

GENERAL TREE PRESERVATION PLAN NOTES:

THE TREE PRESERVATION PLAN INDICATES EXISTING & PROPOSED ELEMENTS, REVIEW THE DEMOLITION AND ENGINEERING PLANS FOR CLARIFICATION AND SPECIFIC DATA.

ROOT PRUNE OUTSIDE TREE BARRICADE AS INDICATED ON THE TREE PRESERVATION PLAN. FIELD ADJUST AS NECESSARY.

EXISTING TREES THAT ARE ROOT PRUNED SHALL BE WATERED AFTER ROOT PRUNING TO ALLOW TREE TO RECOVER. CERTIFIED ARBORIST FOR CONSTRUCTION/FIELD ACTIVITIES TO ESTABLISH SCHEDULE AND FINAL QUANTITY BASED ON EXTENT OF ROOT PRUNING PER TREE.

FINAL GRADE WITHIN CANOPY DRIP LINE OF EXISTING TREES TO REMAIN SHALL BE THE SAME AS EXISTING GRADE OR AS DETERMINED BY CONSTRUCTION/FIELD ARBORIST PER FIELD CONDITIONS / TREE SPECIES. FINAL GRADES SHALL PROVIDE FOR POSITIVE DRAINAGE IN AREA OF CANOPY DRIP LINE.

AT THE COMPLETION OF CONSTRUCTION, EXISTING TREES THAT ARE TO REMAIN SHOULD BE REVIEWED BY A CERTIFIED ARBORIST MINIMUM OF ONCE PER YEAR FOR THE FIRST THREE YEARS AND THERE AFTER DETERMINED BY THE OWNER AND ARBORIST.

EXISTING TREE PROTECTION GENERAL NOTES

PROTECTIVE BARRIERS ARE USED DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES TO PROTECT TREES AND NATURAL AREAS TO BE RETAINED ON A SITE.

PROTECTIVE BARRIERS MUST BE ERECTED AROUND TREES TO BE RETAINED WITHIN AN AREA WHERE LAND ALTERATION AND CONSTRUCTION ACTIVITIES WILL OCCUR AS WELL AS ALONG NATURAL AREAS WHERE SUCH AREAS ARE ADJACENT TO PERMITTED LAND ALTERATION OR CONSTRUCTION ACTIVITIES. A PROTECTIVE BARRIER MUST REMAIN IN PLACE UNTIL THE LAND ALTERATION AND CONSTRUCTION ACTIVITIES ARE COMPLETED OR UNTIL COMMENCEMENT OF GRADE FINISHING AND SODDING. NO GROUND DISTURBANCE MUST OCCUR WITHIN THE BARRICADED AREA. THE FOLLOWING REPRESENTS MINIMUM PROTECTION BARRIER SPECIFICATIONS.

DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OF TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIP LINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE CITY.

EXISTING TREE REMOVAL NOTE:

TREES TO BE REMOVED WITHIN THE CANOPY DRIP LINE OF AN ADJACENT EXISTING TREE TO REMAIN SHALL BE CUT OFF BY HAND AT GRADE AND THE STUMP GROUND TO JUST BELOW THE GROUND SURFACE. USE NO HEAVY EQUIPMENT TO PULL/PUSH OVER THE TREE.

ADDITIONAL CITY OF CLEARWATER REQUIREMENTS:

- Install silt fences to the manufacturer's specifications. DO NOT TRENCH UNDER EXISTING TREES TO REMAIN.
- Install tree barricades to the City of Clearwater standards, 2"x2" post with 1"x4" rails at two thirds of the trees drip line.
- Use care in removing existing shrub materials not indicated to remain within the drip line of existing trees to remain.

ISA Certified Arborist:

Patrick Roberson
ISA Certification
#FL-1051A

IRRIGATION PIPE ROUTING AT EXISTING TREES TO REMAIN

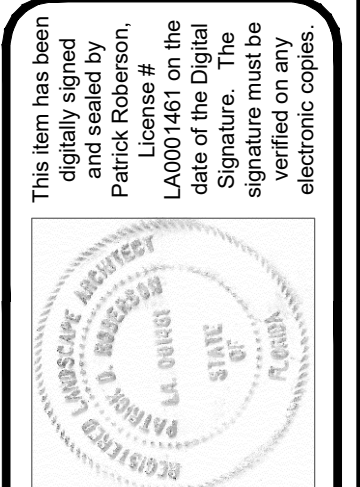
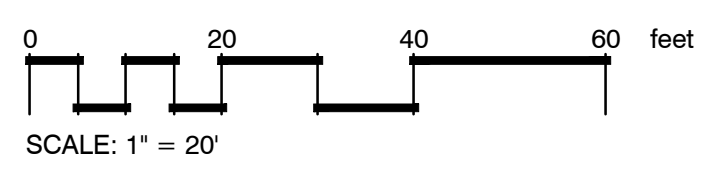
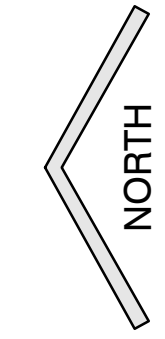
IRRIGATION PIPE (LATERAL OR MAINLINE) IS TO BE TUNNELED UNDER THE MAIN ROOT SYSTEM (24" DEPTH MIN.) WHEN PROPOSED ALIGNMENT IS WITHIN THE CANOPY DRIP LINE / CRITICAL ROOT ZONE OF EXISTING TREES TO REMAIN.

EXISTING TREE PRUNING & BARRICADE NOTE:

EXISTING TREE PRUNING AND BARRICADES ARE APPROXIMATE AND FINAL PLACEMENT SHALL BE DETERMINED BY COORDINATION WITH THE FINAL ENGINEERING GRADING AND UTILITY PLANS AND ACTUAL FIELD CONDITIONS.

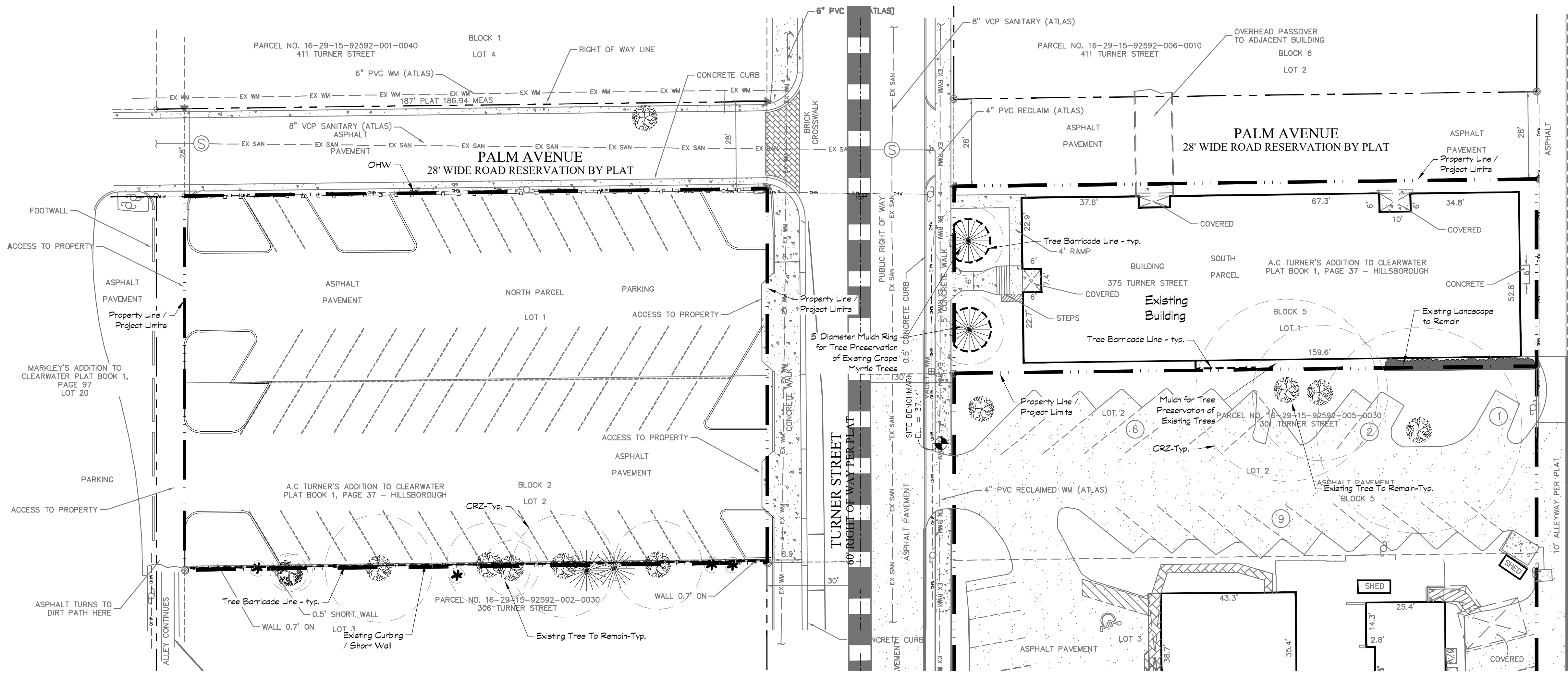


Sunshine State
One Call
of Florida



Digitally signed by Patrick Roberson
DN: c=US, serialNumber=PA-SUS-A30029844, sn=Roberson, givenName=Patrick, cn=Patrick Roberson
Date: 2026.03.12 11:56:00 -0400

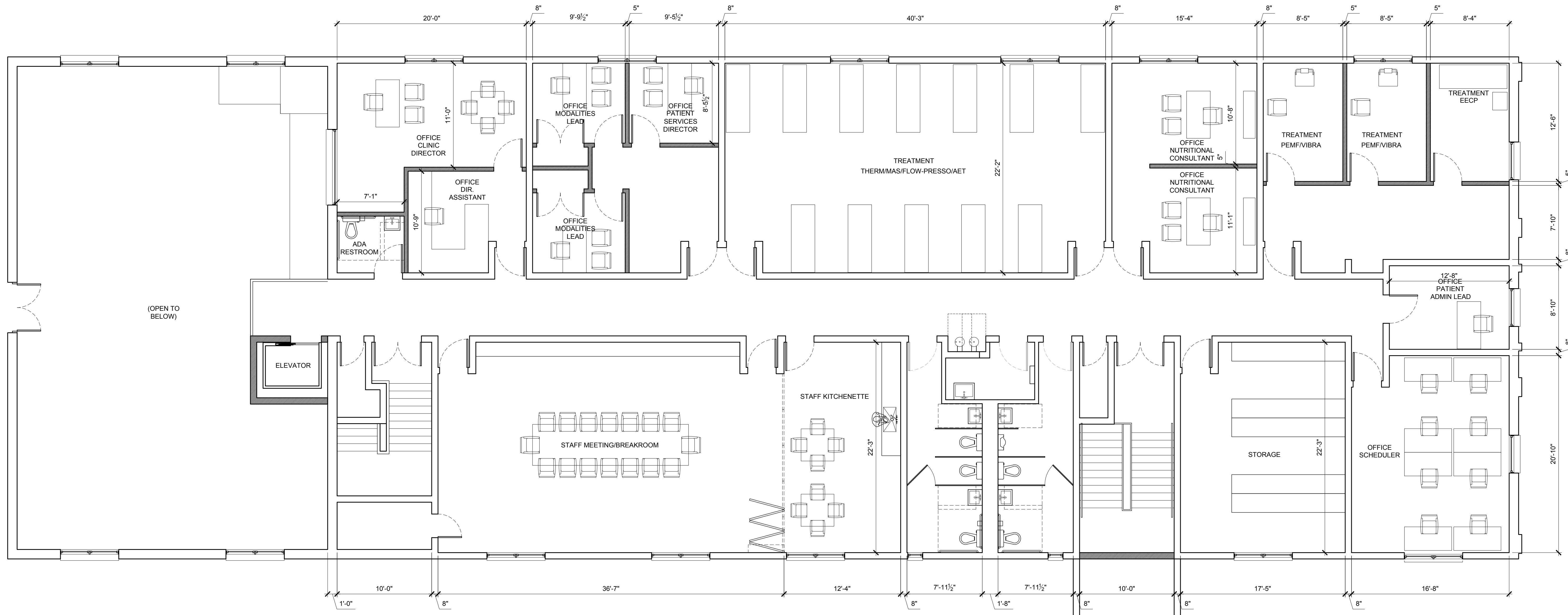
SEE DEMOLITION SHEET, CIVIL ENGINEERING PLANS FOR DETAILED INFORMATION ON EXISTING SITE ELEMENTS TO BE REMOVED



Rev.	per City of Clearwater comment	03/12/26
1	Rev. per City of Clearwater comment	02/04/26
2	Rev. Site Plan	10/29/25
3	Rev. Name of Project	09/19/24
4	Rev. per City of Clearwater comment	09/16/24
5	Rev. per City of Clearwater comment	03/13/24
	Revision	Date

Project Title
310 TURNER STREET
Clearwater, Florida

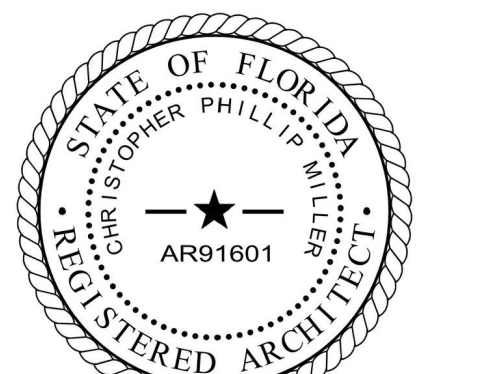
EXIST. TREE PRESERVATION PLAN
Project No. 24-01
Date 01/30/24
Sheet TP1



General Notes

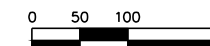
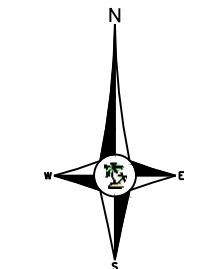
No.	Revision/Issue	Date

CHRISTOPHER P. MILLER
ARCHITECTURE



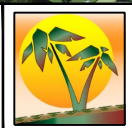
CHRISTOPHER P MILLER
ARCHITECT
LIC # AR-91601
2358 LORENA LN
CLEARWATER, FLORIDA

Project	Sheet
Date	A2 SECOND FLOOR PLAN
SEPT 20, 2023	
Scale	



NOTE TO CONTRACTORS:
 THE LOCATIONS OF ALL UTILITIES ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED. BEFORE BEGINNING SITE WORK, THE CONTRACTOR IS REQUIRED TO FIELD VERIFY THE EXISTENCE, LOCATION & ELEVATION OF UNDERGROUND UTILITIES AND OTHER FEATURES, & CONTACT THE ENGINEER TO CONVEY ANY INFORMATION AND/OR DISCREPANCIES.

DESIGNED	KGK
DRAWN	MKC
CHECKED	KGK
D.C.	



