALL COMPLY WITH THE REQUIREMENTS OF THE

7. ALL WORK (EQUIPMENT, MATERIALS AND LABOR) SHALL HAVE WRITTEN GUARANTEE FOR A PERIOD OF ONE (1) YEAR, UNLESS SPECIFIED OTHERWISE, FROM THE DATE OF SUBSTANTIAL COMPLETION, AGAINST ANY DEFECTS IN SAID WORK, WITH APPROPRIATE REPAIR OR REPLACEMENT AT NO ADDITIONAL COST TO THE OWNER.

8. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF WORK. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL FIELD MEASUREMENT, FIELD CONSTRUCTION AND INSTALLATION CRITERIA, COORDINATION AND METHODS OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR HANDLING MATERIALS.

9. CONTRACTOR TO OVERSEE CLEANING AND ENSURE THAT THE PREMISES ARE MAINTAINED FREE OF RUBBISH DURING CONSTRUCTION INCLUDING FINAL CLEANUP. THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR, PATCHING, TOUCH-UP AND CLEANING OF PREMISES UNTIL OCCUPIED BY OWNER.

10. AT THE TERMINATION OF THE WORK, GENERAL CONTRACTOR SHALL SUBMIT TO OWNER MAINTENANCE MANUALS PRESENTING FULL DETAILS FOR CARE AND MAINTENANCE OF ALL SURFACES AND EQUIPMENT OF EVERY NATURE. CONTENTS SHALL INCLUDE MANUFACTURER'S AND INSTALLER'S NAME, ADDRESS AND PHONE NUMBER AND INSTRUCTIONS FOR INSTALLATION, START-UP OPERATION, MAINTENANCE PARTS LIST AND DATA SHEETS.

11. WHEN "APPROVED EQUALS", "EQUAL TO" OR OTHER QUALIFYING TERMS ARE USED, IT SHALL BE BASED UPON THE REVIEW AND APPROVAL BY ARCHITECT.

12. ALL WORK IS TO CONFORM WITH DRAWINGS AND SPECIFICATIONS. DRAWINGS ARE NOT TO BE

13. PAYMENT WILL NOT BE MADE TO GENERAL CONTRACTOR ON CHANGES OR EXTRAS UNLESS THEY ARE APPROVED BY ARCHITECT.

ELEVATION.

14. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LEVEL OF FLOOR FOR WINDOWS, DOORS AND DOOR FRAMES. TOPS OF WINDOWS AND DOOR FRAMES SHALL REMAIN LEVEL AT CONTROLLED

15. THE GENERAL CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE AREAS TO BE ALTERED AND ADJOINING AREAS, TO DETERMINE THE EXTENT THAT HIS BID MAY BE AFFECTED BY EXISTING CONDITIONS. HE SHALL THOROUGHLY EXAMINE THE AREAS TO BE ALTERED FOR ACCESSIBILITY THERETO AND FOR OBSTRUCTIONS THEREON, FOR AVAILABILITY OF STORAGE SPACE AND FOR ANY OTHER CONDITION WHICH MAY AFFECT THE PERFORMANCE OF THE WORK.

16. THE APPROVAL OF SHOP DRAWINGS BY ARCHITECT WILL BE GENERAL ONLY. APPROVAL SHALL NOT BE INTERPRETED AS A CHECKING OF DETAILED DIMENSIONS, APPROVAL OF DEVIATIONS FROM TIME SCHEDULE UNLESS SUCH A CHECK OR APPROVAL IS SPECIFICALLY REQUESTED AT TIME OF SUBMISSION. APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITY FOR THE ACCURACY OF SHOP DRAWINGS, INCLUDING COORDINATION WITH AND CLEARANCES FOR THE OTHER TRADES, NOR FROM THE FURNISHING OF ALL MATERIALS AS REQUIRED BY THE CONTRACTOR BUT NOT INDICATED ON THE APPROVED SHOP DRAWINGS.

17. INTERIOR SIGNAGE REQUIREMENTS NOTE:  
GENERAL CONTRACTOR SHALL PROVIDE ALL SIGNAGE IN ACCORDANCE WITH FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION SECTION 216 AND SHALL COMPLY WITH SECTION 103.

INTERIOR AND EXTERIOR SIGNS IDENTIFYING PERMANENT ROOMS AND SPACES SHALL COMPLY WITH 103.1, 103.2 AND 103.5  
WHERE BOTH VISUAL AND TACTILE CHARACTERS ARE REQUIRED, EITHER ONE OR TWO SEPARATE SIGNS, ONE WITH VISUAL, AND ONE WITH TACTILE CHARACTERS, SHALL BE PROVIDED.



## FUSION CIGAR LOUNGE INTERIOR RENOVATION

### PROJECT TEAM

**RESCH ARCHITECTURE**  
**ROBERT P. RESCH, III**  
**ARCHITECT**  
**2963 GULF TO BAY BLVD. SUITE 100**  
**CLEARWATER, FLORIDA 33759**  
**1271-109-0630**

**MOHAN ENGINEERING**  
**GEORGE MOHAN**  
**STRUCTURAL ENGINEER**  
**13051 W. LINEBAUGH AVE. SUITE 102**  
**TAMPA, FLORIDA 33626**  
**813-472-5983**



**STEPANEK - LEWIS & ASSOCIATES**  
**MATT LEWIS**  
**MECHANICAL AND PLUMBING ENGINEERS**  
**2257 TWELVE OAKS WAY, SUITE 103**  
**WESLEY CHAPEL, FLORIDA 33544**  
**813-991-1248**

**M.P.S. ENGINEERING**  
**STEPHEN HUTCHINSON**  
**ELECTRICAL ENGINEER**  
**240 PINE AVENUE NORTH**  
**OLDSMAR, FLORIDA 34611**  
**813-472 5983**



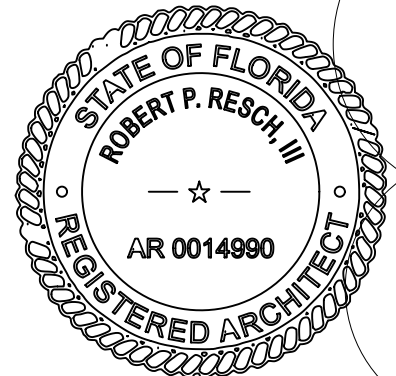
### SITE KEY PLAN N.T.S.

NORTH



Robert Resch

Digitally signed by Robert Resch  
Date: 2025.09.08 16:33:26  
-04'00'



## INDEX OF DRAWINGS

SHT. NO.	DESCRIPTION - ARCHITECTURAL	REVISION	
		NO.	DATE
C8	COVER SHEET AND INDEX OF DRAWINGS	1	09-11-25
D1	DEMOLITION / EXISTING CONDITIONS		
A1	FLOOR PLAN / LIFE SAFETY PLAN	1	07-23-25
A2	KITCHEN EQUIPMENT / SEATING PLAN		
A3	REFLECTED CEILING PLAN		
A4	PROPOSED EXTERIOR ELEVATIONS	1	09-11-25
A5	PROPOSED EXTERIOR ELEVATIONS	1	09-11-25
SHT. NO.	DESCRIPTION - STRUCTURAL		
S11	STRUCTURAL NOTES		
S21	FOUNDATION PLAN		
S22	PARTIAL, ROOF FRAMING PLAN		
S41	SECTIONS & DETAILS		
S42	SECTIONS & DETAILS		
S43	SECTIONS & DETAILS		
SHT. NO.	DESCRIPTION - ELECTRICAL		
E0	SYMBOLS, DETAILS, & NOTES		
E1	FIRE ALARM & HVAC POWER PLAN		
E2	LIGHTING PLAN		
E3	POWER & SYSTEMS PLAN		
SHT. NO.	DESCRIPTION - MECHANICAL/PLUMBING		
M1	MECHANICAL SPECIFICATIONS		
M2	MECHANICAL DEMO PLAN		
M3	MECHANICAL REMODEL PLAN		
M4	MECHANICAL DETAILS & SCHEDULES		
P1	PLUMBING SPECIFICATIONS		
P2	PLUMBING DEMO PLAN		
P3	PLUMBING REMODEL PLAN		
P4	PLUMBING DETAILS, SCHEDULES, & RISERS		

## BUILDING DATA

OCCUPANCY CLASSIFICATION: ASSEMBLY GROUP A2  
TYPE OF CONSTRUCTION: TYPE III-B UNSPRINKLED UNPROTECTED  
ALTERATION: LEVEL 2  
GROSS AREA: 3476 SF.  
GROSS A/C AREA: 3420 SF.

OCCUPANCY LOAD CALCULATIONS / EGRESS CAPACITY PER FBC SECT. 1004 - TABLE 1004.1.2 (2023 FLORIDA BUILDING CODE 8TH EDITION CHAPTER 10) AND PER NFPA 101, LIFE SAFETY CODE, TABLE 7.3.1.2 "LESS CONCENTRATED USE".

FUNCTION:	OCCUPANT LOAD FACTOR:	AREA	TOTAL:
BAR/DISHU.	200 GROSS SQ. FT.	517.62 SF	258
MERCANTILE	60 GROSS SQ. FT.	440.50 SF	134
STANDING SPACE (UNCONCENTRATED)	15 NET SQ. FT.	134.75 SF	15.65
TABLES AND CHAIRS (E.G., TABLES AND CHAIRS).	(LESS CONCENTRATED USE)		
TOTAL OCCUPANTS:			86

PLUMBING FACILITY CALCULATION AS REQUIRED IN SECTION 2902.1 OF FBC (2023 FLORIDA BUILDING CODE 8TH EDITION CHAPTER 29)

INDOOR LOUNGE AREA: (36 SEATS)  
INDOOR BAR AREA: (14 SEATS + 2 STAFF)  
PRIVATE ROOM: (16 SEATS)  
CIGAR / HUMIDOR: (2 STAFF)  
INDOOR LOUNGE OCCUPANTS PROPOSED: (66 SEATS + 4 STAFF)

OUTDOOR SEATING: (50 SEATS)  
OUTDOOR BAR AREA: (11 SEATS)  
OUTDOOR LOUNGE OCCUPANTS PROPOSED: (61 SEATS)

PLUMBING TABLE 403.1 - MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES  
1 WATER CLOSET IS REQUIRED PER 15 MALES - OCCUPANCY A2 / RESTAURANTS  
1 WATER CLOSET IS REQUIRED PER 15 FEMALES - OCCUPANCY A2 / RESTAURANTS  
1 LAVATORY IS REQUIRED PER 200 OCCUPANTS - OCCUPANCY A2 / RESTAURANTS

H/C SEATING CALCULATION  
25 FIXED BAR SEATS  
12 FIXED SOFA SEATS  
31 FIXED SEATS TOTAL X .05% = 2 H/C SEATS LOCATIONS REQUIRED  
3 H/C SEATS PROVIDED

## MEANS OF EGRESS

MEANS OF EGRESS	CODE REQUIREMENT	PROVIDED
1. NUMBER OF EXITS	2 PER FLOOR MINIMUM	2 PER FLOOR MINIMUM
2. TRAVEL DISTANCE	250 FEET MAXIMUM	VARIES
3. DEAD END CORRIDOR	20 FEET MAXIMUM	NONE
4. CORRIDOR WIDTH	44 INCH MINIMUM	64 INCHES
5. SIZE OF EGRESS DOORS	36 INCH WIDE MINIMUM	36 INCHES MINIMUM
6. STAIR WIDTH	44 INCH MINIMUM	48 INCHES

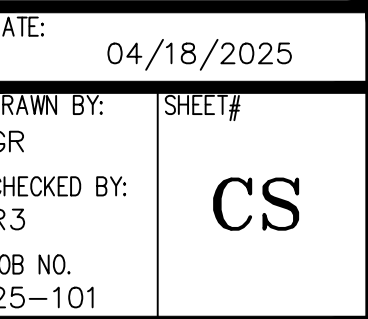
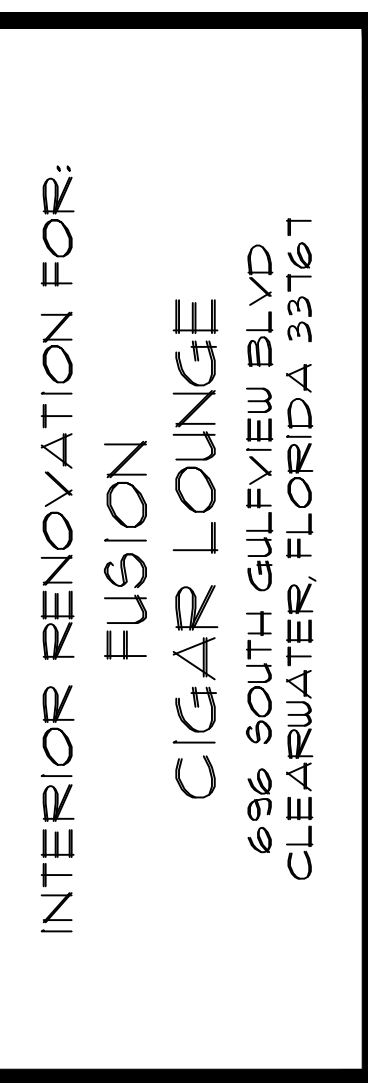
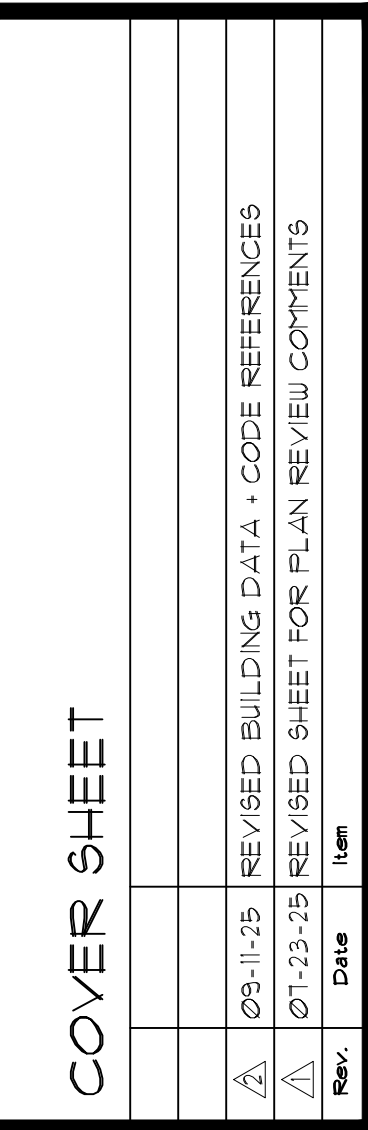
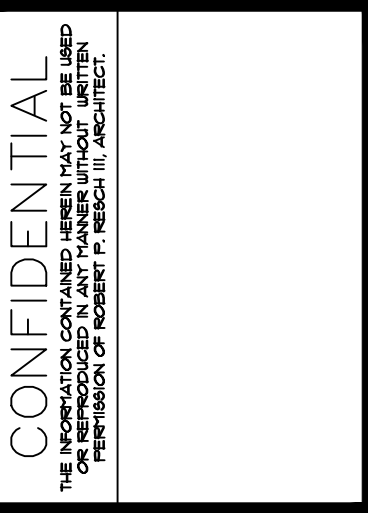
## APPLICABLE CODES UTILIZED FOR DESIGN

2023 FLORIDA BUILDING CODE 8TH EDITION: BUILDING  
2023 FLORIDA BUILDING CODE 8TH EDITION: ACCESSIBILITY  
2023 FLORIDA BUILDING CODE 8TH EDITION: ENERGY CONSERVATION  
2023 FLORIDA BUILDING CODE 8TH EDITION: PLUMBING  
2023 FLORIDA BUILDING CODE 8TH EDITION: MECHANICAL  
2023 FLORIDA BUILDING CODE 8TH EDITION: FUEL GAS  
2023 FLORIDA BUILDING CODE 8TH EDITION: EXISTING BUILDING

2020 NATIONAL ELECTRICAL CODE (NEC)  
2019 EDITION NFPA 241  
2023 8TH EDITION FLORIDA FIRE PREVENTION CODE  
2021 NFPA 101 CHAPTER 7.1.2.13  
2019 NFPA 24  
2019 NFPA 36  
2019 NFPA 72  
2020 NFPA 10  
2021 NFPA 90A

## TYPE OF IMPROVEMENTS

DESCRIPTION OF WORK:  
THE PROJECT CONSISTS OF ALL LABOR, MATERIALS, TOOLS, ACCESSORIES AND ADJUNCT SERVICES FOR THE INTERIOR RENOVATION / REMODELING OF A +/- 3476 SF. GROSS BUILDING AREA. RENOVATION WILL INCLUDE THE INSTALLATION OF NEW ADA UNISEX RESTROOM, UPDATED LIGHTING, AND EXTERIOR METAL ROLL-DOWN COIL DOORS @ (2) OUTDOOR BAR LOCATIONS.





# BOUNDARY, TREE AND TOPOGRAPHIC SURVEY

## LEGEND

A = ARC  
A/C = AIR CONDITIONER  
AC. = ACREAGE  
C.B. = CHORD BEARING  
CH = CHORD  
CLF = CHAIN LINK FENCE  
CONC = CONCRETE  
DI = DRAINAGE INLET  
EL. = ELEVATION  
EP = EDGE OF PAVEMENT  
F.F. = FINISHED FLOOR ELEVATION  
FCIR = FOUND CAPPED IRON ROD  
FCM = FOUND CONCRETE MONUMENT  
FIR = FOUND IRON ROD  
FOEP = FOUND OPEN END PIPE  
GAR. EL. = GARAGE ELEVATION  
HYD = HYDRANT

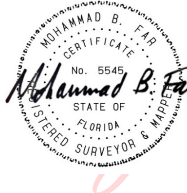
LP = LIGHT POLE  
(M) = MEASURED  
(P) = PLAT  
(R) = RECORD  
(C) = CALCULATED  
O.R. = OFFICIAL RECORD  
P.B. = PLAT BOOK  
P.O.B. = POINT OF BEGINNING  
P.O.C. = POINT OF COMMENCEMENT  
P.PIPE = PINCHED PIPE  
PG. = PAGE  
PP = POWER POLE  
R = RADIUS  
R/W = RIGHT OF WAY  
S.F. = SQUARE FEET  
SCIR = SET 1/2" IRON ROD #5545  
UP = UTILITY POLE

(S) SANITARY MANHOLE  
(D) DRAINAGE MANHOLE  
(M) MANHOLE  
△ SURVEY CONTROL POINT  
○ CLEANOUT  
○ BOUNDARY POINT FOUND  
□ FOUND CONC. MONUMENT  
(GT) GREASE TRAP  
☀ LIGHTPOLE  
⊗ GAS VALVE  
⊗ WATER VALVE (POTABLE)  
⊗ WATER VALVE (NON-POTABLE)  
⊗ SANITARY VALVE  
⊗ VALVE  
U UTILITY BOX  
E ELECTRIC PEDESTAL

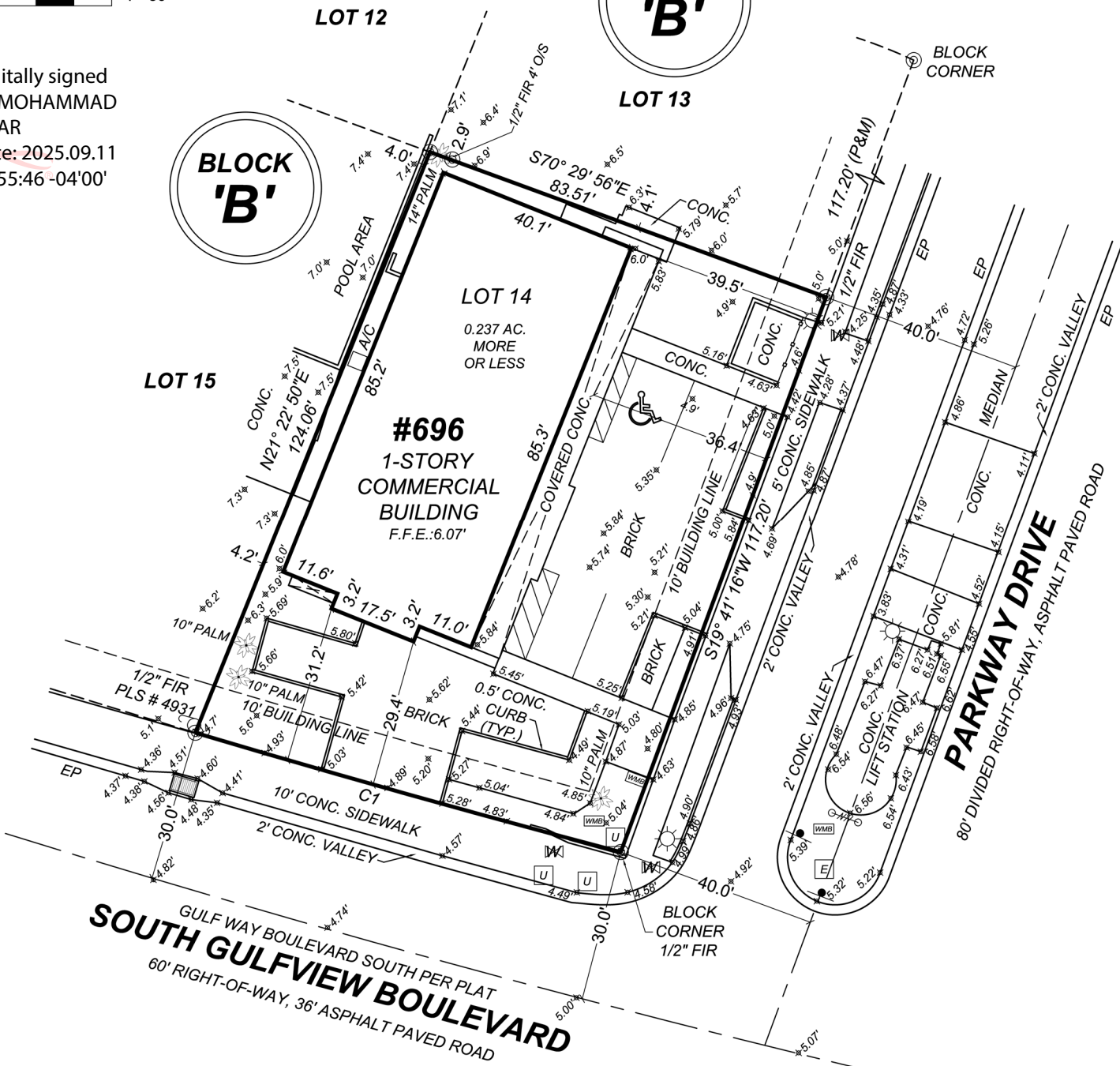
TV CABLE TELEVISION PEDESTAL  
SRVC SERVICE CABINET  
VCW VALVE COVER (WATER)  
VCI VALVE COVER (IRRIGATION)  
WPB WIRE PULL BOX  
WMB WATER METER BOX  
HYDRANT  
UTILITY POLE  
ELECTRIC TRANSFORMER  
VALVE (BACKFLOW)  
SINGLE SUPPORT SIGN  
MULTI SUPPORT SIGN  
PROPERTY LINE  
CENTER LINE  
DELTA  
COLUMN

PALE TREE  
TREE  
UTILITY EASEMENT  
FENCE  
GRADE BREAK  
BUILDING/BOUNDARY

0 30 60  
1"=30'



Digitally signed  
by MOHAMMAD  
B FAR  
Date: 2025.09.11  
16:55:46 -04'00'



C1  
R=2640.00'  
Δ=01°53'54"  
L=87.46'  
CH=87.45'  
C.B.=N74°57'15"W

### NOTES:

5.50' = ELEVATION

ELEVATIONS BASED ON CITY OF CLEARWATER  
BENCHMARK "F-03.5"  
N.A.V.D. 1988 ELEV. = 10.52'

### SURVEYOR NOTES:

- ALL EASEMENTS ARE FOR UTILITY AND OR DRAINAGE UNLESS OTHERWISE NOTED.
- THIS SURVEY IS ONLY FOR THE USE OF THE PARTIES THAT ARE BEING CERTIFIED TO.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
- THE BEARINGS SHOWN HEREON ARE BASED ON RECORD PLAT INFORMATION.
- CALCULATED INFORMATION IS BASED ON (A) CONCEPTUAL RECREATION OF PLAT INTENT, (B) INFORMATION REQUIRED TO SET RECORD CORNERS, &OR (C) COMPILED DATA FROM SURROUNDING PLATS, DEEDS, AND CERTIFIED CORNER DOCUMENTS.
- DIMENSIONS ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF.
- THIS DRAWING DOCUMENTS THE BOUNDARIES AND IMPROVEMENTS AS THEY EXISTED 09/11/2025. THE SURVEYOR MAKES NO WARRANTY, WRITTEN OR OTHERWISE, AS TO THE ACCURACY AND/OR DISPOSITION OF THE BOUNDARIES BEYOND THAT DATE.
- THE SURVEYOR ACCEPTS NO LIABILITY FOR CONSTRUCTION, ADDITIONS, AND/OR IMPROVEMENTS HEREFTER ERECTED.
- ALL ELEVATIONS ARE BASED ON THE N.A.V.D. OF 1988.

### LEGAL DESCRIPTION:

SEC 17, TWP 29S, RGE 15E

LOT 14, BLOCK B, BAYSIDE SUBDIVISION NO. 5, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 38, PAGE 38, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

PARCEL NO: 17-29-15-05004-002-0140

SUBJECT TO SETBACKS, EASEMENTS AND RESTRICTIONS OF RECORD

### CERTIFIED PARTIES:

696 S GULFVIEW BLVD LLC

FLOODPLAIN CERTIFICATION: ACCORDING TO THE F.I.R.M. MAP, COMMUNITY PANEL NUMBER: 12103C/0104/H DATED: 08/24/2021. THIS PROPERTY APPEARS TO BE IN FLOOD ZONE "AE" AND THE BASE 100 YEAR FLOOD ELEVATION IS 9.0' ABOVE MEAN SEA LEVEL.