Gulf Coast Consulting, Inc.
 Land Development Consulting
 ENGINEERING TRANSPORTATION PLANNING PERMITTING
 13825 ICOT BLVD., SUITE 605
 Clearwater, Florida 33760
 Phone: (727) 524-1818 Fax: (727) 524-6090
 WWW.GULFCOASTCONSULTINGINC.COM

PREPARED FOR:
LIFEWOKS WELLNESS CENTER, LLC
 301 TURNER STREET
 CLEARWATER, FL 33756

SHEET DESCRIPTION:
375 TURNER STREET LIFEWOKS EXPANSION
 AERIAL EXHIBIT

NO.	DATE	REVISIONS

SEAN P. CASHEN
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 42505
 THIS ITEM HAS BEEN DIGITALLY
 SIGNED AND SEALED BY
 SEAN P. CASHEN
 ON THE DATE INDICATED HERE.
 PRINTED COPIES OF THIS DOCUMENT
 ARE NOT CONSIDERED SIGNED AND
 SEALED AND THE SIGNATURE MUST BE
 VERIFIED ON ANY ELECTRONIC COPIES.

THESE PLANS MAY NOT BE COPIED OR
 MODIFIED WITHOUT WRITTEN PERMISSION
 FROM GULF COAST CONSULTING, INC.
 SEAN P. CASHEN, P.E. #42505
 NOT VALID UNLESS SIGNED & EMBOSSED
 BY A REGISTERED ENGINEER
 GULF COAST CONSULTING, INC.
 CERTIFICATE OF AUTHORIZATION No. 9774

DATE: 01/31/24

AE

Y:\P\NELAS\375 Turner St Lifeworks Expansion (24-002)\Drawings\PSPP\24-002 Aerial.dwg, 1/24/2024 2:46:04 PM

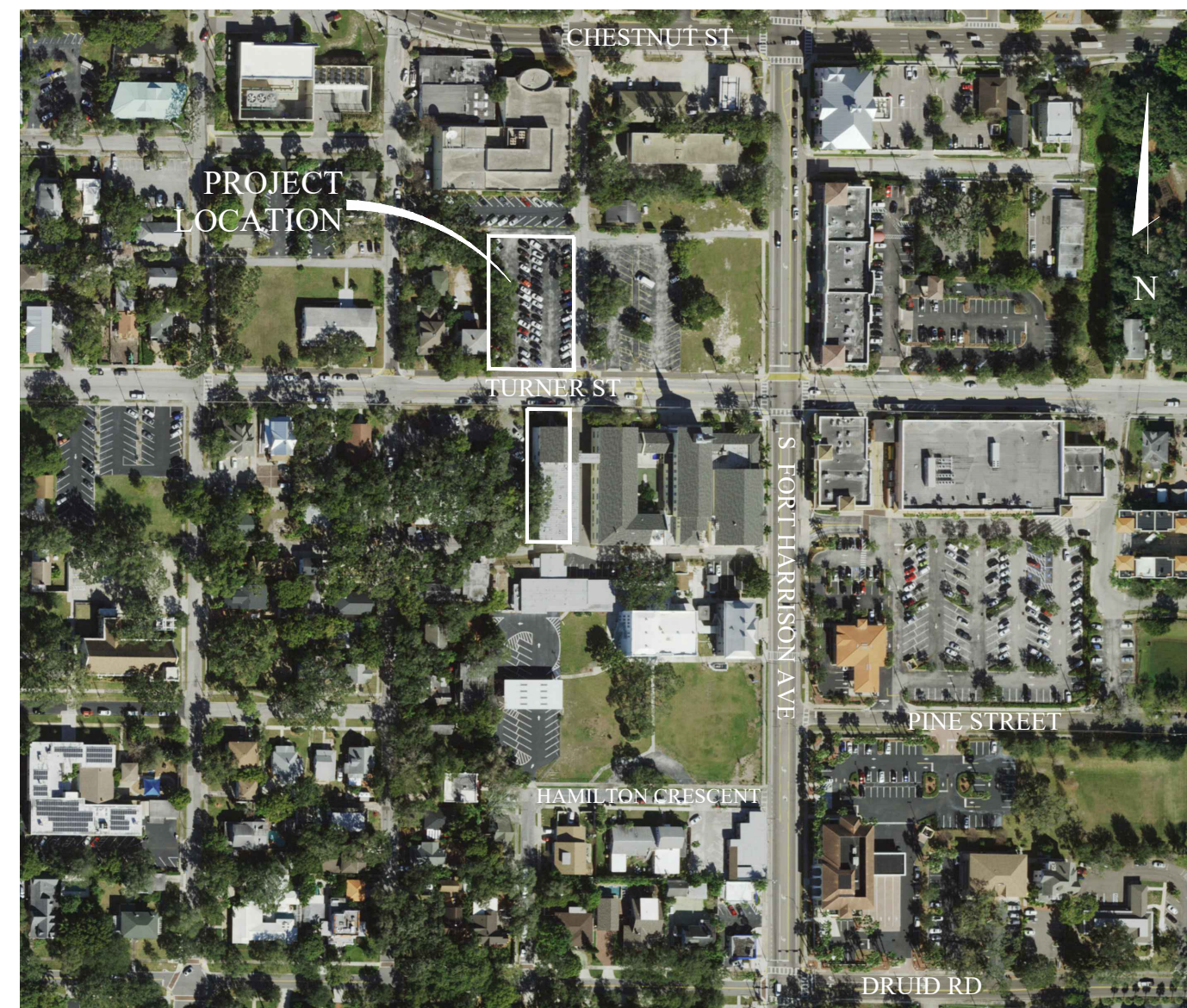
375 TURNER STREET LIFEWORKS EXPANSION PRELIMINARY SITE PLAN

SECTION 16, TOWNSHIP 29 S, RANGE 15 E
CLEARWATER, FLORIDA

LEGAL DESCRIPTION

LOTS 1 AND 2, BLOCK 2, A.C. TURNER'S ADDITION OF CLEARWATER, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 37, PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMERLY A PART.
AND
LOT 1, BLOCK 5, A.C. TURNER'S ADDITION OF CLEARWATER, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 1 PAGE 37, PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMERLY A PART.

LOCATION MAP



DRAWING INDEX

SHEET	TITLE
C1	COVER SHEET
C2	EXISTING CONDITIONS/DEMOLITION PLAN
C3	PRELIMINARY SITE PLAN
ET1	EXISTING TREE INVENTORY
LA1	LANDSCAPE PLAN
LA2	LANDSCAPE NOTES & DETAILS
IR1	IRRIGATION PLAN
IR2	IRRIGATION NOTES & DETAILS
TP1	EXISTING TREE PRESERVATION PLAN

SITE DATA TABLE

SITE ADDRESS:	375 TURNER STREET CLEARWATER, FL 33756		
PARCEL ID:	16-29-15-92592-002-0010; 16-29-15-92592-005-0010		
EXISTING USE:	PLACE OF WORSHIP / PARKING LOT		
PROPOSED USE:	MEDICAL OFFICE / PARKING LOT		
FUTURE LAND USE MAP DESIGNATION:	I - INSTITUTIONAL		
EXISTING ZONING:	I - INSTITUTIONAL		
TOTAL LAND AREA:	33,657 SF (0.77 AC)		
SITE DATA TOTALS	EXISTING	PROPOSED	MIN/MAX REQUIRED
BUILDING FOOTPRINT:	8,306 SF	8,306 SF	
GROSS FLOOR AREA:	15,200 SF	15,200 SF	
PAVEMENT:	23,597 SF	21,073 SF	
IMPERVIOUS:	31,903 SF (94.79%)	29,380 SF (87.3%)	0.85 MAX
OPEN SPACE:	1,754 SF (5.21%)	4,277 SF (12.7%)	
LOT AREA TOTAL:	33,657 SF	33,657 SF	MIN 10,000 SF
LOT WIDTH	120' / 60'	120' / 60'	MIN 100'
LOT DEPTH	187'	187'	
VEHICULAR USE AREA	22,960 SF	20,421 SF	
VJA LANDSCAPING	342 SF	2,736 SF (8.1%)	
PARKING SPACES	65 SPACES	57 SPACES	76 SPACES PER CODE 50 SPACES PER ITE *
BUILDING HEIGHT	2 STORY	2 STORY	
BUILDING SETBACKS:			
FRONT (NORTH)	21.7'	21.7'	15'
REAR (SOUTH)	5.1'	5.1'	15'
SIDE (EAST)	3.7'	3.7'	10'
SIDE (WEST)	2.9'	2.9'	10'
FLOOD ZONE:	PROJECT LIES WITHIN FLOOD ZONE "X", ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12103C0108J, DATED AUGUST 24, 2021.		
*PROPOSED PARKING BASED ON 3.23 SPACES / UNIT PER ITE PARKING GENERATION 5TH EDITION, FLD NEED FOR PARKING			



PROJECT DIRECTORY

OWNER: FIRST UNITED METHODIST CHURCH OF CLEARATER INC
375 TURNER STREET
CLEARWATER, FL 33756

DEVELOPER: LIFEWORKS WELLNESS CENTER, LLC
301 TURNER STREET
CLEARWATER, FL 33756

CIVIL ENGINEER: GULF COAST CONSULTING, INC.
13825 ICOT BOULEVARD, SUITE 605
CLEARWATER, FL 33760
PHONE: 727-524-1818
ATTN: SEAN P. CASHEN, P.E. 42505

LANDSCAPE ARCHITECT: ROBERSON RESOURCE GROUP
3152 LITTLE ROAD, #125
TRINITY, FL 34655
PHONE: 727-295-4258
ATTN: PATRICK ROBERSON, RLA

PREPARED FOR:

LIFEWORKS WELLNESS CENTER, LLC

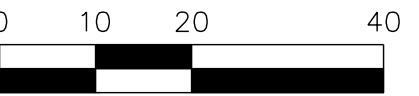
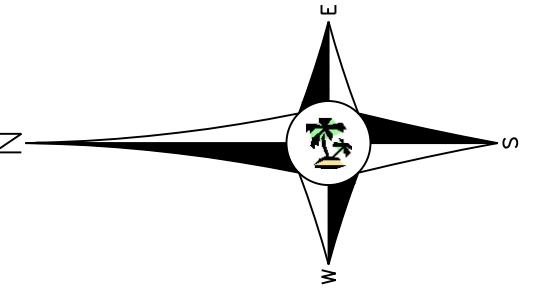
301 TURNER STREET
CLEARWATER, FL 33756



Gulf Coast Consulting, Inc.
Land Development Consulting
ENGINEERING TRANSPORTATION PLANNING PERMITTING
13825 ICOT BLVD., SUITE 605
Clearwater, Florida 33760
Phone: (727) 524-1818 Fax: (727) 524-6090
www.gulfcoastconsultinginc.com

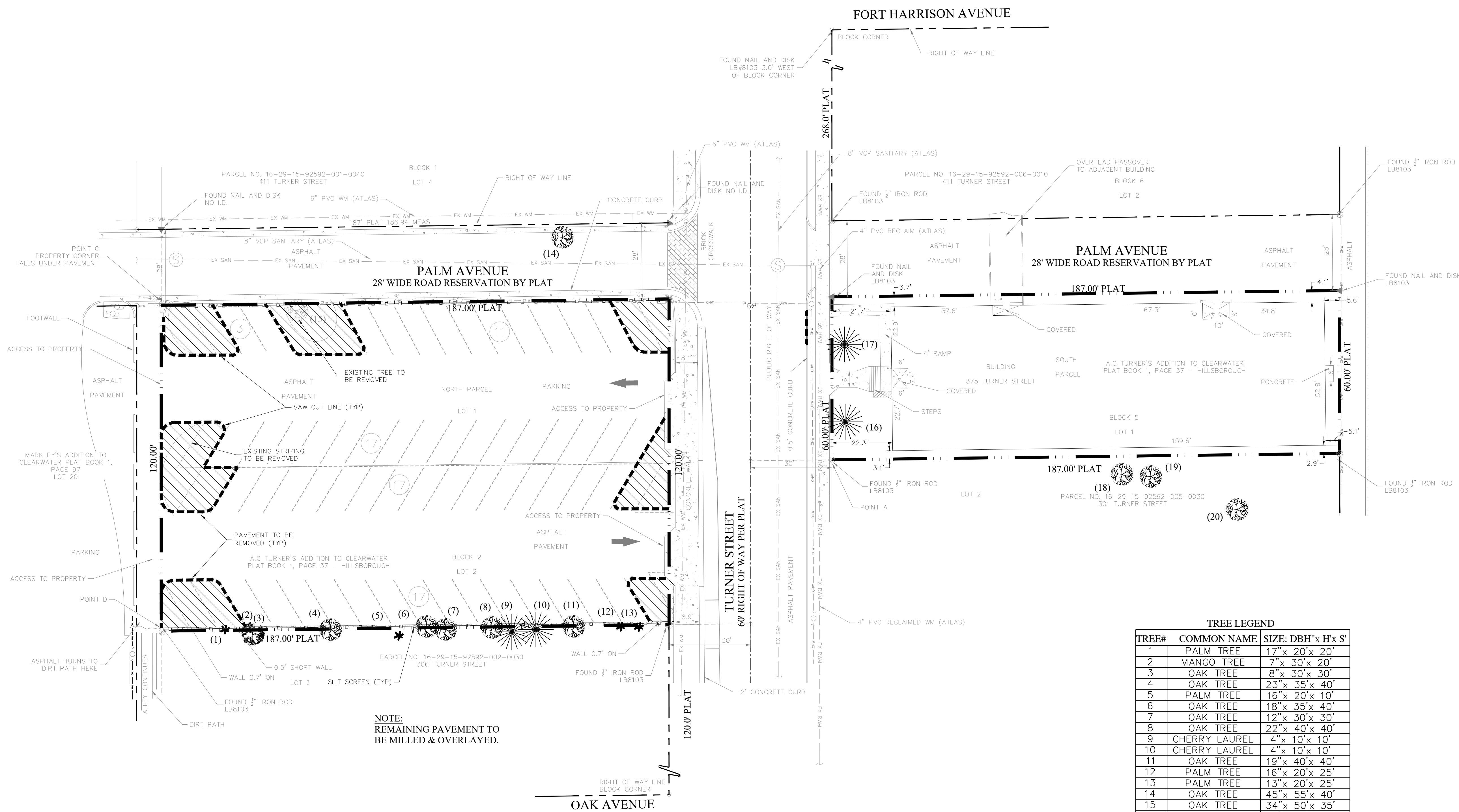
SEAN P. CASHEN
STATE OF FLORIDA
PROFESSIONAL ENGINEER
LICENSE NO. 42505
THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
SEAN P. CASHEN
ON THE DATE INDICATED HERE
PRINTED COPIES OF THIS DOCUMENT
ARE NOT CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE MUST BE
VERIFIED ON ANY ELECTRONIC COPIES.

24-002
DATE: 10/29/2025
REV: 03/05/2026
375 TURNER STREET LIFEWORKS EXPANSION



NOTE TO CONTRACTORS:
 THE LOCATIONS OF ALL UTILITIES ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED. BEFORE BEGINNING SITE WORK, THE CONTRACTOR IS REQUIRED TO FIELD VERIFY THE EXISTENCE, LOCATION & ELEVATION OF UNDERGROUND UTILITIES AND OTHER FEATURES, & CONTACT THE ENGINEER TO CONVEY ANY INFORMATION AND/OR DISCREPANCIES.

FLOOD ZONE NOTE:
 SUBJECT PROPERTY APPEARS TO LIE IN FLOOD ZONE "X", ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12103C01081, DATED AUGUST 24, 2021.