JOB #	696	REVISIONS:
FIELD DATE	09/10/2025	
SCALE	1" = 20'	
DRAWN BY	E.I.	
CHECKED BY	M.B.F.	

**MOHAMMAD B. FAR**  
3152 LITTLE ROAD #333,  
TRINITY, FLORIDA 34655

PHONE: (727) 375-1740 FAX: (727) 375-1741  
E-MAIL: MOHAMMADBFAR@AOL.COM

This certifies that a survey of this legal described hereon was made under my supervision and that the survey complies with the Standard and Practice set forth by the Florida Board of Professional Land Surveyors & Mappers in Chapter 5J-17 F.A.C., pursuant to Section 472.027, Florida Statutes. And, that the sketch hereon is true and accurate representation thereof to the best of my knowledge and belief, subject to notes and notations hereon. NOT VALID UNLESS SIGNED, DATED AND STAMPED WITH MY EMBOSSED SEAL. FOR REFERENCE ONLY.

09/11/2025

DATE

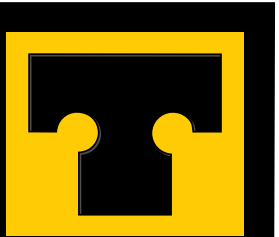
No. 5545  
STATE OF  
FLORIDA  
REGISTERED PROFESSIONAL LAND SURVEYOR & MAPPER

MOHAMMAD B. FAR, P.L.S. #5545









THOMAS

SIGN & AWNING CO INC

4590 118TH Avenue North  
Clearwater, Florida 33762

800-526-3325

Local: 727-573-7757  
Fax: 727-573-0328

www.thomassign.com

CUSTOMER

Fusion Cigar Lounge

Installation Address:  
696 Gulfview Blvd.  
Clearwater, FL  
33767

Drwg. #114224 PID # 107481

Sales Associate: Project Team:

DN

Designer: Date:

JMS 08.19.25

Revisions:  
R1 X



3M<sup>TM</sup> MCS<sup>TM</sup> Warranty

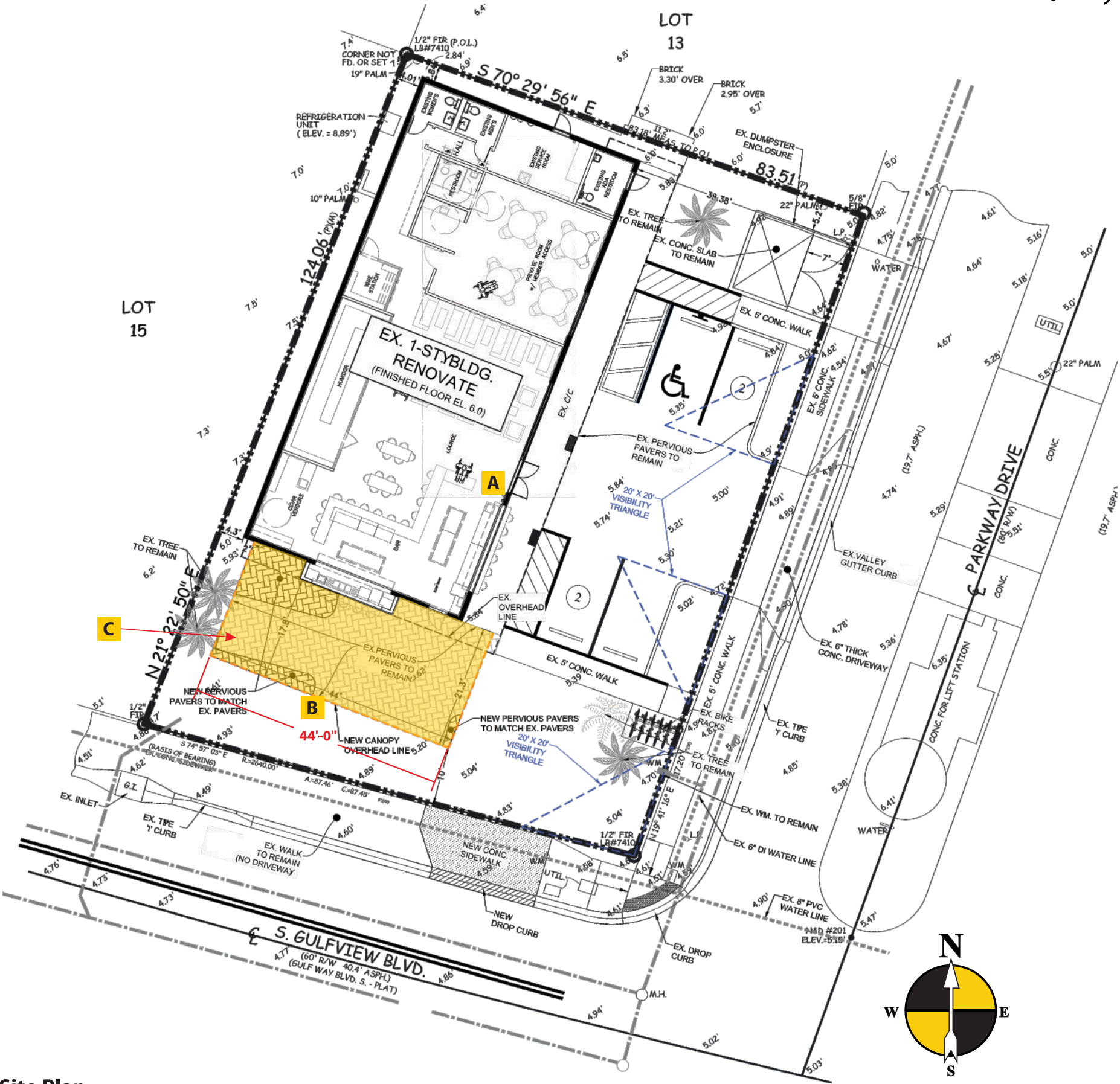
Approval:

☐ Approved  
DATE:

☐ Approved as noted  
DATE:

☐ Revise & Re-Submit  
DATE:

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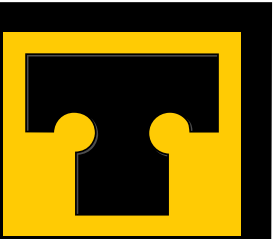
LEGEND

- A LED Illuminated (Front & Halo) Wall Sign
- B LED Illuminated (Halo Lit) Channel Letters
- C New Aluminum Canopy

Site Plan

Scale: 1"=20'-0"





THOMAS

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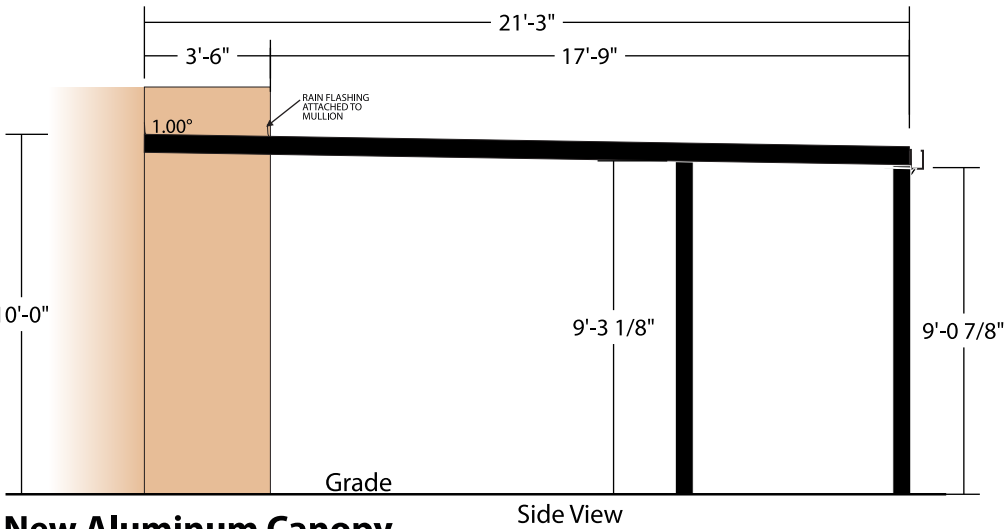
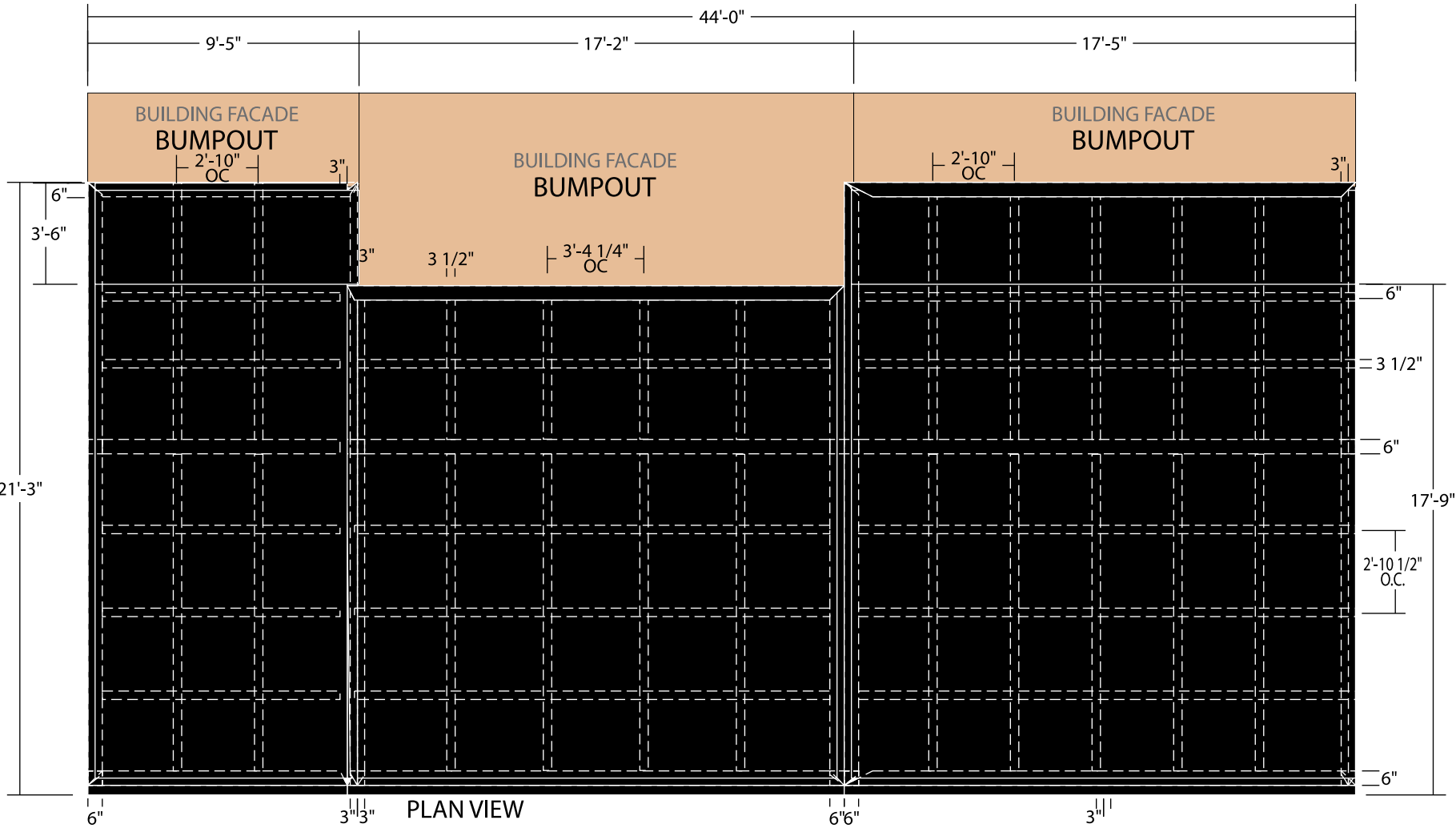
Sales Associate: Project Team:

DN

Designer: Date:

JMS 08.19.25

Revisions:  
R1 JMS 09.09.25 revise dims/sizes



- C New Aluminum Canopy**
- Aluminum Canopy all painted Black. Mounted to Wall and Direct Bury Ground
  - 2" Angle Flashing to act as side gutters
  - Cover to be .125" Aluminum Panels.
  - 6" Standing Steel Supports w/ Base Plates. 6"x6" Framing Perimeter, 6"x6" Cross Members; two 3"X6" Vertical Cross Members
  - Water Drainage to Front Facing Away from building.
  - CONFIRM SIZES**

Scale: 3/16"=1'-0"



Existing Condition

NTS



Proposed Condition

Scale: 3/32" = 1'-0"



3M™ MCS™ Warranty

Approval:

☐ Approved

DATE:

☐ Approved as noted

DATE:

☐ Revise & Re-Submit

DATE:

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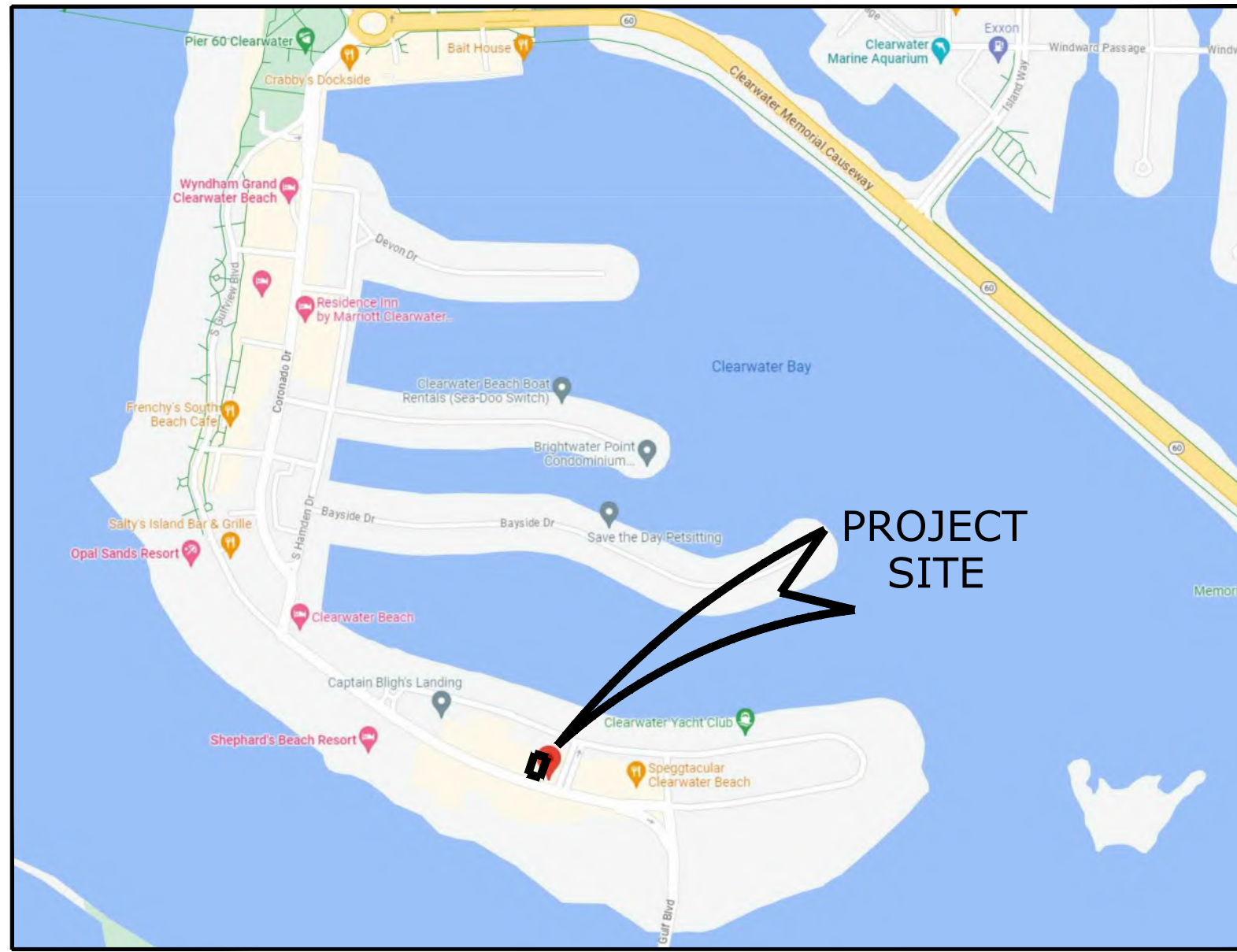


# FUSION CIGAR LOUNGE

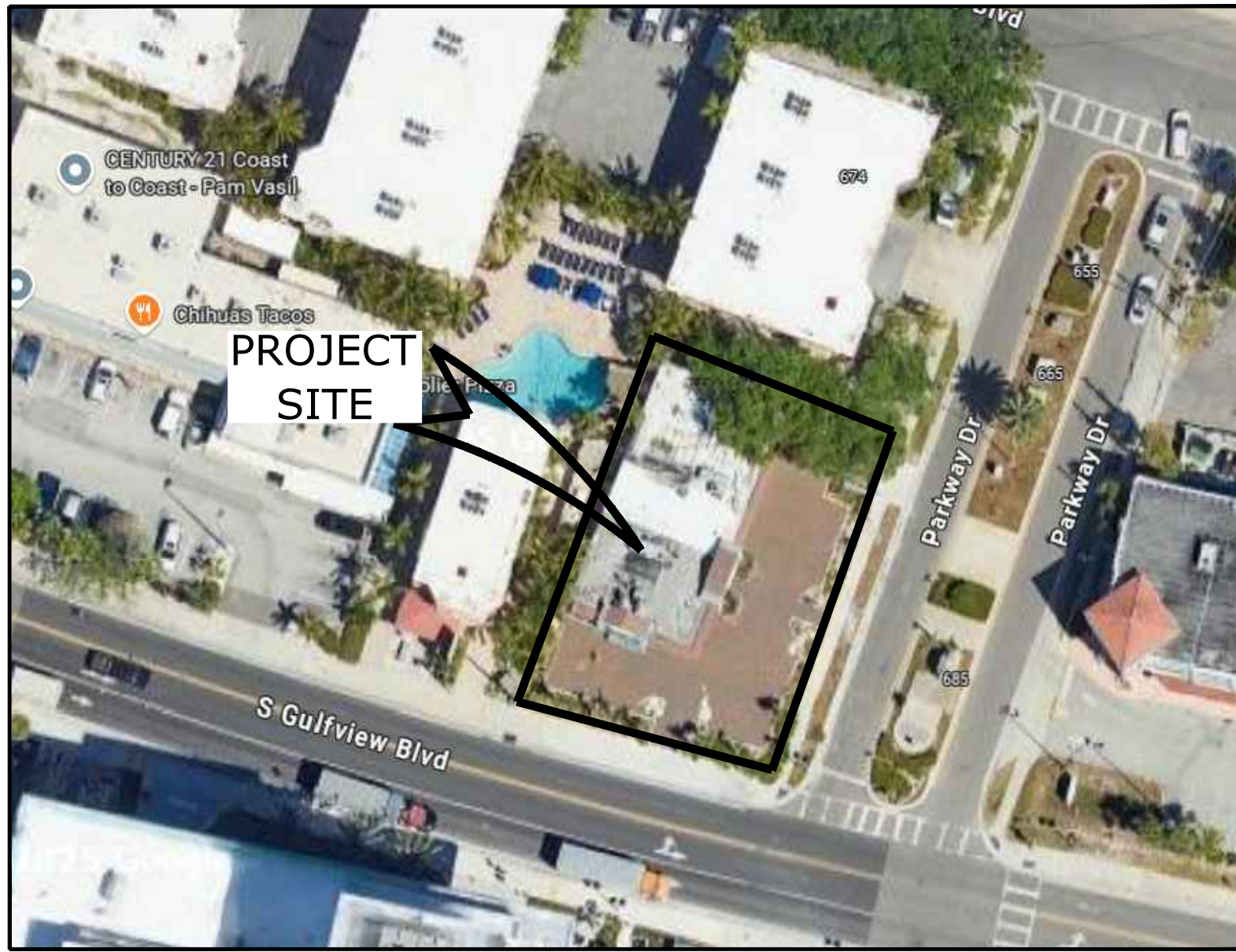
SECTION 17 - TOWNSHIP 29 S - RANGE 15 E  
PARCEL NO. 17-29-15-05004-002-0140  
CITY OF CLEARWATER, FLORIDA

## LEGAL DESCRIPTION

A BOUNDARY SURVEY OF: Lot 14, BAYSIDE SUBDIVISION NO. 5, as recorded in Plat Book 38, Pages 38-39 of the Public Records of Pinellas County, Florida.



STREET MAP



AERIAL MAP

## INDEX OF SHEETS

C1.1	CIVIL SITE DATA
C2.1	SITE PREPARATION PLAN
C3.1	CIVIL SITE PLAN
L1.1	LANDSCAPING PLAN
L1.2	LANDSCAPING DETAILS

## OWNER CONTACT

696 S GULFVIEW BLVD LLC  
965 S BAYSHORE BLVD  
SAFETY HARBOR, FL 34695-4217

## DESIGN PROFESSIONALS

CIVIL ENGINEER/PLANNER:	ARCHITECT
NORTHSIDE ENGINEERING, INC. 300 SOUTH BELCHER ROAD CLEARWATER, FLORIDA 33765 727-443-2869	ROBERT P. RESCH, III 2963 GULF TO BAY BLVD., SUITE 100 CLEARWATER, FLORIDA 33759 727-709-0630 CELL RESCHARCHITECTURE.COM 727-210-7554 OFFICE RESCHIII@VERIZON.NET
SURVEY	
MURPHY'S LAND SURVEYING, INC. 5760 11TH AVENUE NORTH ST. PETERSBURG, FLORIDA 33710 727-347-8740	

## FLOOD ZONE INFORMATION

FLOOD ZONE "AE (EL 9)"  
CITY OF CLEARWATER 125096  
12103C0104H  
EFF. 8/24/2021

## SITE DATA

MATRIX		EXISTING	PROPOSED	ALLOWED/CODE
ZONING:		T	T	OK.
USAGE:		GENERAL RETAIL	CIGAR LOUNGE + BAR - 4 COP	OK.
FUTURE LAND USE:		RFH	RFH	OK.
LOT AREA (GROSS):		10,284 S.F. 0.236 ACRES	10,284 S.F. 0.236 ACRES	5,000 S.F.
BUILDING COVERAGE:		3,476 S.F.	3,476 S.F.	-
FLOOR AREA RATIO: (FAR)		3,476 S.F. 0.338	3,476 S.F. 0.338	10,284 S.F. 1.00 (MAX)
BLDG. SETBACKS:	FRONT ( SOUTH )	31.22'	10' (TO OUTDOOR SEATING)	0' - 15'
	FRONT (EAST)	39.38'	39.38'	0' - 15'
	SIDE ( WEST )	4.01'	4.01'	0' - 10'
	SIDE ( NORTH )	2.84'	2.84'	0' - 10'
BLDG. HEIGHT:		18.5'	18.5'	35' - 100'
VEHICULAR USE AREA (VUA):		3,156 S.F.	1,970 S.F.	-
IMPERVIOUS SURFACE RATIO: (I.S.R.)		8,294 S.F. 0.806	7,561 S.F. 0.735	0.95 MAX.
OPEN SPACE: (S.F. & % OF GROSS SITE)		1,990 S.F. 19.4%	2,723 S.F. 26.5%	5%
PARKING:		6 SPACES	4 SPACES	35 SPACE
PARKING CALCULATIONS: PREVIOUS 'FLD2020-05013' WAS APPROVED WITH NO PARKING FOR RESTAURANT.				