TREE LEGEND

TREE#	COMMON NAME	SIZE: DBH"x H"x S'
1	PALM TREE	17"x 20"x 20'
2	MANGO TREE	7"x 30"x 20'
3	OAK TREE	8"x 30"x 30'
4	OAK TREE	23"x 35"x 40'
5	PALM TREE	16"x 20"x 10'
6	OAK TREE	18"x 35"x 40'
7	OAK TREE	12"x 30"x 30'
8	OAK TREE	22"x 40"x 40'
9	CHERRY LAUREL	4"x 10"x 10'
10	CHERRY LAUREL	4"x 10"x 10'
11	OAK TREE	19"x 40"x 40'
12	PALM TREE	16"x 20"x 25'
13	PALM TREE	13"x 20"x 25'
14	OAK TREE	45"x 55"x 40'
15	OAK TREE	34"x 50"x 35'
16	CREPE MYRTLE	15"x 30"x 20'
17	CREPE MYRTLE	15"x 30"x 20'
18	OAK TREE	39"x 80"x 50'
19	OAK TREE	29"x 80"x 50'
20	OAK TREE	44"x 80"x 45'

NOTE:
 REMAINING PAVEMENT TO BE MILLED & OVERLAYED.

NOTE:
 * ALL SOD, SIDEWALK, CURB AND SPRINKLER DAMAGE IF ANY, WITHIN THE R/W SHALL BE REPAIRED / REPLACED

DESIGNED: KGK
 DRAWN: MKC
 CHECKED: KGK
 QC:

Gulf Coast Consulting, Inc.
 Land Development Consulting
 ENGINEERING TRANSPORTATION PLANNING PERMITTING
 13825 ICOT BLVD., SUITE 605
 Clearwater, Florida 33760
 Phone: (727) 524-1818 Fax: (727) 524-6090
 WWW.GULFCOASTCONSULTINGINC.COM

PREPARED FOR:
LIFEWORKS WELLNESS CENTER, LLC
 301 TURNER STREET
 CLEARWATER, FL 33756

SHEET DESCRIPTION:
375 TURNER STREET LIFEWORKS EXPANSION
 EXISTING CONDITIONS / DEMOLITION PLAN

NO.	DATE	REVISIONS	APP'D BY

SEAN P. CASHEN
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 42505

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY SEAN P. CASHEN, ON THE DATE INDICATED HERE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SEAN P. CASHEN, P.E. #42505
 NOT VALID UNLESS SIGNED & EMBOSSED BY A REGISTERED ENGINEER
 GULF COAST CONSULTING, INC.
 CERTIFICATE OF AUTHORIZATION NO. 9774

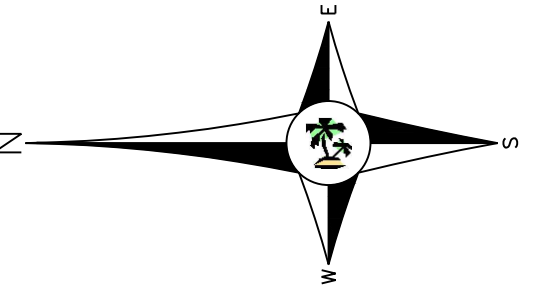
DATE: 01/31/24

PROJECT NO: 24-002

SHEET: **C2**

NOTE:
CONTRACTOR SHALL CALL FOR
ROUGH STORM INSPECTION(S) FOR
PERVIOUS SYSTEM INSTALLATION.

FORT HARRISON AVENUE



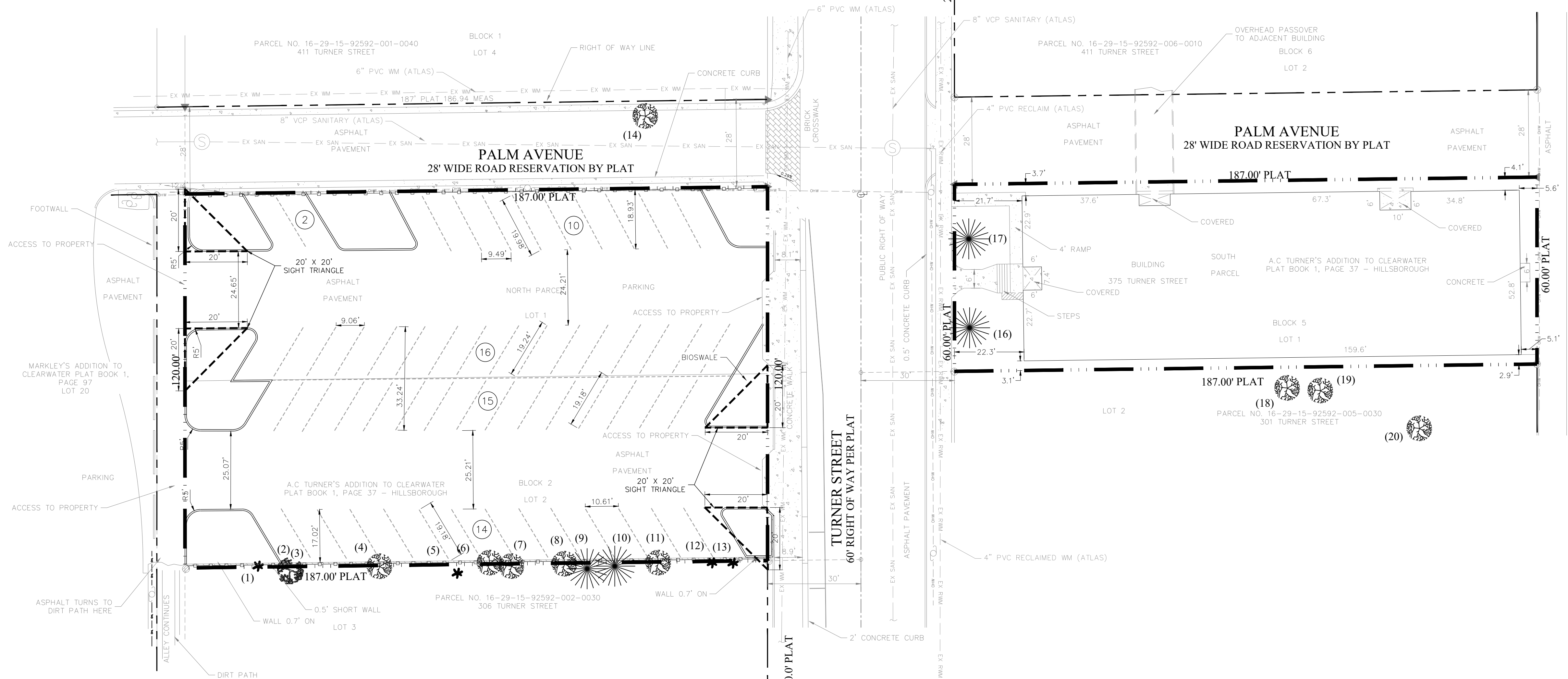
0 10 20 40



NOTE TO CONTRACTORS:
THE LOCATIONS OF ALL UTILITIES ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED. BEFORE BEGINNING SITE WORK, THE CONTRACTOR IS REQUIRED TO FIELD VERIFY THE EXISTENCE, LOCATION & ELEVATION OF UNDERGROUND UTILITIES AND OTHER FEATURES, & CONTACT THE ENGINEER TO CONVEY ANY INFORMATION AND/OR DISCREPANCIES.

FLOOD ZONE NOTE:
SUBJECT PROPERTY APPEARS TO LIE IN FLOOD ZONE "X", ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12103C0108J, DATED AUGUST 24, 2021.

DATUM NOTE:
ALL ELEVATIONS BASED ON NATIONAL GEODETIC SURVEY BENCHMARK: "HARRIS-L", ELEVATION = 27.14'. DATUM BASED ON NORTH AMERICAN VERTICAL DATUM 1988.



TREE LEGEND

TREE#	COMMON NAME	SIZE: DBH' x H' x S'
1	PALM TREE	17" x 20' x 20'
2	MANGO TREE	7" x 30' x 20'
3	OAK TREE	8" x 30' x 30'
4	OAK TREE	23" x 35' x 40'
5	PALM TREE	16" x 20' x 10'
6	OAK TREE	18" x 35' x 40'
7	OAK TREE	12" x 30' x 30'
8	OAK TREE	22" x 40' x 40'
9	CHERRY LAUREL	4" x 10' x 10'
10	CHERRY LAUREL	4" x 10' x 10'
11	OAK TREE	19" x 40' x 40'
12	PALM TREE	16" x 20' x 25'
13	PALM TREE	13" x 20' x 25'
14	OAK TREE	45" x 55' x 40'
15	OAK TREE	34" x 50' x 35'
16	CREPE MYRTLE	15" x 30' x 20'
17	CREPE MYRTLE	15" x 30' x 20'
18	OAK TREE	39" x 80' x 50'
19	OAK TREE	29" x 80' x 50'
20	OAK TREE	44" x 80' x 45'

NOTE:
NO PONDING IN THE R-O-W. IF THE OBJECTIVE IS NOT ACHIEVABLE IN THE FIELD, CONTRACTOR SHALL CONSULT WITH THE EOR TO RESOLVE THE ISSUE TO AVOID DOING TWICE FOR THE SAME WORK. ENGINEERING INSPECTOR WILL REQUIRE RUNNING WATER TO THE AREA OF CONCERN FOR FINAL INSPECTION.

DESIGNED: KGK DRAWN: MKC CHECKED: KGK QC:	Gulf Coast Consulting, Inc. Land Development Consulting ENGINEERING TRANSPORTATION PLANNING PERMITTING 13825 ICOT BLVD., SUITE 605 Clearwater, Florida 33760 Phone: (727) 524-1818 Fax: (727) 524-6090 WWW.GULFCOASTCONSULTINGINC.COM	PREPARED FOR: LIFEWORKS WELLNESS CENTER, LLC 301 TURNER STREET CLEARWATER, FL 33756	SHEET DESCRIPTION: 375 TURNER STREET LIFEWORKS EXPANSION PRELIMINARY SITE PLAN	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>NO.</td><td>DATE</td><td>REVISIONS</td></tr> <tr><td>1</td><td>11/7/25</td><td>ADDED PARKING DIMENSIONS</td></tr> </table>	NO.	DATE	REVISIONS	1	11/7/25	ADDED PARKING DIMENSIONS	SEAN P. CASHEN STATE OF FLORIDA PROFESSIONAL ENGINEER LICENSE NO. 42505 THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY SEAN P. CASHEN, ON THE DATE INDICATED HERE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.	THESE PLANS MAY NOT BE COPIED OR MODIFIED WITHOUT WRITTEN PERMISSION FROM GULF COAST CONSULTING, INC. SEAN P. CASHEN, P.E. #42505 NOT VALID UNLESS SIGNED & EMBOSSED BY A REGISTERED ENGINEER GULF COAST CONSULTING, INC. CERTIFICATE OF AUTHORIZATION NO. 9774	SHEET: 24-002 C3 DATE: 01/31/24
NO.	DATE	REVISIONS											
1	11/7/25	ADDED PARKING DIMENSIONS											

ALTA/NSPS LAND TITLE SURVEY

LEGAL DESCRIPTION:

LOTS 1 AND 2, BLOCK 2, A.C. TURNER'S ADDITION OF CLEARWATER, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 37, PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMERLY A PART.

AND
 LOT 1, BLOCK 5, A.C. TURNER'S ADDITION OF CLEARWATER, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 1 PAGE 37, PUBLIC RECORDS OF HILLSBOROUGH COUNTY, FLORIDA, OF WHICH PINELLAS COUNTY WAS FORMERLY A PART.

PARCEL DETAILS:

- PROPERTY COMPRISED OF TWO PARCELS AS DESCRIBED;
- NORTH PARCEL CONTAINS 22,438.25 SQUARE FEET OR 0.52 ACRES, MORE OR LESS;
- SOUTH PARCEL CONTAINS 11,219.12 SQUARE FEET OR 0.26 ACRES, MORE OR LESS;
- VEHICULAR ACCESS TO PROPERTY PROVIDED ON THE NORTH AND SOUTH SIDES OF THE NORTH (PARKING) PARCEL;

BUILDING DETAILS:

- THERE IS 1 BUILDING ON SOUTH PARCEL ONLY;
- BUILDING CONTAINS 8306.45 SQUARE FEET;
- BUILDINGS MEASURED AT FOUNDATION FOOTER;

PARKING DETAILS:

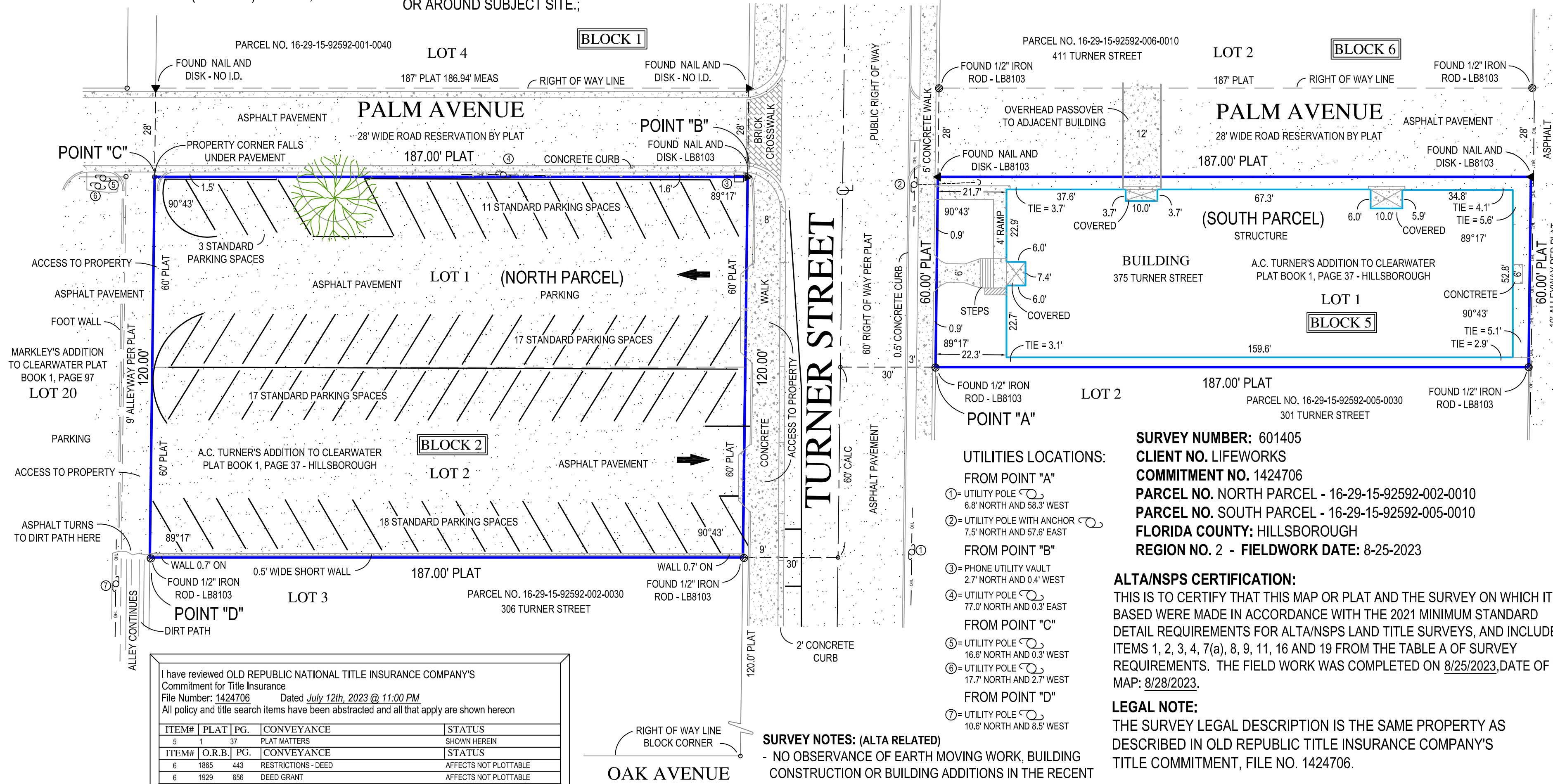
- THERE ARE 66 STANDARD MARKED PARKING SPACES WITHIN THE BOUNDARY OF THE NORTH PARCEL. (9' X 18'±);
- THERE MAY BE ADDITIONAL UNMARKED PARKING ON OR AROUND SUBJECT SITE.;

FLOOD ZONE: X
 COMMUNITY NO. 125096
 PANEL NO. 0108
 SUFFIX: J

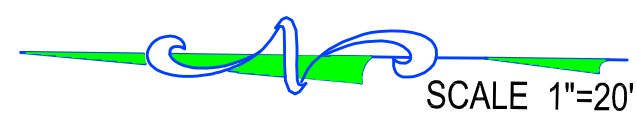
PROPERTY ADDRESS:
 375 TURNER STREET
 CLEARWATER, FLORIDA 33756



LOCATION MAP NOT TO SCALE



LOCAL SYMBOLS:
 ○ = UTILITY POLE
 ⊕ = UTILITY SERVICE I.D.