## AGENCY RESPONSE STAMPS

**Northside Engineering, Inc.**  
300 South Belcher Road, Clearwater, Florida 33765  
Tel: 727-443-2869 Fax: 727-443-2869  
tech@northsideengineering.net Est. 1989

Donald B. Fairbairn, P.E. #44971

PROJECT # 2531

ISSUE DATE: 07/17/2025

REVISIONS:

No.	Date	Description
1	09/11/25	CITY COMMENTS
2		
3		
4		
5		
6		
7		
8		
9		
10		

DRAWN BY : HS

CIVIL SITE DATA

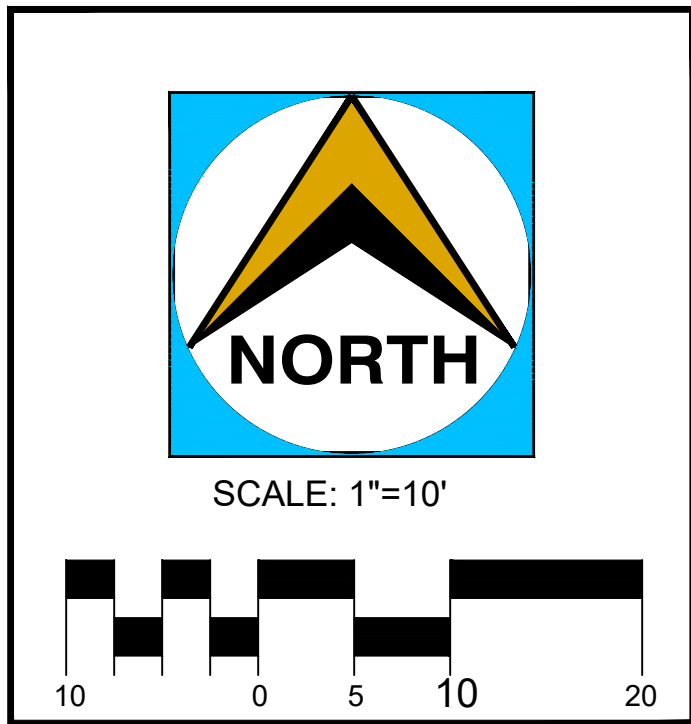
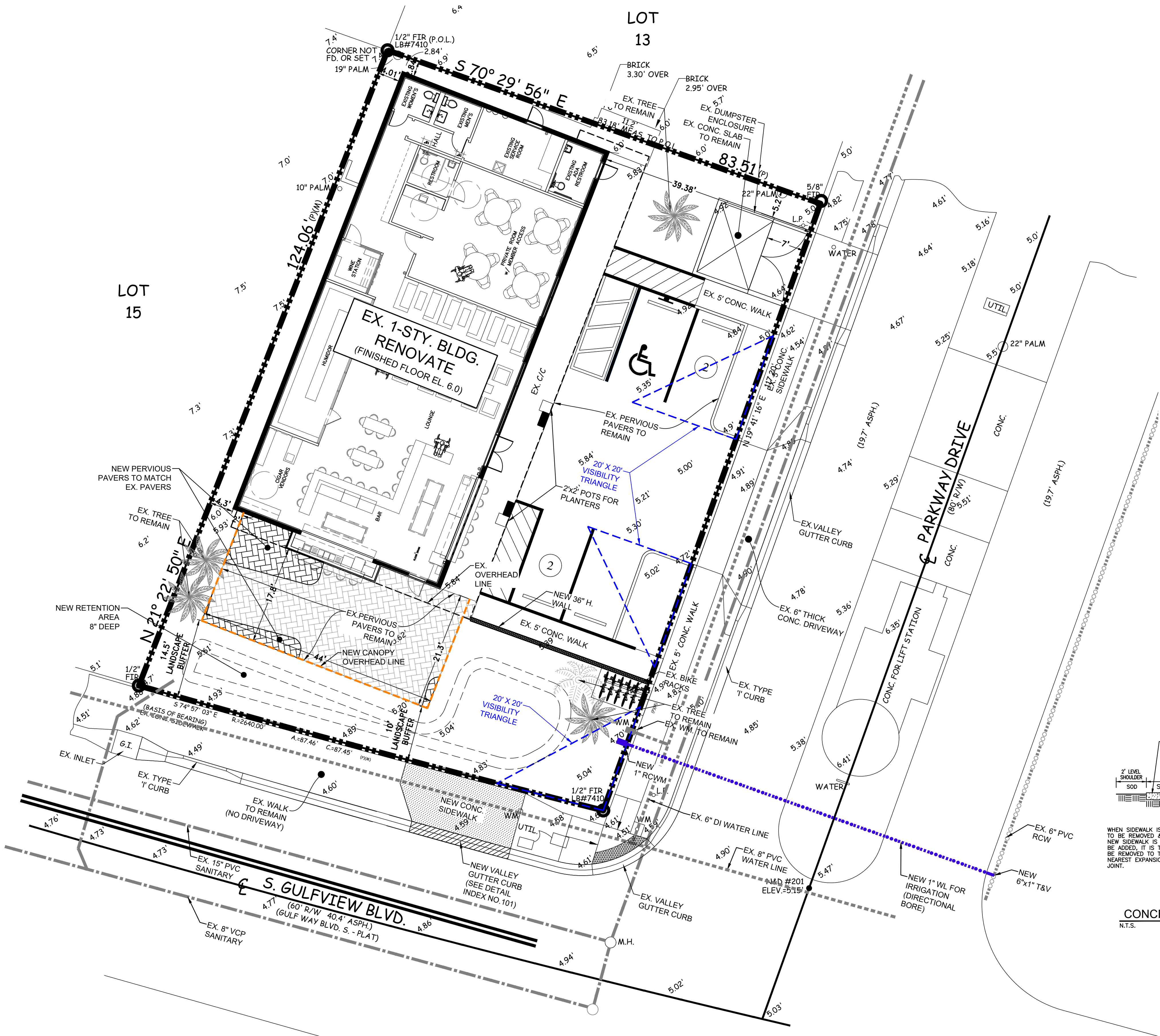
FUSION CIGAR LOUNGE  
696 S GULFVIEW BLVD,  
CLEARWATER, FL33767

**Northside Engineering, Inc.**  
C1.1



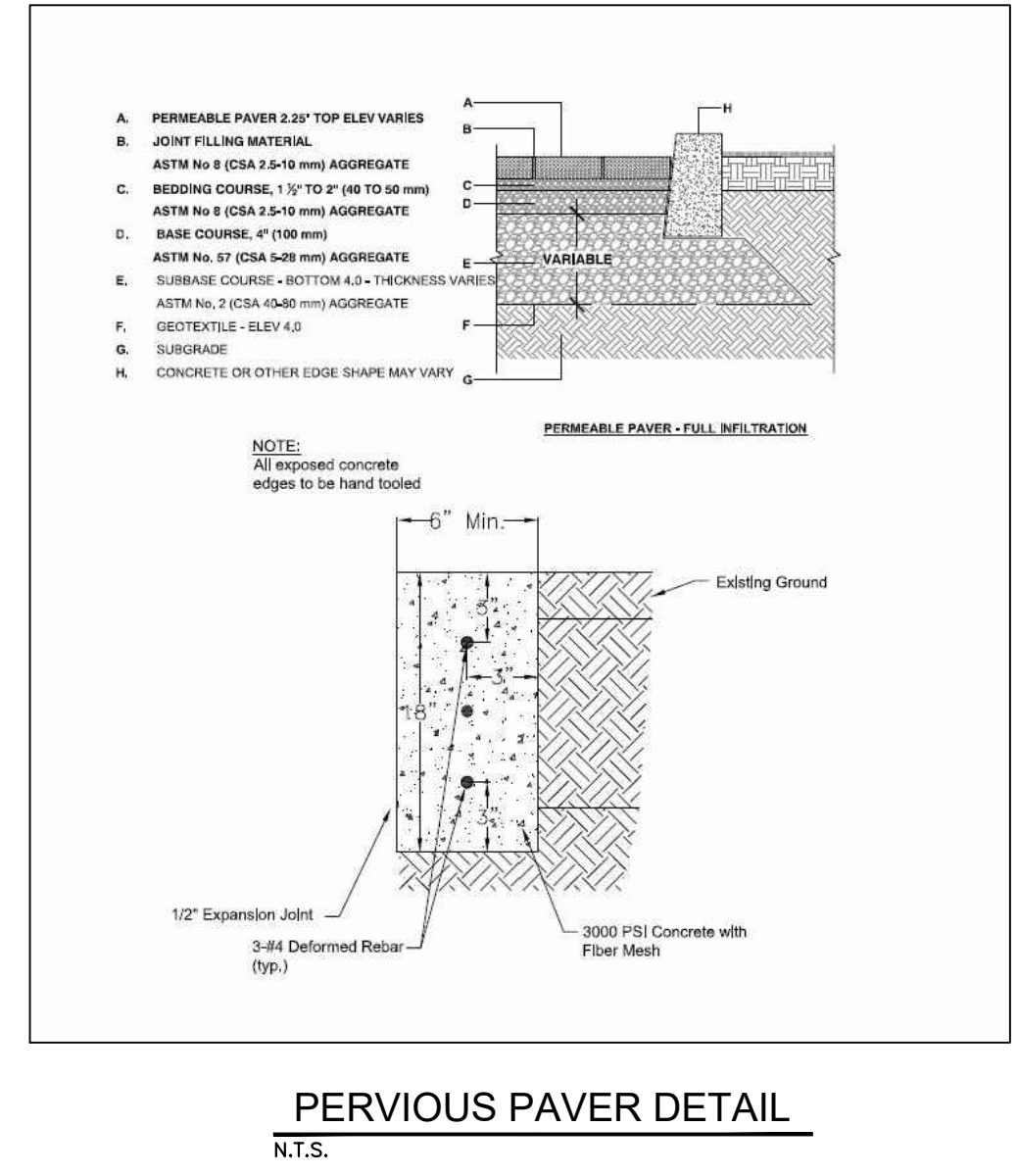
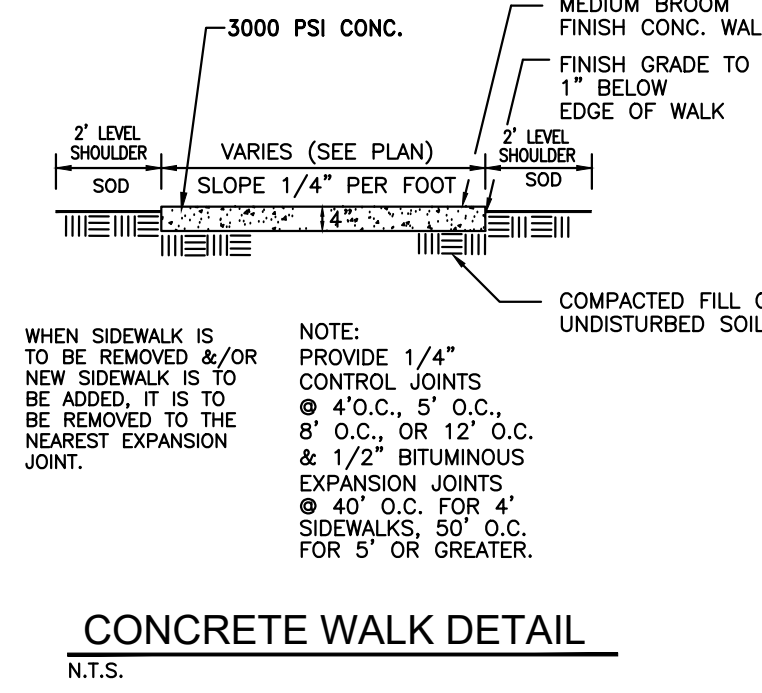
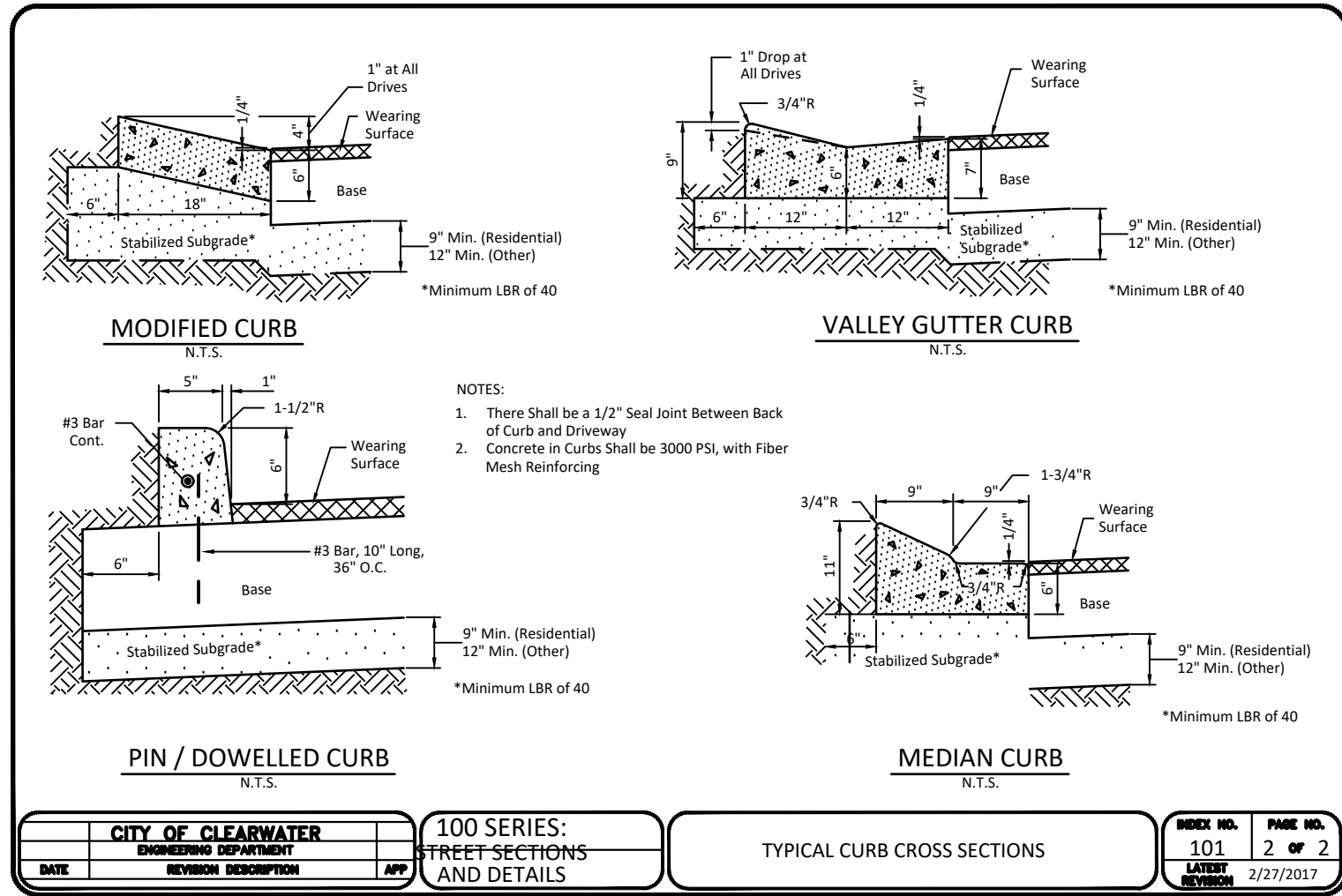






### LEGEND

PROPERTY LINE	---
NEW CONC.	[Pattern]
NEW CONC. CURB	[Pattern]
EX. SAN. SEWER	---
EX. RECLAIMED WATER	---
EX. WATER SERVICE	---
EX. ELEV.	+X.XX

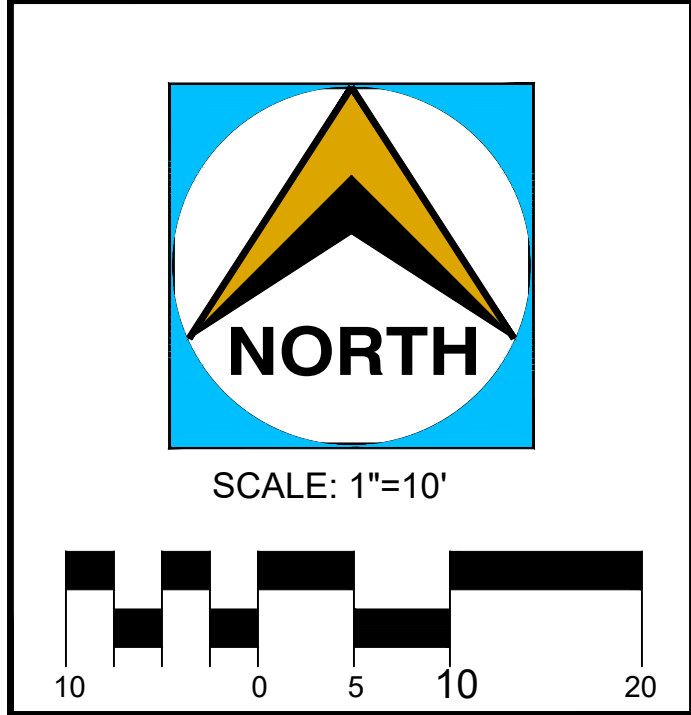
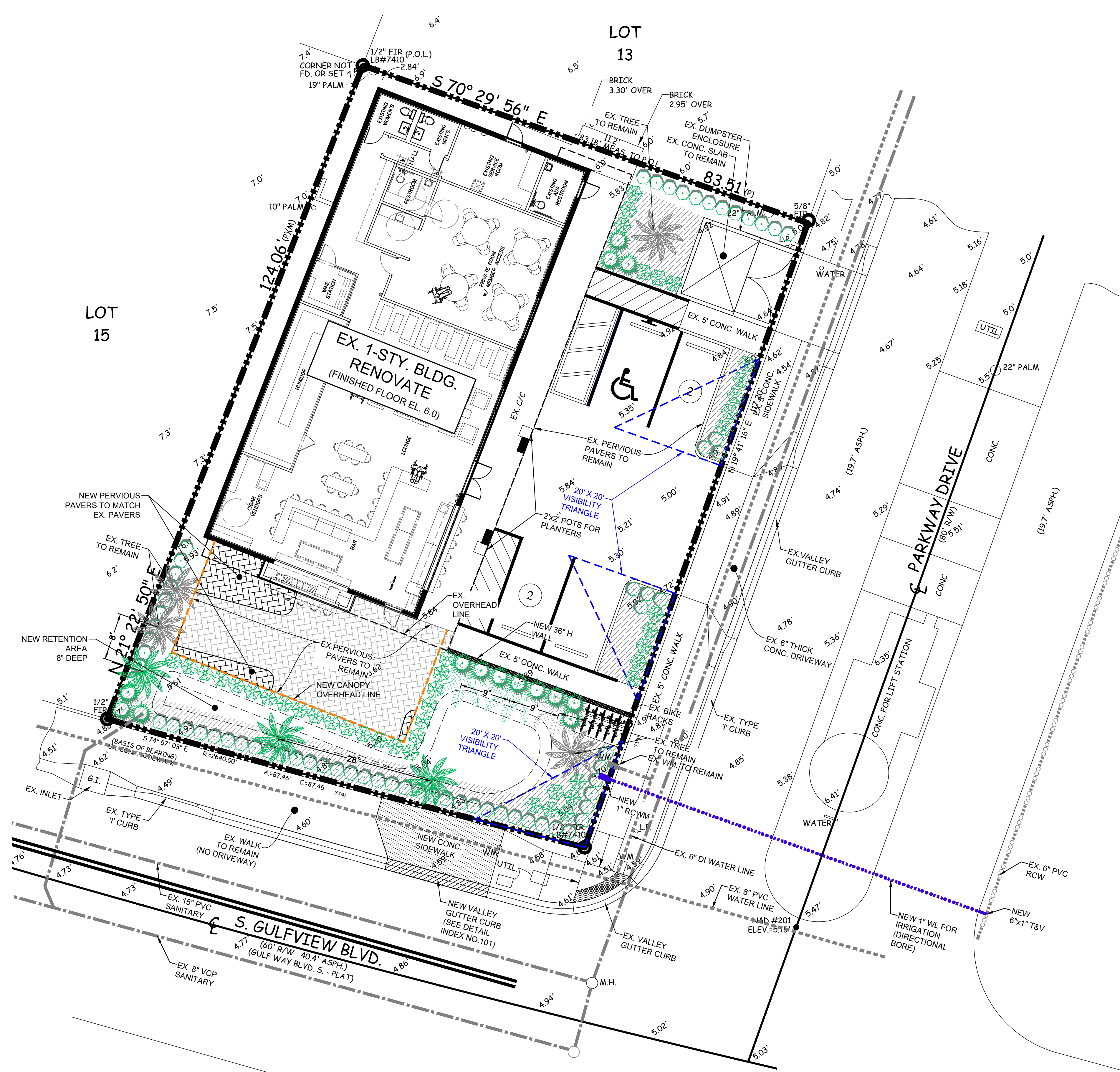


Donald B. Fairbairn, P.E. #44971  
COPES OF THESE PLANS ARE NOT VALID UNLESS  
INITIALLY SIGNED AND SEALED WITH THE  
DRAWING ENGINEER'S SEAL

PROJECT #		2531
ISSUE DATE:		07/17/2025
REVISIONS:		
No.	Date	Description
△	09/11/25	CITY COMMENTS
△	/ /	
△	/ /	
△	/ /	
△	/ /	
△	/ /	
△	/ /	
△	/ /	
DRAWN BY : HS		

CIVIL SITE PLAN  
FUSION CIGAR LOUNGE  
696 S GULFVIEW BLVD.,  
CLEARWATER, FL 33767





LEGEND	
PROPERTY LINE	---
NEW CONC.	[Pattern]
NEW CONC.	[Pattern]
NEW CONC. CURB	[Pattern]
EX. SAN. SEWER	---
EX. RECLAIMED WATER	---
PROP. RECLAIMED WATER	---
EX. WATER SERVICE	---
EX. ELEV.	+xxx

PLANT SCHEDULE					
TREES	QTY	COMMON	BOTANICAL	SPECIFICATION	GR.
	3	Cabbage Palm	Sabal Palmetto	10' ct., 3 stems	Grade #1
	2	Foxtail Palm	Wodyetia Bifurcata	10' ct. Single stem	Grade #1
SHRUBS					
	14	Coontie	Zamia pulmila	15 gal., 60" ht. x 36" spr.	
	44	Variegated Arboicola	Schefflera Arboicola	15 gal., 48" ht. x 24" spr.	
	67	Nora Grant Ixora	Ixora spp.	3 gal., 24" ht. x 24" spr. 30" o.c.	
GROUND COVER					
	1,100 s.f. Beach Sunflower		Helianthus debilis	1 gal., 12" ht. x 12" spr. 18" o.c.	

NOTE: ALL IRRIGATION SYSTEMS SHALL BE CONNECTED TO THE CITY RECLAIMED WATER SYSTEM.

# Northside

Engineering, Inc.

Civil - Land Planning - Traffic Studies - Landscape  
Due Diligence Reports - Land Use - Re-Zoning  
Stormwater Management - Utility Design  
Construction Administration

300 South Belcher Road, Clearwater, Florida 33765  
Tel: 727-443-2865 Fax: 727-446-8036  
tech@northsideengineering.net  
Est. 1989

Donald B. Fairbairn, P.E. #44971

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SIGNING ENGINEER'S SEAL.

PROJECT #		2531
ISSUE DATE:		07/17/2025
REVISIONS:		
No.	Date	Description
1	09/11/25	CITY COMMENTS
DRAWN BY : HS		

LANDSCAPE PLAN

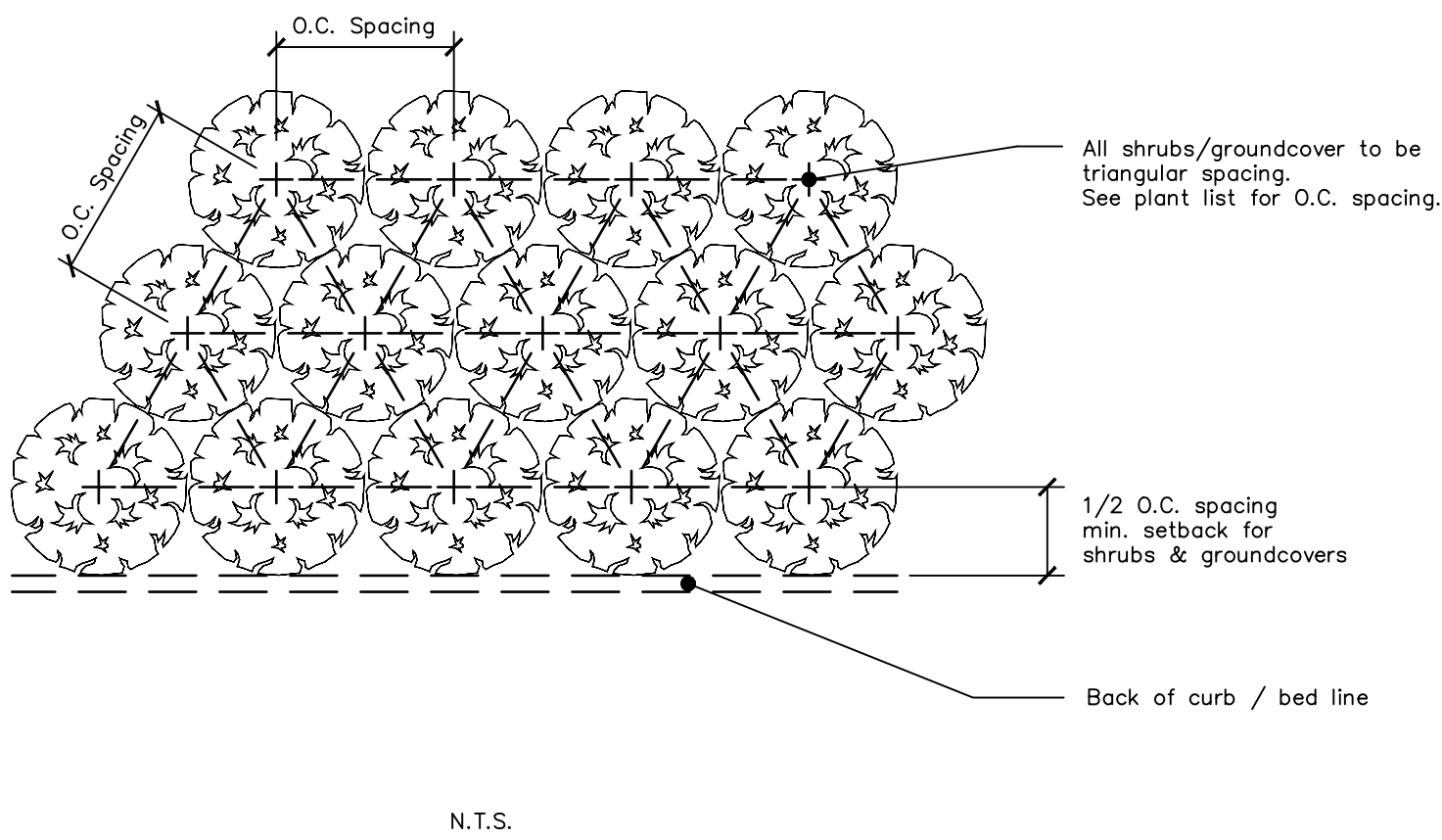
FUSION CIGAR LOUNGE  
696 S GULFVIEW BLVD,  
CLEARWATER, FL 33767

Northside

Engineering, Inc.