- UTILITIES LOCATIONS:**
- FROM POINT "A"
 - ① = UTILITY POLE 6.8' NORTH AND 58.3' WEST
 - ② = UTILITY POLE WITH ANCHOR 7.5' NORTH AND 57.6' EAST
 - FROM POINT "B"
 - ③ = PHONE UTILITY VAULT 2.7' NORTH AND 0.4' WEST
 - ④ = UTILITY POLE 77.0' NORTH AND 0.3' EAST
 - FROM POINT "C"
 - ⑤ = UTILITY POLE 16.6' NORTH AND 0.3' WEST
 - ⑥ = UTILITY POLE 17.7' NORTH AND 2.7' WEST
 - FROM POINT "D"
 - ⑦ = UTILITY POLE 10.6' NORTH AND 8.5' WEST

SURVEY NUMBER: 601405
CLIENT NO. LIFEWORKS
COMMITMENT NO. 1424706
PARCEL NO. NORTH PARCEL - 16-29-15-92592-002-0010
PARCEL NO. SOUTH PARCEL - 16-29-15-92592-005-0010
FLORIDA COUNTY: HILLSBOROUGH
REGION NO. 2 - FIELDWORK DATE: 8-25-2023

ALTA/NSPS CERTIFICATION:
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 8, 9, 11, 16 AND 19 FROM THE TABLE A OF SURVEY REQUIREMENTS. THE FIELD WORK WAS COMPLETED ON 8/25/2023, DATE OF MAP: 8/28/2023.

LEGAL NOTE:
 THE SURVEY LEGAL DESCRIPTION IS THE SAME PROPERTY AS DESCRIBED IN OLD REPUBLIC TITLE INSURANCE COMPANY'S TITLE COMMITMENT, FILE NO. 1424706.

SURVEYORS CERTIFICATE
 I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL OR A RAISED EMBOSSED SEAL AND SIGNATURE.

Kenneth Osborne
 Digitally signed by Kenneth Osborne
 Date: 2023.08.29 13:30:06-05:00

(SIGNED) KENNETH J OSBORNE
 PROFESSIONAL SURVEYOR AND MAPPER #6415

I have reviewed OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY'S Commitment for Title Insurance
 File Number: 1424706 Dated July 12th, 2023 @ 11:00 PM
 All policy and title search items have been abstracted and all that apply are shown hereon

ITEM#	PLAT	PG.	CONVEYANCE	STATUS
5	1	37	PLAT MATTERS	SHOWN HEREIN
ITEM#	O.R.B.	PG.	CONVEYANCE	STATUS
6	1865	443	RESTRICTIONS - DEED	AFFECTS NOT PLOTTABLE
6	1929	656	DEED GRANT	AFFECTS NOT PLOTTABLE

- SYMBOL DESCRIPTIONS:**
- [Symbol] = CATCH BASIN
 - [Symbol] = CENTERLINE ROAD
 - [Symbol] = COVERED AREA
 - [Symbol] = EXISTING ELEVATION
 - [Symbol] = HYDRANT
 - [Symbol] = MANHOLE
 - [Symbol] = METAL FENCE
 - [Symbol] = MISC. FENCE
 - [Symbol] = PROPERTY CORNER
 - [Symbol] = UTILITY BOX
 - [Symbol] = UTILITY POLE
 - [Symbol] = WATER METER
 - [Symbol] = WELL
 - [Symbol] = WOOD FENCE

LINE DATA ABBREVIATIONS:
 PLAT = PLATTED REFERENCE
 MEAS = MEASURED DISTANCE
 CALC = CALCULATED DISTANCE
 DEED = DEEDED REFERENCE

CERTIFIED TO:
 LIFEWORKS WELLNESS CENTER, LLC;
 BROWN HUFF AND ZOHAR;
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY;

- SURVEY NOTES: (ALTA RELATED)**
- NO OBSERVANCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS IN THE RECENT MONTHS. (TABLE A, ITEM 16)
 - SURVEY NOTES**
 - ASPHALT CROSSING THE NORTH AND EASTERLY LINES OF NORTH PARCEL.
 - ASPHALT CROSSING THE SOUTH AND EASTERLY LINES OF SOUTH PARCEL.
 - CONCRETE WALKS AND PASSOVER CROSSING PROPERTY LINES AS SHOWN.
 - PROPERTY SUPPLIED BY CITY WATER AND SEWER.

THE PARCELS HEREIN ARE CONTIGUOUS AND CONTAIN NO GORES, GAPS OR OVERLAPS ALONG THEIR COMMON BOUNDARIES UNLESS SHOWN HEREON.

GENERAL NOTES:

- LEGAL DESCRIPTION PROVIDED BY OTHERS
- LANDS SHOWN HEREON HAVE BEEN ABSTRACTED FOR EASEMENTS AND OTHER RECORDED ENCUMBRANCES AS SHOWN ON THE PLAT
- UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED
- WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES
- RECONSTRUCT BOUNDARY LINES
- DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN

7) FENCE OWNERSHIP NOT DETERMINED
 8) ELEVATIONS INDICATED HEREON ARE IN FEET AND DECIMALS REFERENCED TO N.A.S.D., 1988
 9) THIS SURVEY HAS BEEN COMPLETED FOR A MORTGAGE TRANSACTION. ITS SCOPE IS LIMITED TO THE DEFICIENCIES. NO DESIGN OR CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT APPROVAL FROM TARGET SURVEYING
 10) ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CAUSE OF ACTION IN SOME INSTANCES. GRAPHIC REPRESENTATIONS HAVE BEEN ENLARGED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.

LB #7893
 SERVING FLORIDA
 6250 N. MILITARY TRAIL, SUITE 102
 WEST PALM BEACH, FL 33407
 PHONE (561) 640-4800
 STATEWIDE PHONE (800) 226-4807
 STATEWIDE FACSIMILE (800) 741-0576
 WEBSITE: <http://targetsurveying.net>



Existing Tree Inventory Condition Rating Criteria

1. A tree that is dying, severely declining, hazardous, harboring a communicable disease or a tree designated by the State of Florida's Exotic Pest Plant Council as a category #1 ecological pest i.e., Brazilian pepper tree (*Schinus terebinthifolius*). A tree with a rating of 1 should be removed as it is beyond treatment and is a threat to cause personal injury or property damage

2. A tree exhibiting serious structural defects such as codominant stems with included bark at or near the base, large cavities, large areas of decayed wood, crown dieback, cracked/split scaffold branches, etc. In addition, a tree with health issues such as low energy, low live crown ratio, serious disease or insect problems, nutritional deficiencies or soil pH problems. A tree with a rating of #2 should be removed unless the problem(s) can be treated. A tree with a #2 condition rating will typically require a considerable amount of maintenance to qualify for an upgrade of the condition rating.

3. A tree with average structure and systemic health and with problems that can be corrected with moderate maintenance. A tree with a codominant stem not in the basal area that will be subordinated or cabled and braced or a codominant stem that will soon have included bark can be included as a #3. A tree with a rating of #3 has average appearance, crown density and live crown ratio and should be preserved if possible.

4. A tree with a rating of 4 has good structure and systemic health with minor problems that can be easily corrected with minor maintenance. The tree should have an attractive appearance and be essentially free of any debilitating disease or insect problem. The tree should also have above average crown density and live crown ratio. Mature trees exhibiting scars, old wounds, small cavities or other problems that are not debilitating can be included in this group particularly if they possess unique form or other aesthetic amenities relating to their age. A tree with a rating of 4 is valuable to the property and should be preserved

5. A tree with very high live crown ratio and exceptional structure and systemic health and virtually free of insect or disease problems or nutritional deficiencies. A tree in this category should have a balanced crown with exceptional aesthetic amenities. A tree in this category should be of a species that possesses characteristics inherent to longevity and withstanding construction impacts. A tree with a #5 rating lends considerable value to the site and should be incorporated into the site design. A tree with a #5 rating is worthy of significant site plan modification to ensure its preservation.

6. A specimen tree. A specimen tree is a tree that possesses a combination of superior qualities in regards to systemic health, structural strength, crown density, live crown ratio, form (balanced crown), overall aesthetic appeal, size, species, age and uniqueness. A great effort should be made to preserve a specimen tree including shifting structures that would adversely impact the tree. In addition, a specimen tree should have an undisturbed area equal to its dripline (equal to the branch spread to grow in. Only an experienced and competent International Society of Arboriculture (I.S.A.) Certified Arborist should be allowed to work on a specimen tree.

General Condition Rating Notes:

Per City of Clearwater requirements, trees rated as 1 or 2 are to be removed.

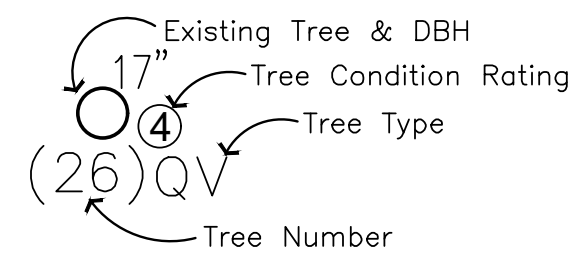
Trees to remain that are rated as 2.5 are to be pruned for defects, disease and evaluated by a Certified Arborist based on detailed inspection on the limits of decay / defect. These trees may be upgraded to 3 at the time of this work or down graded to a lower rating, if detailed inspection indicates more extensive decay / defects at the time the pruning / maintenance work is performed. These trees should be evaluated annually or as determined by Certified Arborist conducting the pruning / field work.

Trees to remain that are rated as 3 or greater may require minor pruning to remove dead wood or correct minor structure issues.

Existing Tree Inventory ratings are based on general observations of highly visible signs and indicators of the general condition of the tree from ground based observations.

The tree inventory is valid for one year, unless events such as, but not limited to, severe weather, lightning, drought, construction, poor maintenance or other man-made impacts occur on or adjacent to project site. At the time of any of these occurrences, the site should be re-inspected by a Certified Arborist to determine the impact(s) to the overall condition of the existing tree(s).

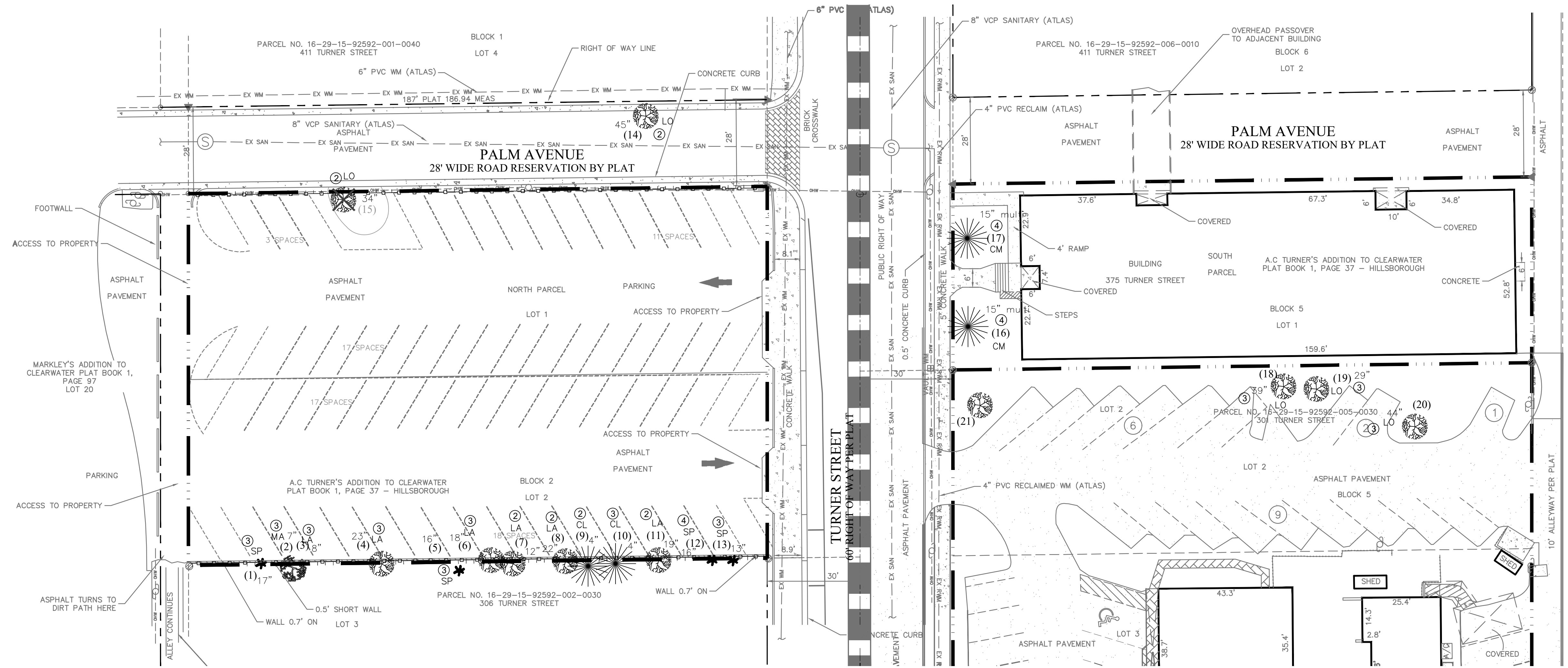
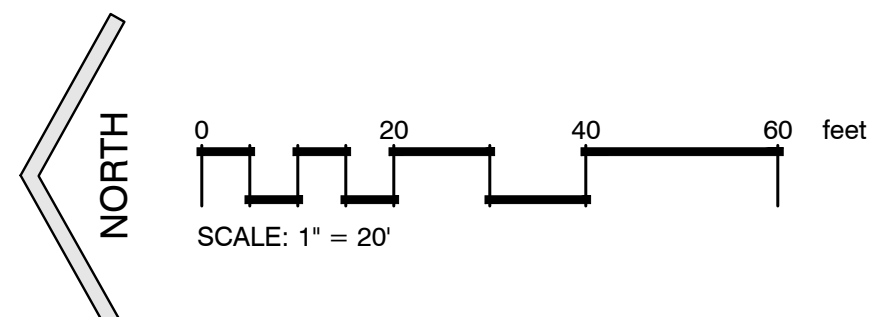
Existing Tree Inventory Legend