L1.1





N.T.S.

5/17/12	DEPARTMENT OF PUBLIC WORKS	TLM
5/5/05	CHANGING DEPARTMENT	TLM
DATE	REVISION DESCRIPTION	APP

LANDSCAPE DETAILS

### PLANT SPACING DETAIL (NO-OFFSET)

INDEX NO.	PAGE NO.
903	1 of 2
LATEST REVISION	2/22/2016

### GENERAL LANDSCAPE NOTES

- The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
- All recommended trees and plant materials will be graded as Nursery Grade No. 1 or better as outlined by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry "Grades and Standards for Nursery Plants", 7th Edition, 1998 as revised from time to time.
- All planting shall be done in accordance with the Florida Nurserymen's and Grower's Associations approved practices.
- All plants shall be fertilized with Agriform 20-10-5 tablets as per the manufacturers specifications in conjunction with note # 5.
- The planting soil shall be the approximate proportions as follows: 50% sand and 50% organic material consisting of native peat, well-decomposed sawdust, leaf mold and top soil. It shall provide a good pliable and thoroughly mixed medium with adequate aeration, drainage and water-holding capacity. It shall also be free of all extraneous debris, such as roots, stones, weeds, etc.
- All planting areas shall receive a 3" layer of recycled hardwood log mulch, which is to be watered-in after installation.
- The plant material schedule is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant key, the plan shall prevail.
- Plants shall meet size, container, and spacing specifications. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
- All tree and shrub locations are subject to change. All locations shall be approved by the City Project Manager prior to planting.
- The Landscape Contractor shall be responsible for examining fully both the site and the bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the City Project Manager in writing at the time of bidding or discovery. No account shall be made after contract completion for failure to report such condition, or for errors on the part of the Landscape Contractor at the time of bidding.
- The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth in this plan set and the specifications.
- Plant material shall be bid as specified unless unavailable, at which time the City Project Manager will be notified by telephone and in writing of intended changes.
- Any and all questions concerning the plan set and/or specifications shall be directed to the City Project Manager at (727) 562-4737.
- There shall be no additions, deletions or substitutions without the written approval of the City Project Manager.
- The Landscape Contractor shall guarantee, in writing, plant survivability for a period of twelve (12) months from final acceptance by the City Project Manager.
- All dimensions to be field-checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the City Project Manager.
- All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the City Project Manager with proper installation carried out by Landscape Contractor at no additional cost.
- All permits necessary are to be provided by the installing contractor unless otherwise specifically stated in the specifications.
- No contractor identification signs shall be permitted on the project, except for the project information signs.
- Existing sod shall be removed as necessary to accommodate new plantings.
- Any existing sod areas that are unnecessarily disturbed during the landscape installation shall be reseeded to match existing.
- The Landscape Contractor will be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.

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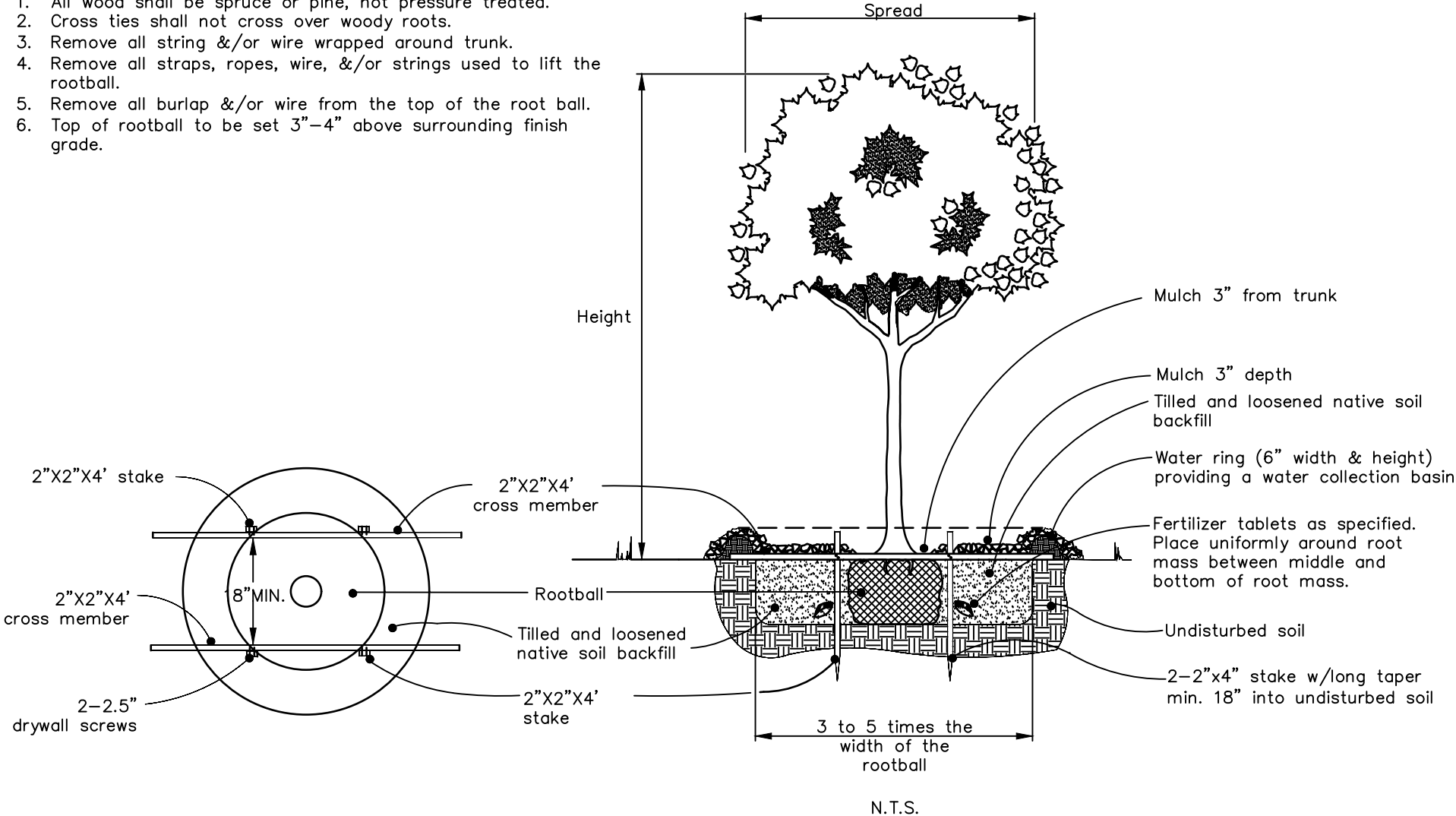
LANDSCAPE DETAILS

### GENERAL LANDSCAPING NOTES

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### NOTES:

- All wood shall be spruce or pine, not pressure treated.
- Cross ties shall not cross over woody roots.
- Remove all string &/or wire wrapped around trunk.
- Remove all straps, ropes, wire, &/or strings used to lift the rootball.
- Remove all burlap &/or wire from the top of the root ball.
- Top of rootball to be set 3"-4" above surrounding finish grade.



N.T.S.

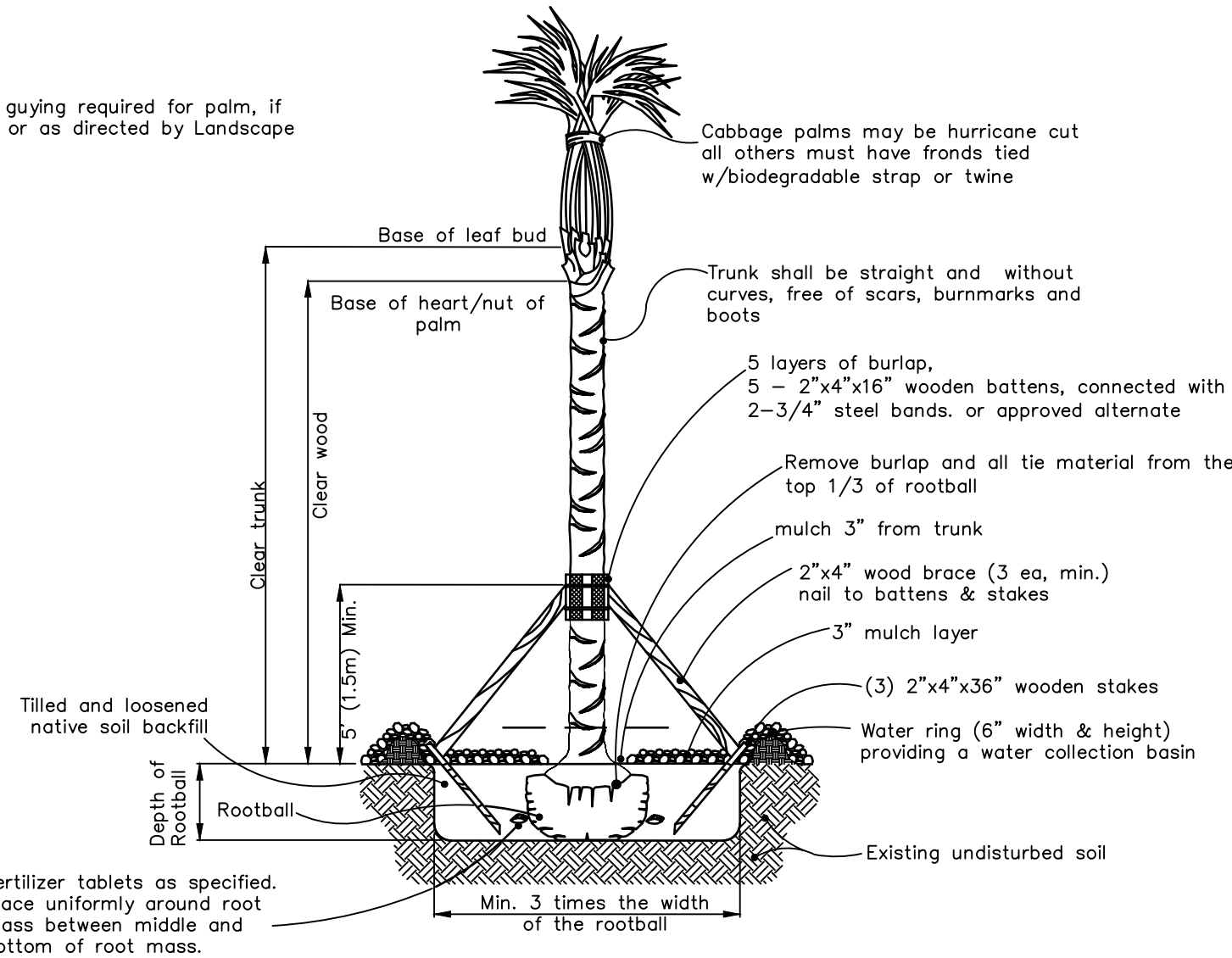
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### TREE PLANTING DETAIL

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NOTE:  
Staking & guying required for palm, if necessary, or as directed by Landscape Architect.



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### PALM PLANTING DETAIL

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### IRRIGATION NOTES

- A low volume irrigation system, that provides 100% coverage of all plantings and sod, will be designed and installed by contractor.
- The proposed irrigation system must meet or exceed all applicable City code requirements (i.e., Back Flow Prevention, Automatic Rain Shutoff Device, etc.).
- Contractor must coordinate location and size of irrigation water meter with the City Project Manager.
- Contractor must coordinate the placement and power supply for the irrigation control timer with the City Project Manager.
- The proposed irrigation system must use irrigation components from the Parks & Recreation Department's most current approved products list, available from the City Project Manager.
- The proposed irrigation system must be designed in compliance with the Parks & Recreation Department's Irrigation System Design guidelines, available from the City Project Manager.
- Irrigation Shop Drawings must be prepared and submitted for approval by the City Project Manager prior to commencement of work.
- The irrigation system must be inspected and accepted by the City Project Manager prior to backfilling trenches or installation of mulch.
- Any existing sod areas that are unnecessarily disturbed during the landscape installation shall be reseeded to match existing.
- Any modifications and/or substitutions, must be submitted to the City Project Manager prior to final inspection and acceptance.