Existing Tree Legend w/ Genus species

- LA Laurel Oak *Quercus laurifolia*
- LO Live Oak *Quercus virginiana*
- SP Sabal Palm *Sabal palmetto*
- CL Cherry Laurel *Prunus caroliniana*
- MA Mango *Mangifera indica*
- CM Crape Myrtle *Lagerstroemia indica*

Tree Number	Tree Type	Genus / Species	Diameter at Breast Height	General Condition Rating	Tree to be Removed	Replacement Required	Required Replacement Inches
1	Sabal Palm	Sabal palmetto	17	3	No		
2	Mango Tree	Mangifera indica	7	3	Off-site		
3	Laurel Oak	Quercus laurifolia	8	3	Off-site		
4	Laurel Oak	Quercus laurifolia	23	3	Off-site		
5	Sabal Palm	Sabal palmetto	16	3	Off-site		
6	Laurel Oak	Quercus laurifolia	18	3	No		
7	Laurel Oak	Quercus laurifolia	12	2	Off-site		
8	Laurel Oak	Quercus laurifolia	22	2	Off-site		
9	Cherry Laurel	Prunus caroliniana	4	2	Off-site		
10	Cherry Laurel	Prunus caroliniana	4	3	Off-site		
11	Laurel Oak	Quercus laurifolia	19	2	Off-site		
12	Sabal Palm	Sabal palmetto	16	4	Off-site		
13	Sabal Palm	Sabal palmetto	13	3	Off-site		
14	Live Oak	Quercus virginiana	45	2	Off-site		
15	Live Oak	Quercus virginiana	34	2	Yes	No	0
16	Crape Myrtle	Lagerstroemia indica	15 multi	4	No		
17	Crape Myrtle	Lagerstroemia indica	15 multi	4	No		
18	Live Oak	Quercus virginiana	39	3	Off-site		
19	Live Oak	Quercus virginiana	29	3	Off-site		
20	Live Oak	Quercus virginiana	44	3	Off-site		
Total Replacement Inches Required						0	



Existing Tree Inventory performed by ISA Certified Arborist:

Patrick Roberson
ISA Certification #FL-1051A

ENGINEERING & LAND PLANNING
BASE INFORMATION PREPARED BY:
Gulf Coast Consulting, Inc.
13825 Icol Blvd., Suite 605
Clearwater, Florida 33760

ROBERSON RESOURCE GROUP
Landscape Architecture & Consulting
PO Box 5585, Maryville, TN 37602
Phone: 727-265-4258 Web: RRGGLA.com
Florida License # LA0001461

This item has been digitally signed and sealed by Patrick Roberson, License # LA0001461 on the date of the Digital Signature. The signature must be verified on any electronic copies.

Patrick Roberson
Digitally signed by Patrick Roberson
DN: cn=US, serialNumber=PK05-A30029644, sm=Roberson, givenName=Patrick, cn=Patrick Roberson
Date: 2026.03.12 11:54:33 -0400

Rev.	per City of Clearwater comment	03/12/26
1	Rev. per City of Clearwater comment	02/04/26
2	Rev. Site Plan	10/29/25
3	Rev. Name of Project	09/19/24
4	Rev. per City of Clearwater comment	09/16/24
5	Rev. per City of Clearwater comment	03/13/24
6	Revision	Date

310 TURNER STREET
Clearwater, Florida

EXISTING TREE INVENTORY
Project No. 24-01
Date 01/30/24
Sheet ET1

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Hunter ICZ-101-40 Drip Control Zone Kit, 1in. ICV Globe Valve with 1in. HYD00 filter system. Pressure Regulation: 40psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.	1
	Hunter ICZ-151-XL-40 Drip Control Zone Kit, 1-1/2in. ICV Globe Valve with 1in. HYD00 filter system. Pressure Regulation: 40psi. Flow Range: 20 GPM to 60 GPM. 120 mesh stainless steel screen. 1-1/2in. inlet x single 2in. outlet.	1
	Hunter HDL-09-12-R Drip Ring	7
	Area to Receive Dripline Hunter HDL-09-12-R HDL-09-12-R: Hunter Dripline with 0.9 GPH flow. Light brown tubing with purple striping. Emitters at 12" O.C. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.	3,116 lf
	Hunter NODE-100 Single Station Controller, Outdoor, Battery Powered. DC Latching Solenoid Included.	1
	Hunter NODE-200 2-Station Controller, Outdoor, Battery Powered. DC Latching Solenoid Ordered Separately.	1
	Hunter MINI-CLIK-C Rain Sensor, with 1/2in. female thread at bottom for conduit installation, mount as noted	2
	Water Meter 1" Reclaimed Water Meter	1
	Water Meter 1" Reclaimed Water Meter	1
	Irrigation Lateral Line: PVC Class 200 SDR 21	428.7 lf
	Irrigation Mainline: PVC Schedule 40	9.0 lf
	Pipe Sleeve: PVC Schedule 40	293.5 lf

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PSI	PSI @ POC	PRECIP
1-1	Hunter ICZ-101-40	1"	Area for Dripline	14.09	31.1	32.3	1.44 in/h
2-1	Hunter ICZ-151-XL-40	1-1/2"	Area for Dripline	32.7	25.0	31.4	1.44 in/h

Pipe Routing at Existing Trees to Remain

Irrigation pipe (lateral or mainline) is to be tunneled under the main root system (24" depth min.) when proposed alignment is within the canopy drip line / critical root zone of existing trees to remain.

IRRIGATION PLANS ARE DIAGRAMMATIC

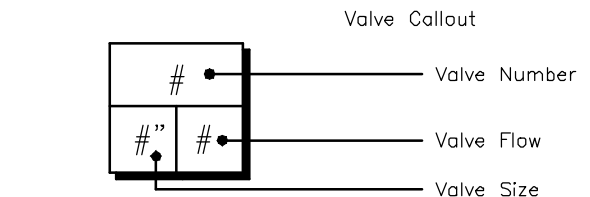
- ALL IRRIGATION EQUIPMENT TO BE INSTALLED IN LANDSCAPE/SODDED AREAS AND WITHIN PROPERTY LINES.
- ANY PIPING, VALVES, OR OTHER EQUIPMENT SHOWN OUTSIDE OF THE LANDSCAPE/SODDED AREAS OR PROPERTY LINES IS FOR CLARITY PURPOSES OF THE IRRIGATION PLAN ONLY.
- SLEEVES UNDER SIDEWALKS AND PAVEMENT ARE TO BE PLACED AS NECESSARY WITH ENDS IN LANDSCAPE/SODDED AREAS.

DRIP TUBING SPACING NOTE

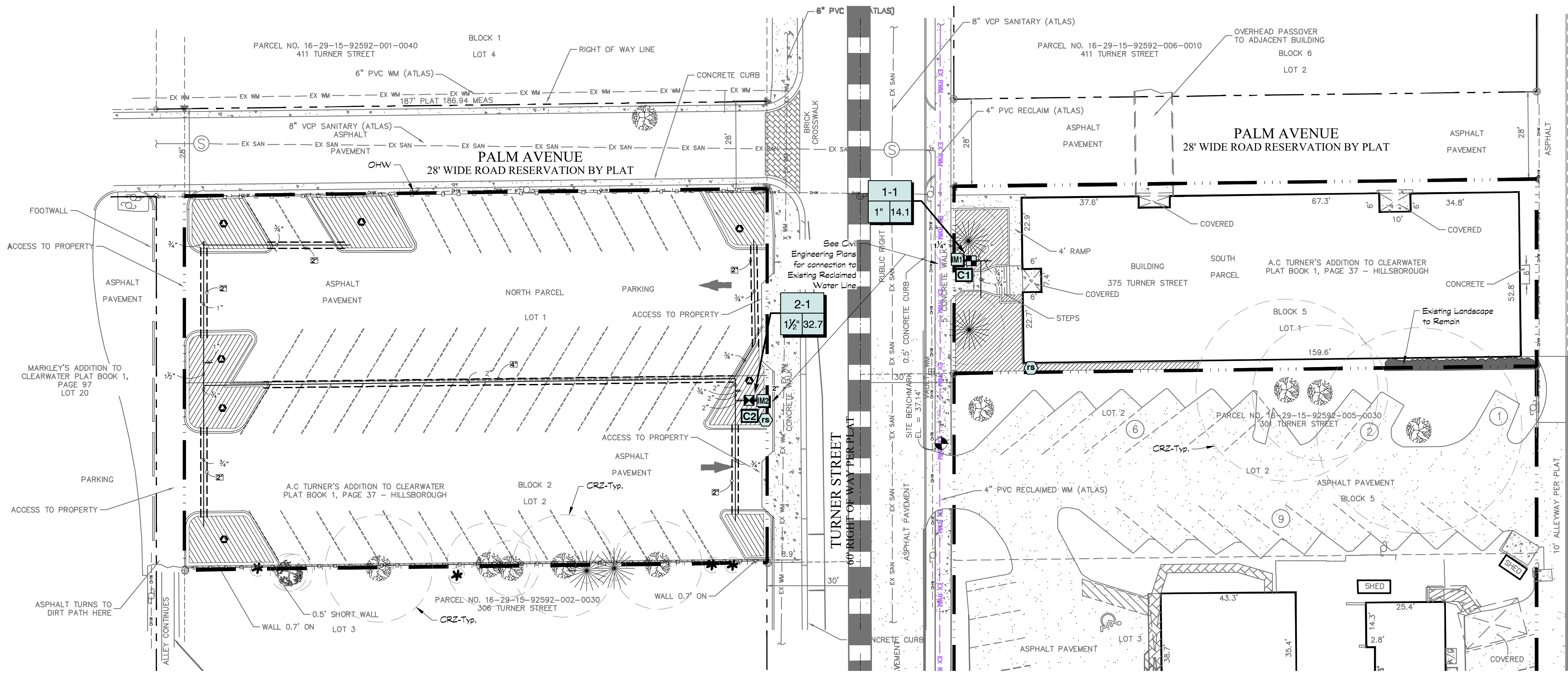
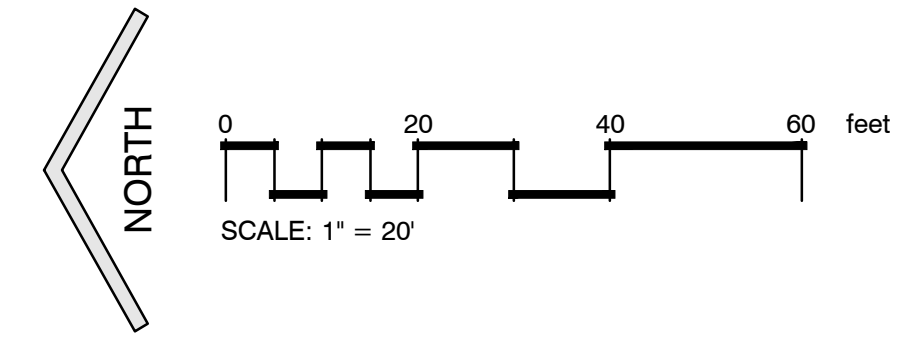
- DRIP TUBING IS TO BE SPACED EVENLY THROUGHOUT THE LANDSCAPE BED AS PER THE LAYOUT DETAILS ON SHEET IR2. LATERAL RUNS SHOULD BE SPACED AT 12" ON CENTER TO PROVIDE COVERAGE OVER THE ENTIRE PLANTING BED. INSTALLING ONLY ONE LATERAL RUN NEXT TO AN INDIVIDUAL PLANT OR ROW OF PLANTS IS NOT AN ACCEPTABLE LAYOUT.

PROPOSED TREES/PALMS IRRIGATION

- ALL PROPOSED TREES ARE TO HAVE DRIP TREE RINGS AS DETAILED ON SHEET IR2 OR AS AN ALTERNATE FOUR TO EIGHT DRIP BUBBLERS CAN BE ATTACHED TO THE DRIP TUBING ON OPPOSITE SIDES OF THE ROOTBALL, PER EACH TREE, AND ADJUSTED TO PROVIDE IRRIGATION CONSISTENT WITH THE DRIP TREE RING. SEE IRRIGATION DETAILS.



Sunshine State
One Call
of Florida



ROBERSON RESOURCE GROUP
Landscape Architecture & Consulting

19825 Icot Blvd., Suite 605
Clearwater, Florida 33760

ENGINEERING & LAND PLANNING
BASE INFORMATION PREPARED BY:
Gulf Coast Consulting, Inc.

Patrick Roberson

Digitally signed by Patrick Roberson
DN: cn=US, serialNumber=P4305-A30029844, sn=Roberson, givenName=Patrick, cn=Patrick Roberson
Date: 2026.03.12 11:55:24 -0400

Rev.	per City of Clearwater comment	03/12/26
1	Rev. per City of Clearwater comment	02/04/26
2	Rev. Site Plan	10/29/25
3	Rev. Name of Project	09/19/24
4	Rev. per City of Clearwater comment	09/16/24
5	Rev. per City of Clearwater comment	03/13/24

310
TURNER STREET
Clearwater, Florida

IRRIGATION PLAN

Project No. 24-01
Date 01/30/24
Sheet IR1

CITY OF CLEARWATER GENERAL LANDSCAPE REQUIREMENTS

TREE TYPE PERCENTAGE REQUIREMENT

TOTAL TREES PROVIDED: 7

INTERNAL LANDSCAPE VUA REQUIREMENTS:

INTERNAL LANDSCAPE VUA AREA REQUIRED: 10% OF VUA PARKING AREA
 EXISTING VUA AREA: 19,163 SF
 REQUIRED VUA LANDSCAPE AREA: 1,916 SF (10%)
 PROVIDED VUA LANDSCAPE AREA: 2,739 SF (14.3%)

1 TREE REQUIRED PER 300 SF OF REQUIRED INTERNAL LANDSCAPE VUA AREA:
 1,916 / 300 = 6 TREES REQUIRED

INTERNAL VUA AREA TREES PROVIDED = 7 TREES, LIMITED DUE TO CLEAR SIGHT TRIANGLES

SHRUBS ARE REQUIRED FOR 50% OF THE REQUIRED INTERNAL LANDSCAPE VUA AREA, WITH REMAINING AREA COVERED BY GROUND COVERS, NOT INCLUDING SOD.
 TOTAL SHRUB AREA 970 SF (36%) / TOTAL GROUND COVER AREA 1,769 SF (64%)
 GROUND COVERS PRIMARILY TO BE UTILIZED IN CLEAR SIGHT TRIANGLES.