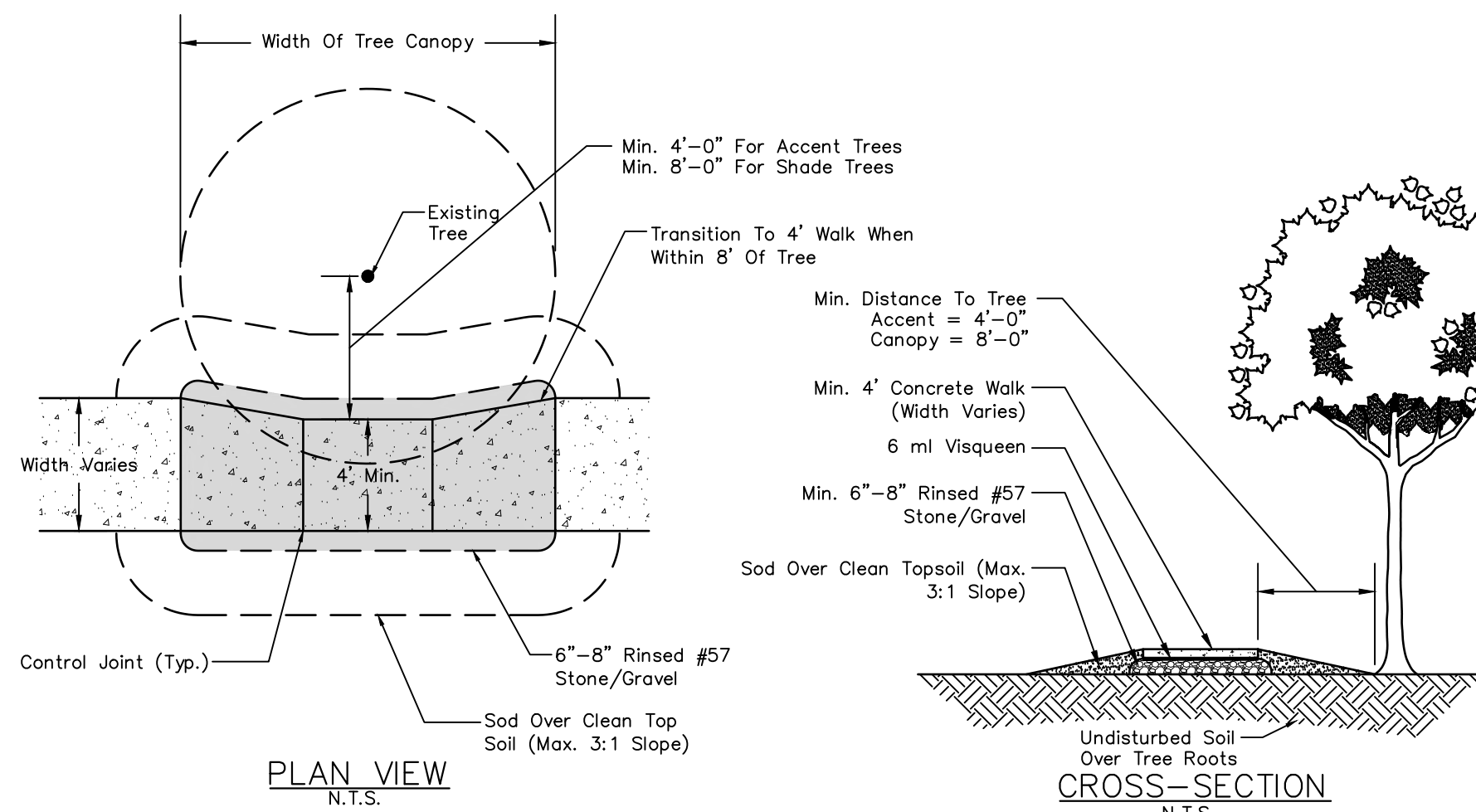
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### IRRIGATION NOTES

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NOTE: All concrete sidewalk construction shall conform with minimum requirements found in City Index 109.



PLAN VIEW  
N.T.S.

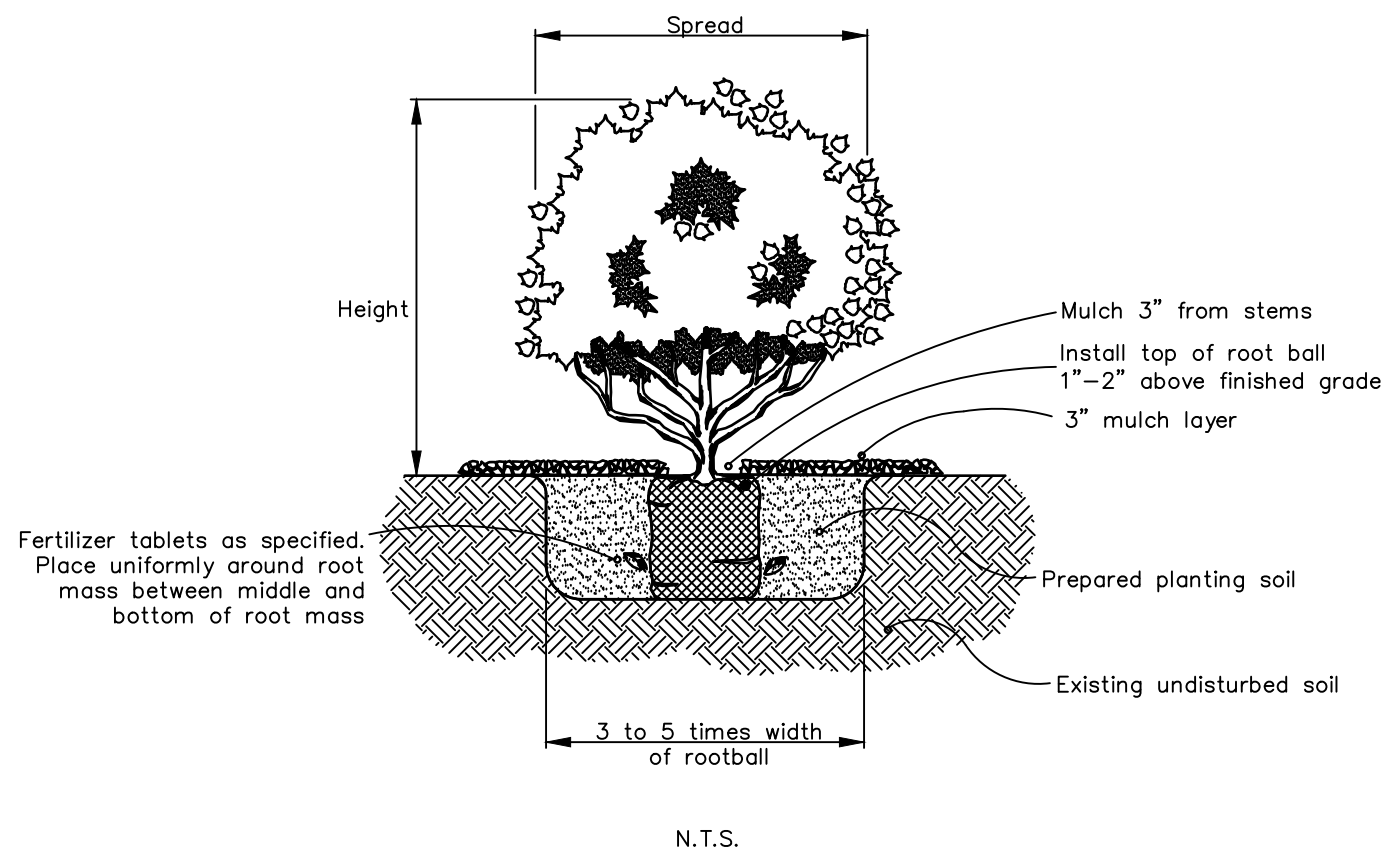
CROSS-SECTION  
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STREET SECTIONS AND DETAILS

### SIDEWALK CONSTRUCTION WITH TREE PROTECTION

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### SHRUB AND GROUNDCOVER PLANTING DETAIL

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### FERTILIZATION NOTES

#### SHRUBS AND TREES

All trees and shrubs shall be fertilized with "Agriform" 20-15-5 planting tablets at time of installation and prior to completion of pit backfilling. Tablets shall be placed uniformly around the root mass at a depth that is between the middle and bottom of the root mass.

#### APPLICATION RATE:

1 Gallon can:	1 - 21 gram tablet
3 Gallon can:	2 - 21 gram tablets
5 Gallon can:	3 - 21 gram tablets
7 Gallon can:	4 - 21 gram tablets
Trees:	3 - 21 gram tablets each 1/2" of caliper
Palms:	7 - 21 gram tablets

#### GROUNDCOVER AREAS

All groundcover areas shall receive fertilization with "Ozmocote" time release fertilizer as per manufacturer's specifications.

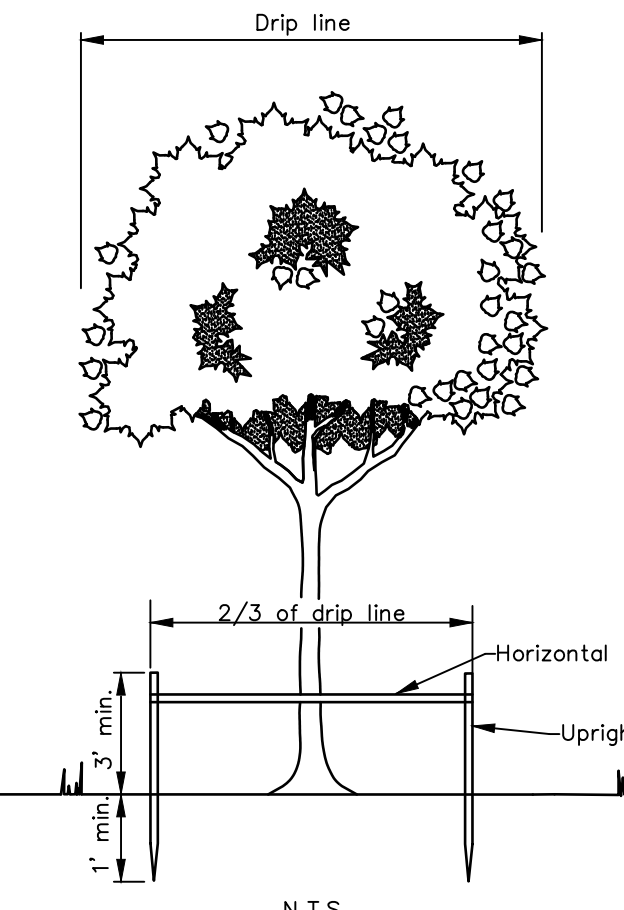
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### FERTILIZATION NOTES

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#### HARDWOODS

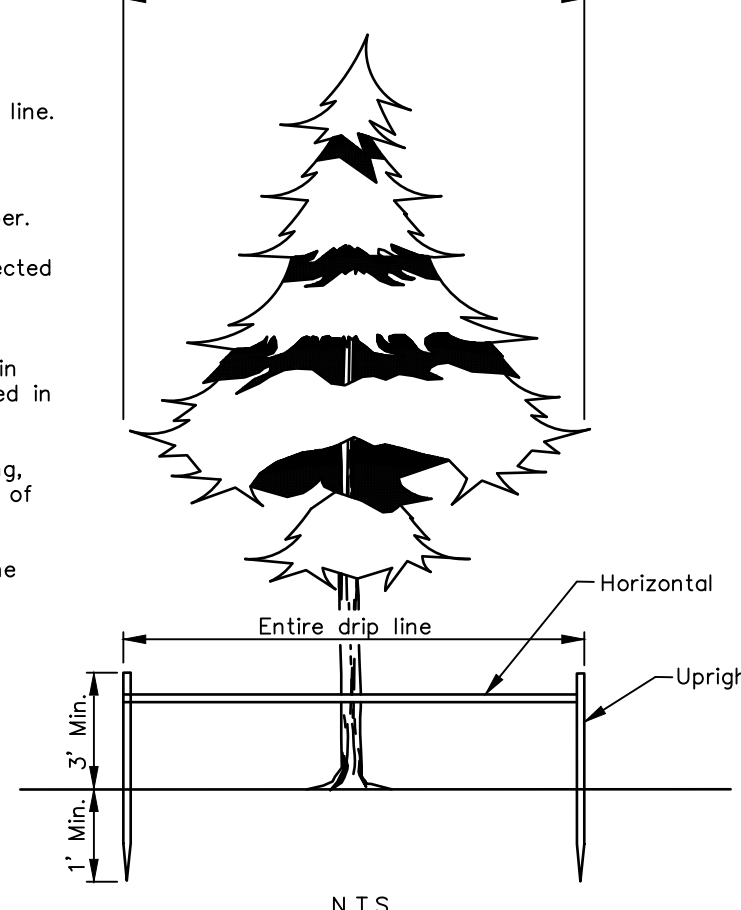


N.T.S.

#### SPECIFICATIONS - WOOD BARRIER

- Minimum radius to be protected:  
A. Hardwoods - 2/3 drip line  
B. Conifers & Sabal Palms - Entire drip line.
  - Uprights - No less than 2" X 2" lumber.
  - Horizontals - No less than 1" X 4" lumber.
  - Barriers shall be erected around all protected trees and palms, and inspected by city representative before construction begins.
  - Upright posts are to be at least 4 feet in length with a minimum of 1 foot anchored in ground and 3 feet above ground.
  - Barriers to remain in place until all paving, construction and heavy equipment is out of area.
- Further information may be obtained from the Land Resource Specialists at 562-4575 and 562-4558.

#### PINES



N.T.S.

10/22/18	PHOTOGRAPHIC CLEARWATER	JS
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### TREE BARRICADES

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