EXISTING TREE REPLACEMENT REQUIREMENTS

REQUIRED REPLACEMENT - 0'
 PROVIDED REPLACEMENT - 10'
 0' REQUIRED REPLACEMENT DEFICIT
 TREE FUND CONTRIBUTION = 0' X \$48 = \$0.00

SEE EXISTING TREE SUMMARY SHEET ETI FOR DETAILED SUMMARY OR
 REQUIRED REPLACEMENT INCHES

REQUIRED PERMETER LANDSCAPE BUFFERS PARKING AREA

NORTH BUFFER (NON-RESIDENTIAL) 120 LF
 REQUIRED: 5' WIDE BUFFER WITH 1 TREE PER 35 LF (3 TREES REQ.) & 100% CONTINUOUS HEDGE
 PROVIDED: 5' WIDE BUFFER WITH 4 TREES AND CONTINUOUS HEDGE OUTSIDE OF CLEAR SIGHT TRIANGLES.

SOUTH BUFFER (LOCAL ROW) 120 LF
 REQUIRED: 10' WIDE BUFFER WITH 1 TREE PER 35 LF (3 TREES REQ.) & 100% CONTINUOUS HEDGE
 PROVIDED: 10' WIDE BUFFER WITH 2 TREES AND CONTINUOUS HEDGE OUTSIDE OF CLEAR SIGHT TRIANGLES.

EAST BUFFER (LOCAL ROW) 187 LF
 EXISTING CONDITIONS.

WEST BUFFER (NON-RESIDENTIAL) 187 LF
 EXISTING CONDITIONS.

BUILDING FOUNDATION LANDSCAPE REQUIREMENTS

FOUNDATION PLANTINGS TO BE PROVIDED FOR 100% OF BUILDING FACADE ALONG STREET RIGHT OF WAY WITHIN THE COMMERCIAL LAND USE, EXCLUDING AREAS FOR BUILDING INGRESS AND EGRESS. MINIMUM 5' WIDE WITH 50% OF LANDSCAPE AREA TO BE SHRUBS WITH REMAINING AREA TO BE GROUND COVERS.

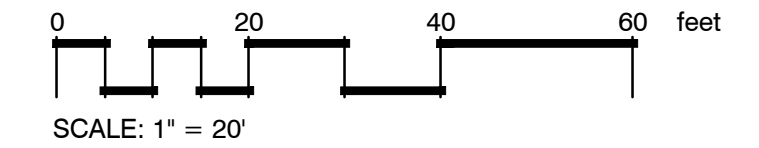
20' AVERAGE WIDTH OF FOUNDATION PLANTINGS PROVIDED ALONG BUILDING FACADE.

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
TREES							
UP	7	Ulmus parvifolia 'Alee'	Alee Elm	-	2.5' Cal	10'-12' Hr., 5'-6' Sp.	Drought Tolerant
SHRUBS							
CH	31	Chrysobalanus icaco 'Horizontalis'	Horizontal Cocoplum	3 gal., 14" Ht. x 14" Sp.			30" o.c. Native, Drought Tolerant
CR	46	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	3 gal., 20" Ht. x 20" Sp.			36" o.c. Native, Drought Tolerant
HP	28	Hamelia patens 'Firefly'	Firefly Dwarf Firebush	3 gal., 14" Ht. x 14" Sp.			36" o.c. Native, Drought Tolerant
MF	35	Myrsine fragnans 'compacta'	Dwarf Simpson's Stopper	3 Gal., 18" Ht. x 18" Sp.			36" o.c. Native, Drought Tolerant
SR	2	Streitzia reginae	Bird Of Paradise	7 gal., 3' x 3'			48" o.c.
ZF	9	Zamia floridana	Cocotte	3 Gal., 18" Ht. x 18" Sp.			36" o.c. Native, Drought Tolerant
GROUND COVERS							
AG	154	Arachis glabrata-rhizoma	Ornamental Peanut Grand Reserve	6"x18", 1 gal. @			18" o.c. Drought Tolerant
DV	55	Dietes vegeta	White African Iris	12"x18", 1 gal.			24" o.c.
LE	159	Liriope muscari 'Emerald Goddess'	Emerald Goddess Liriope	12"x18", 1 gal.			18" o.c. Drought Tolerant
TR	600	Trachelospermum asiaticum	Dwarf Asiatic Jasmine	4" pot @			12" o.c. Drought Tolerant
TS	149	Trachelospermum asiaticum 'Summer Sunset'	Dwarf Tricolor Asiatic Jasmine	1 gal			18" o.c. Drought Tolerant



Sunshine State
 One Call
 of Florida



GENERAL NOTES:

Do not install landscaping or irrigation (unless directional bore) in the critical root zone (inside the tree barricade) of the existing trees to be preserved.

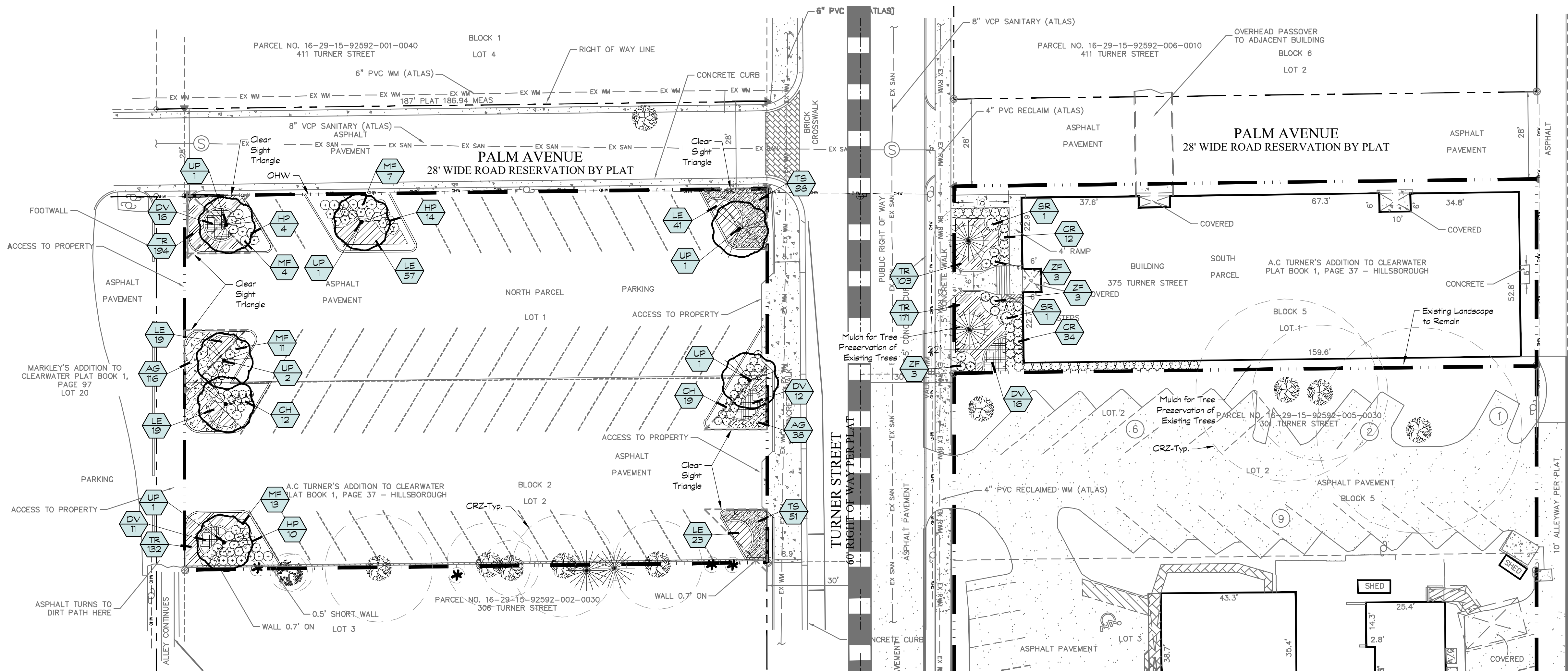
All shade trees must be a minimum of 5 feet from any impervious surface or utility (adjust landscape to conform)

IRRIGATION NOTE:

See the Irrigation Plan, Sheet IR1, for requirements to provide 100% irrigation coverage for all proposed plant materials by automatic permanent irrigation system.

CITY OF CLEARWATER PLANT QUALITY REQUIREMENT:

All plant materials shall conform to Florida Grades and Standards for Nursery Stock, Florida Grade #1. See notes 2.01 Materials, A, 3 & 4, on Sheet LA2.



ROBERSON RESOURCE GROUP
 Landscape Architecture & Consulting
 PO Box 5585, Maryville, TN 37802
 Phone: 727-265-4258 Web: RRGLA.com
 19825 Icot Blvd., Suite 605
 Clearwater, Florida 33760
 Florida License # LA0001461

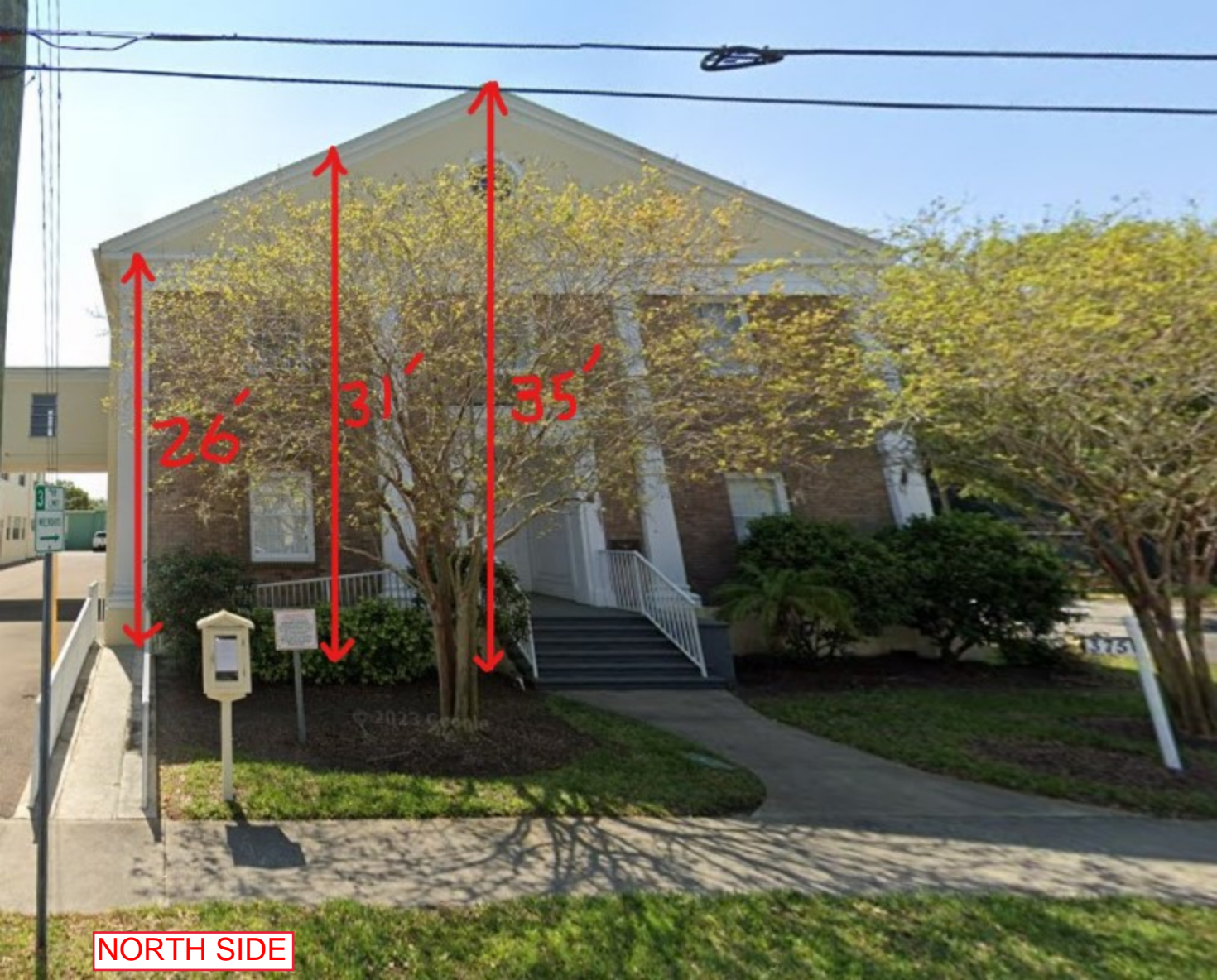
This item has been digitally signed and sealed by Patrick Roberson, License # LA0001461 on the date of the Digital Signature. The signature must be verified on any electronic copies.

Patrick Roberson
 Digitally signed by Patrick Roberson
 DN: c=US, serialNumber=P4305-A30029844, sn=Roberson, givenName=Patrick, cn=Patrick Roberson
 Date: 2026.03.12 11:54:49 -0400

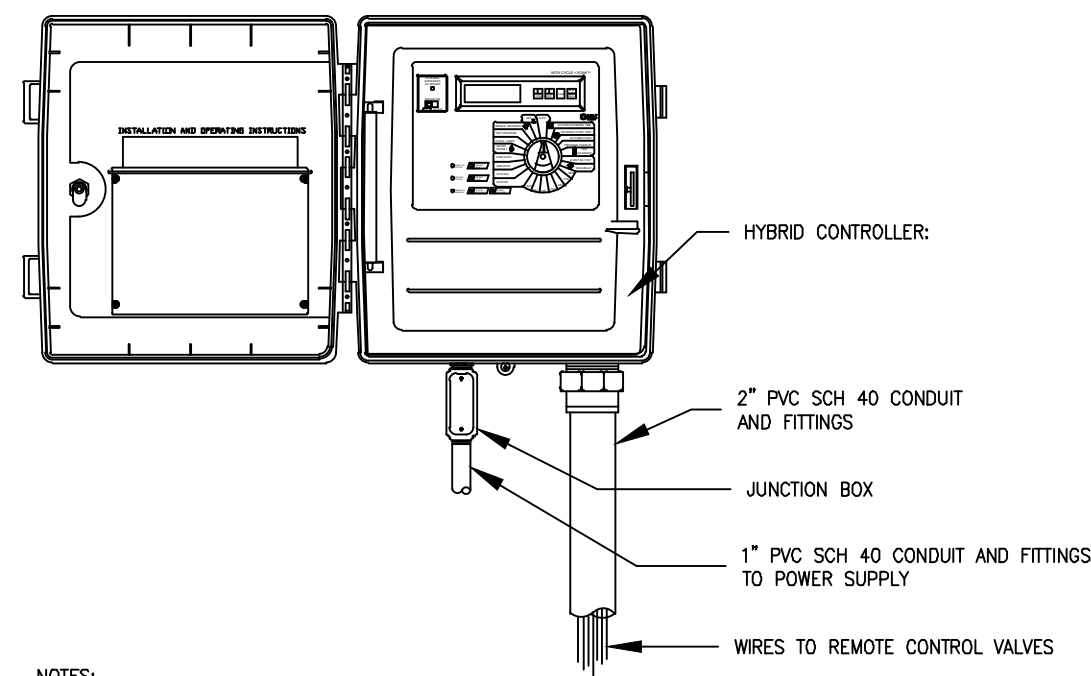
Rev.	per City of Clearwater comment	03/12/26	Date
1	Rev. per City of Clearwater comment	02/04/26	
2	Rev. Site Plan	10/29/25	
3	Rev. Name of Project	09/19/24	
4	Rev. per City of Clearwater comment	09/16/24	
5	Rev. per City of Clearwater comment	03/13/24	

Project Title
310 TURNER STREET
 Clearwater, Florida

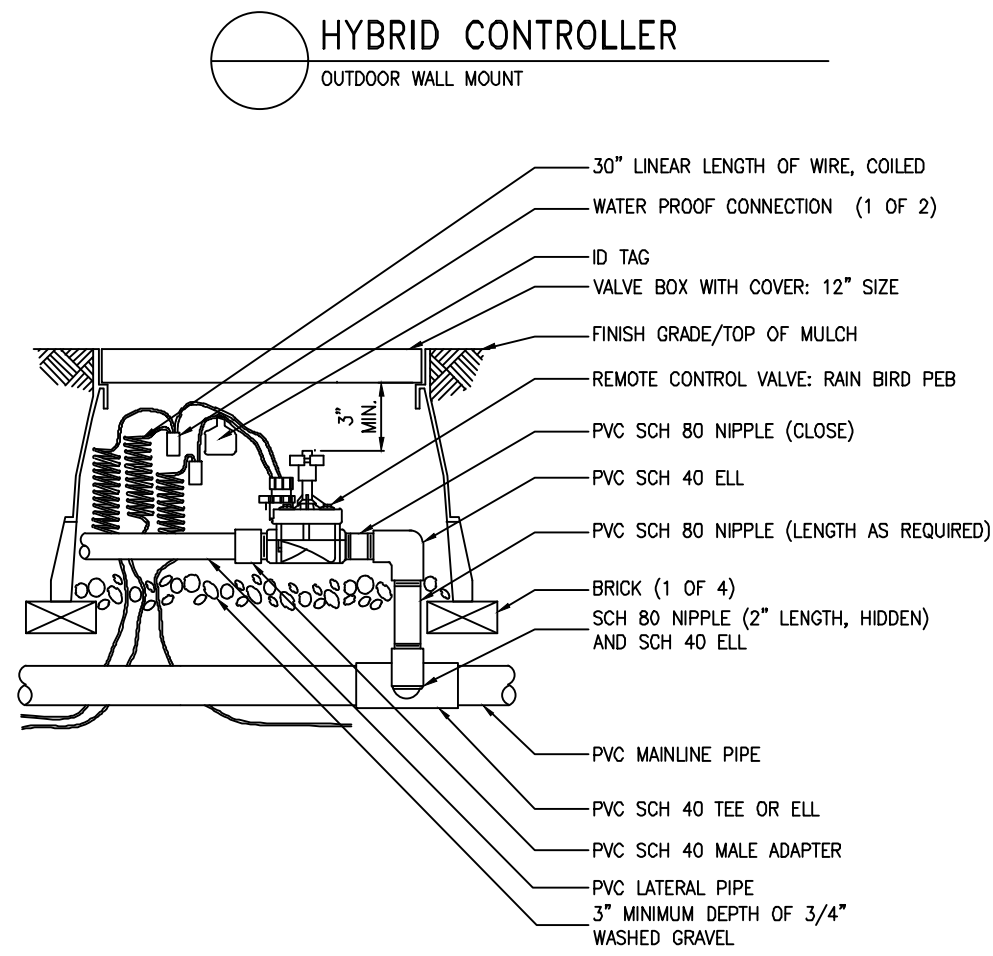
LANDSCAPE PLAN
 Project No. 24-01
 Date 01/30/24
 Sheet LA1



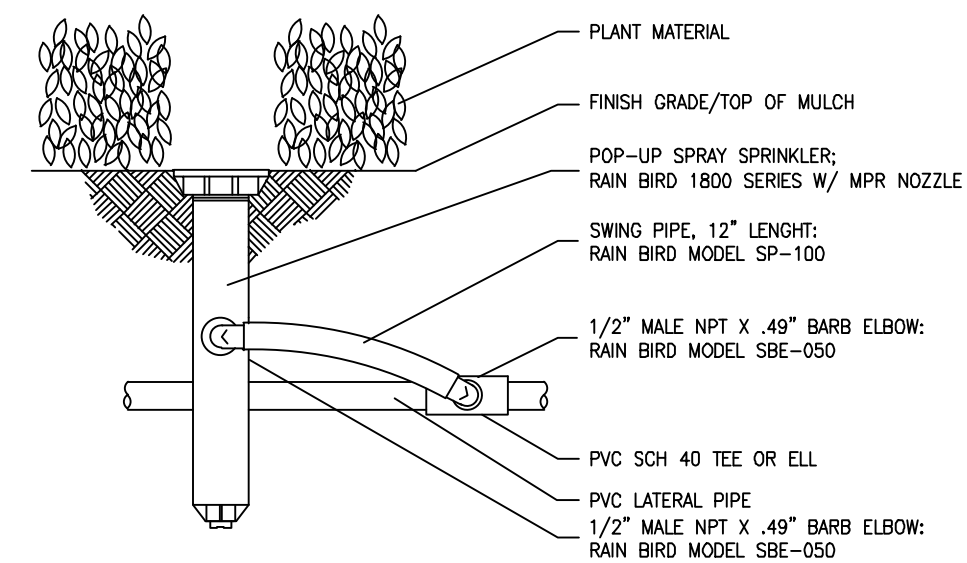
NORTH SIDE



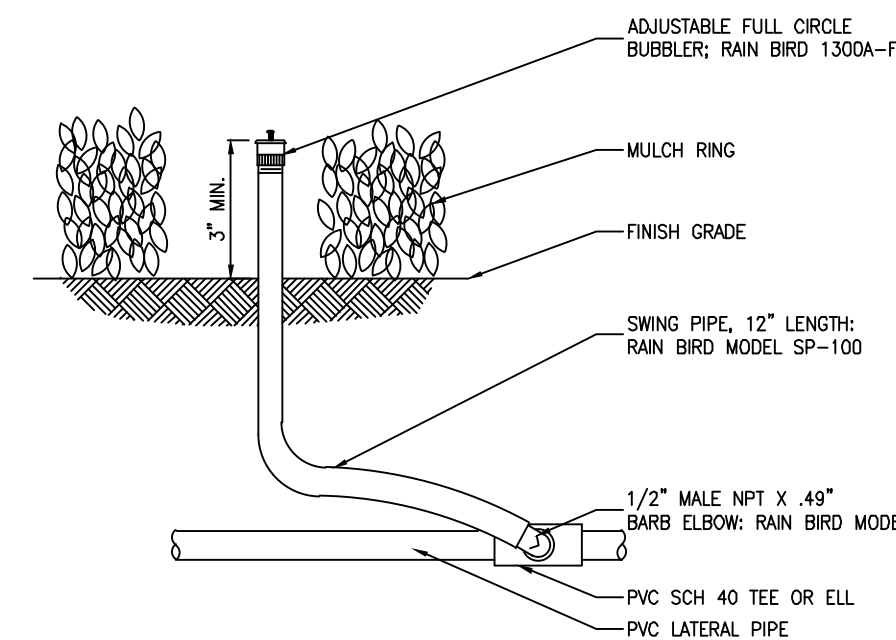
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. INSTALLATION TO BE IN ACCORDANCE WITH STATE AND LOCAL AGENCY CODE REQUIREMENTS.



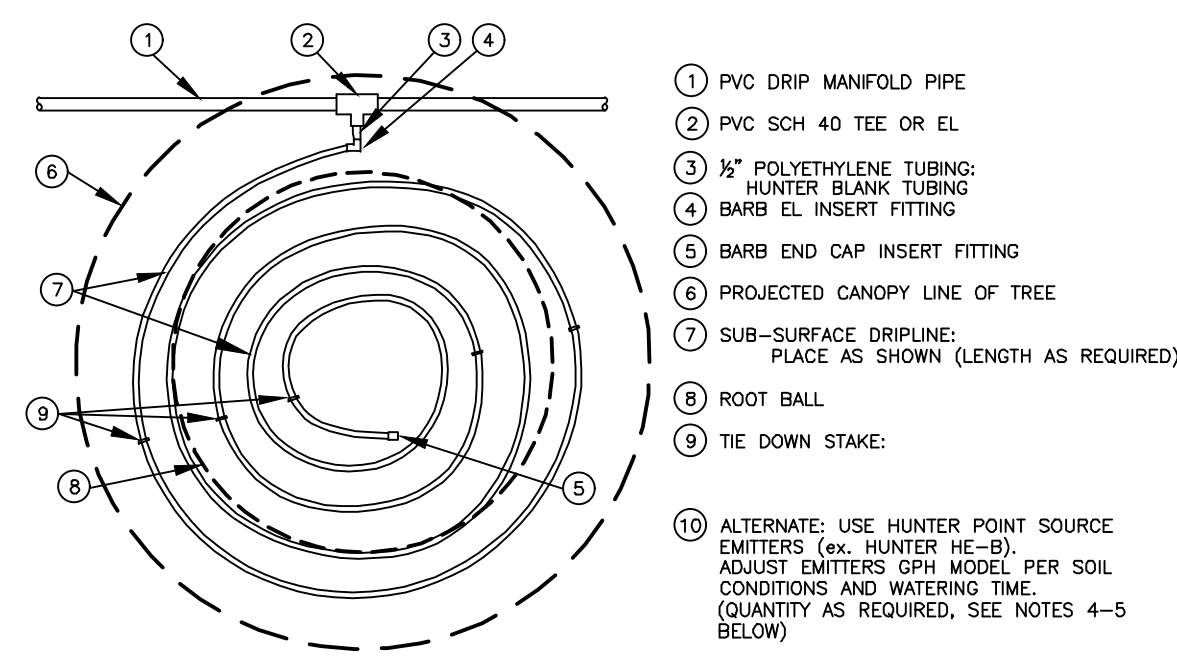
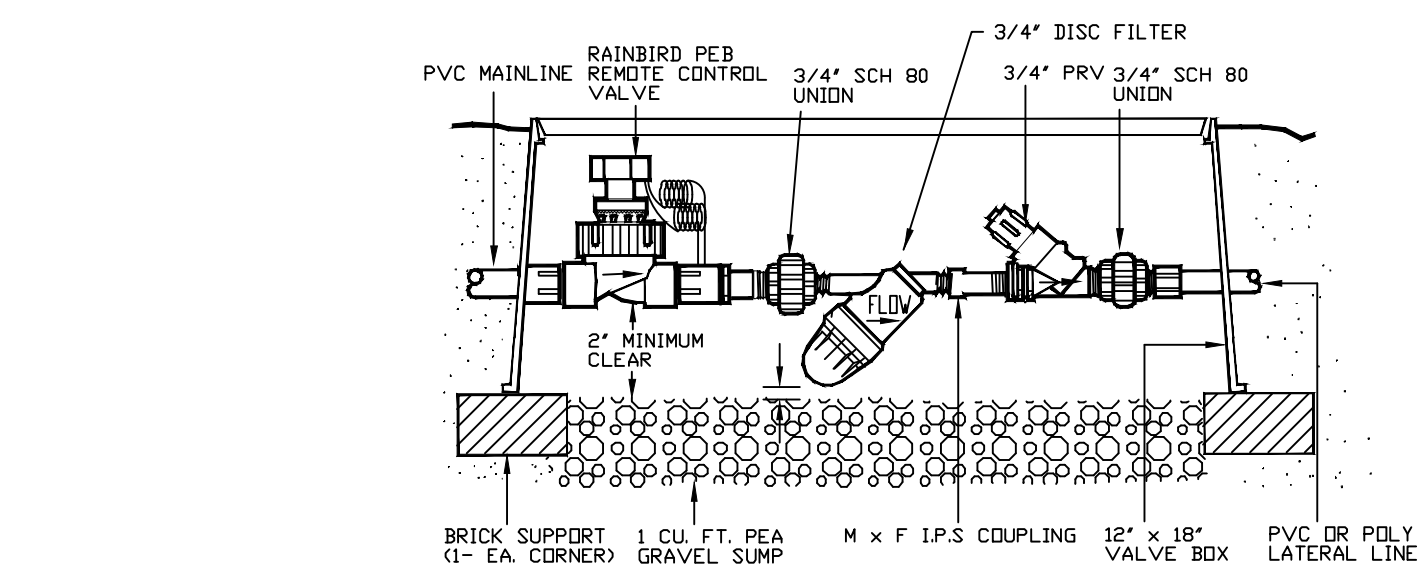
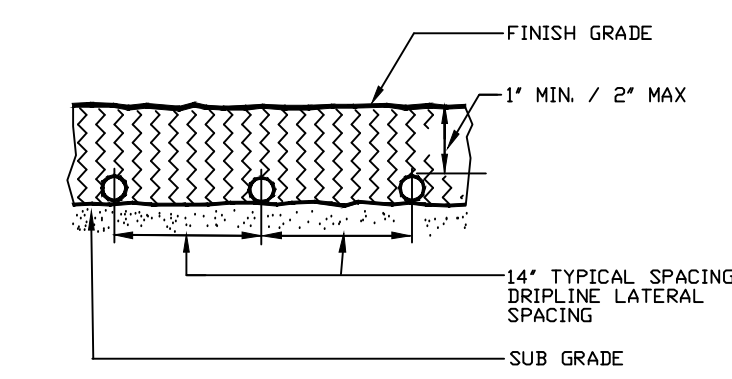
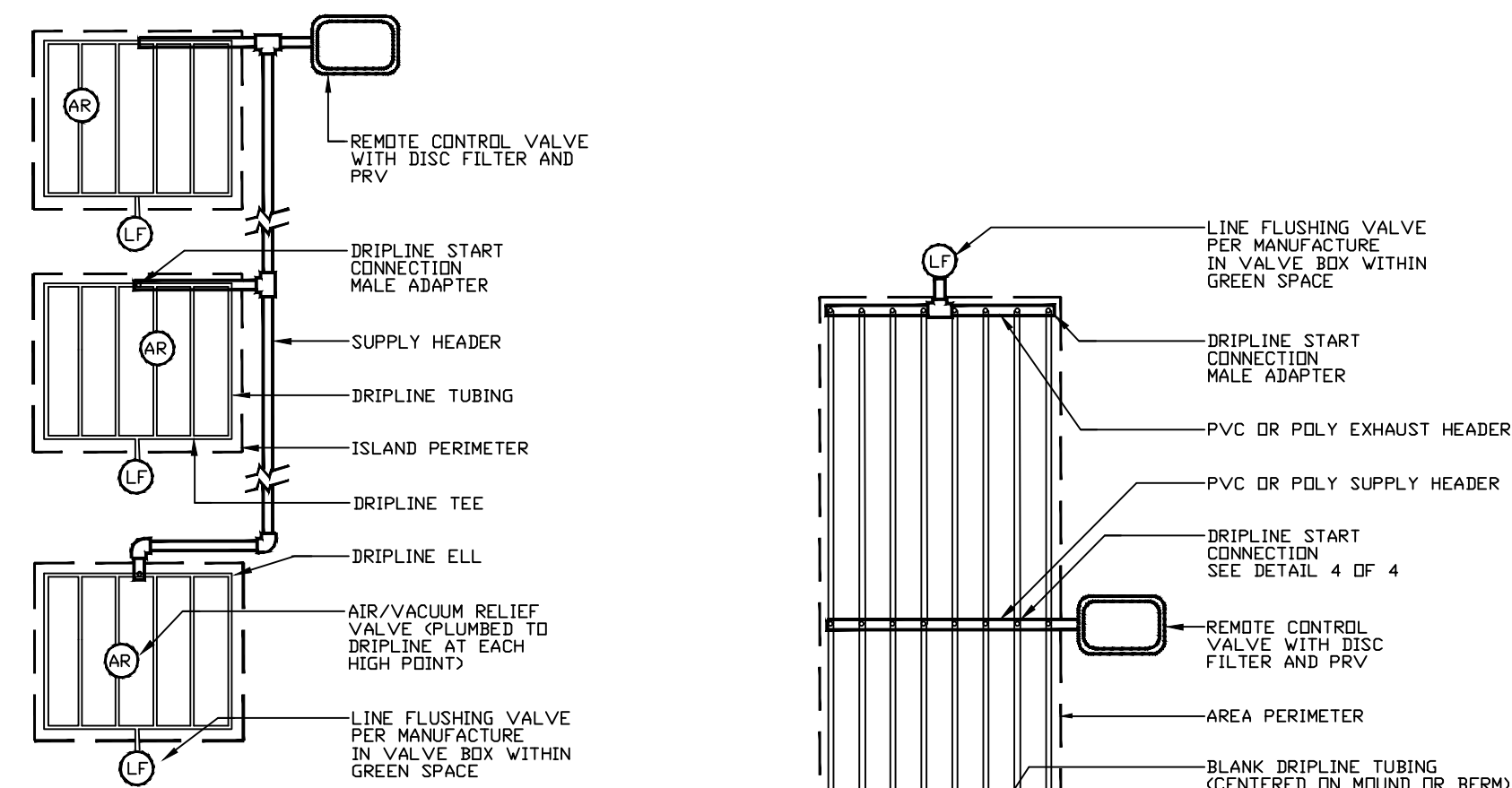
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.



- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. POP-UP HEIGHT ADJUSTED FOR CLEARANCE OF PLANT MATERIAL, 12" MIN. HEIGHT



- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.

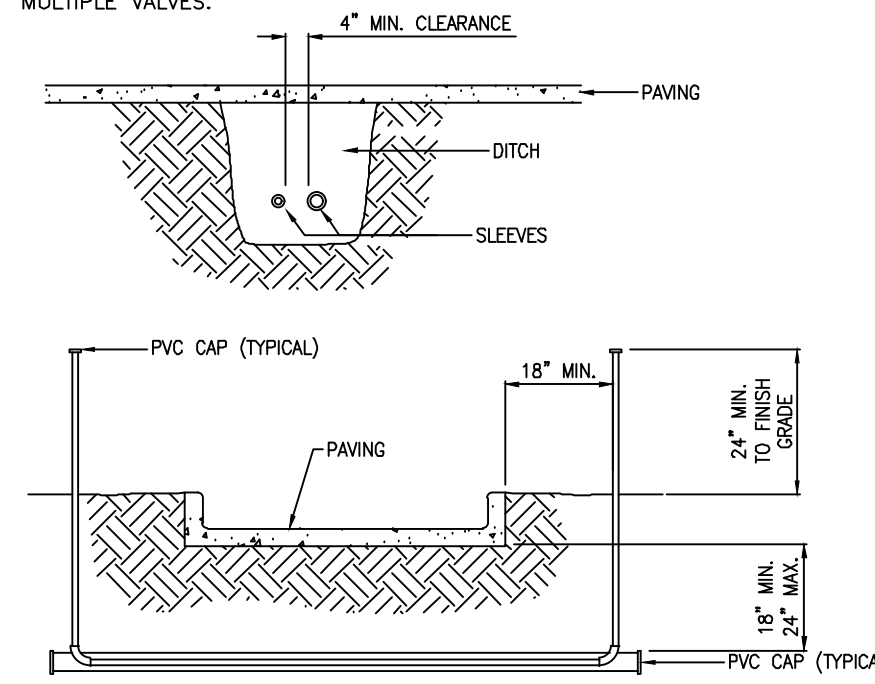


- NOTES:
1. DISTANCE BETWEEN LATERAL RINGS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, AND TREE CANOPY. SEE DRIPLINE MANUFACTURE'S INSTALLATION GUIDE FOR SUGGESTED SPACINGS.
 2. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 3. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
 4. IF USING ALTERNATE EMITTERS, PROVIDE 4 OR MORE - 4 GPH OR 6 GPH EMITTERS FOR TREES 5" CALIBER & LARGER, DEPENDING ON SOIL CONDITIONS AND TREE SIZE.
 5. USE ALTERNATE EMITTERS, PROVIDE 4 OR MORE - 4 GPH OR 6 GPH EMITTERS FOR PHOENIX PALMS, DEPENDING ON SOIL CONDITIONS.

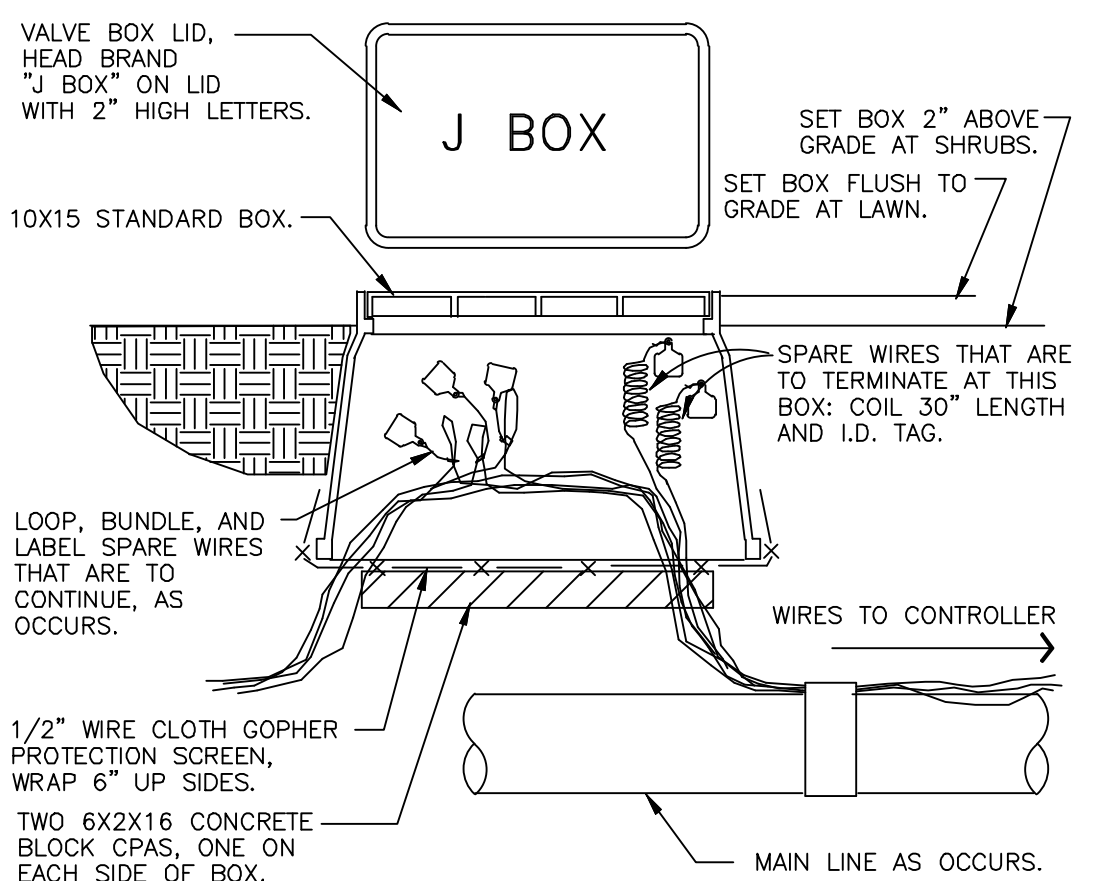
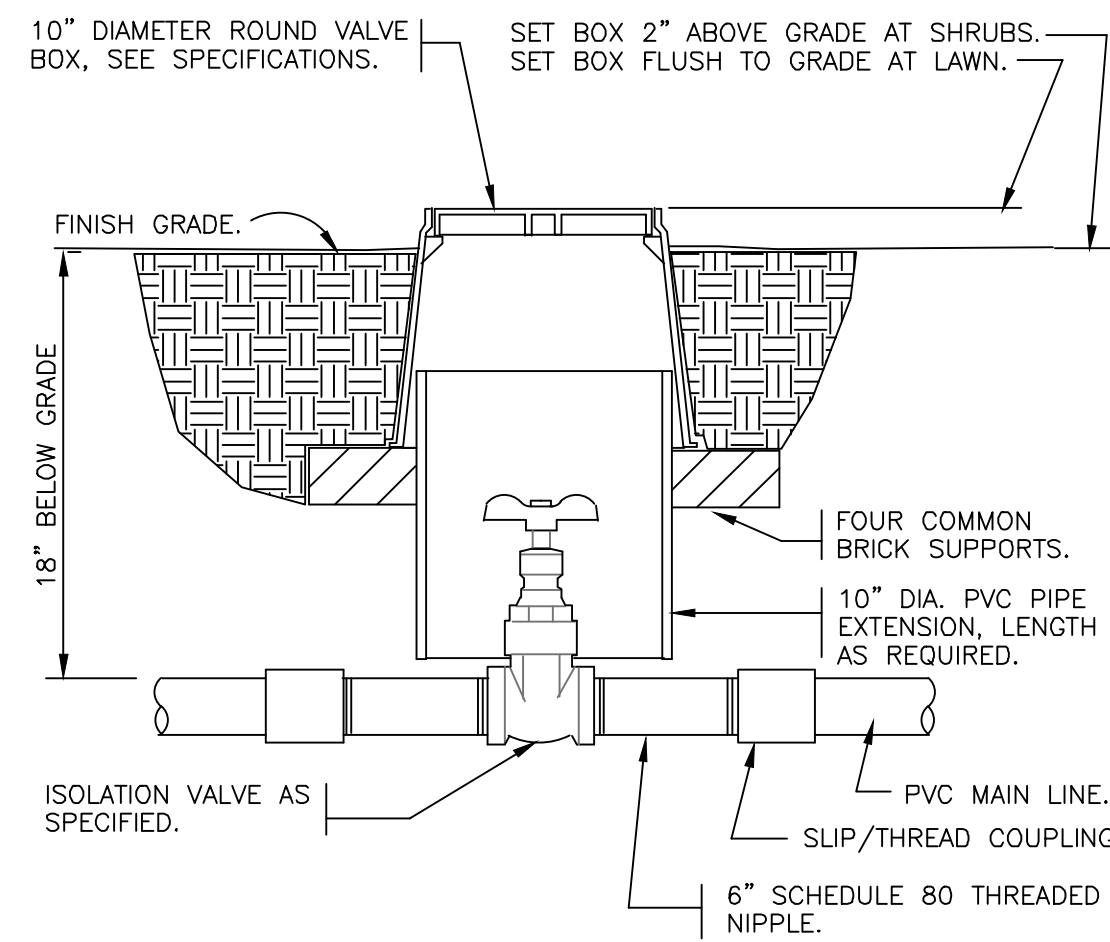


FOR OPEN TRENCH INSTALLATION OF SLEEVES. SLEEVES ARE TO BE PRE-LOADED WITH THE LATERAL PIPE TO BE CARRIED, SIZED PER IRRIGATION PLANS. THE PRE-LOADED LATERAL PIPE WITHIN THE SLEEVE SHALL BE CAPPED TO PREVENT DEBRIS AND SOIL FROM ENTERING LATERAL PIPE DURING INSTALLATION OF SLEEVE.

MAINLINE PIPE SLEEVES TO ALSO INCLUDE SEPARATE SLEEVE FOR CONTROL WIRES. WIRE SLEEVE TO BE 1" SCHEDULE 40 MIN. FOR INDIVIDUAL WIRES TO ONE VALVE OR 1" LARGER THAN DIAMETER REQUIRED FOR MULTI-WIRE CROSSINGS TO AREAS OF MULTIPLE VALVES.

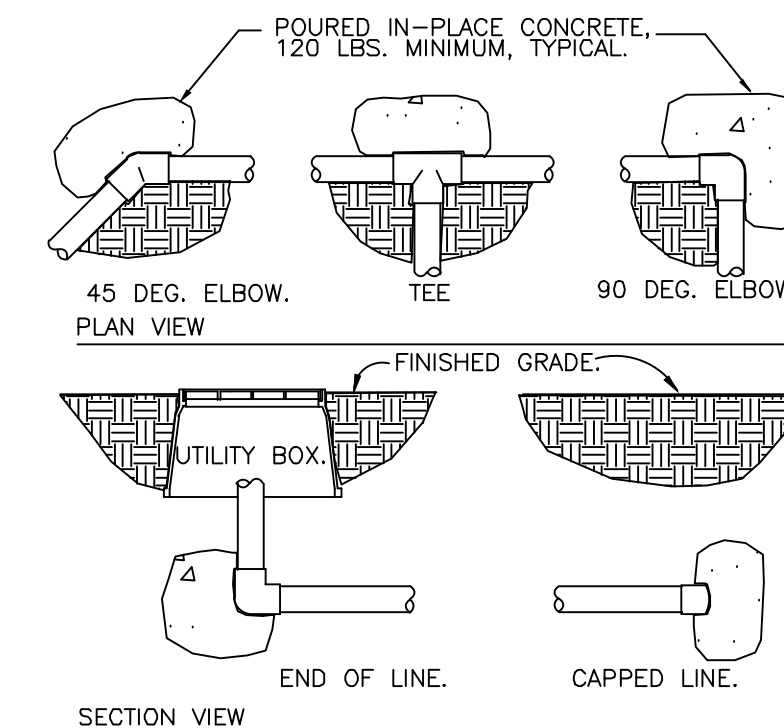


- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. ALL PVC IRRIGATION SLEEVES TO BE SCH. 40 PIPE.
 4. ALL JOINTS TO BE SOLVENT WELDED AND WATER TIGHT.
 5. WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24" MINIMUM ABOVE FINISH GRADE.
 6. MECHANICALLY TAMP TO 95% PROCTOR.
 7. SLEEVE TO BE 2 SIZES LARGER THAN MAIN LINE/LATERAL PIPE BEING CARRIED.
 8. SLEEVES TO BE LOADED WITH LATERAL PIPE SIZED PER PLAN

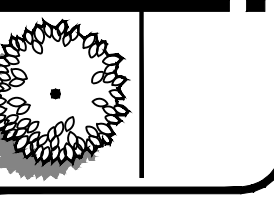


IRRIGATION GENERAL NOTES

1. NO PLANTING SHALL OCCUR UNTIL THE UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS INSTALLED AND FULLY FUNCTIONAL. THE IRRIGATION SYSTEM IS TO SUPPLY 100% COVERAGE TO ALL REQUIRED LANDSCAPE PLANT MATERIAL AND ST. AUGUSTINE TURF.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST WATERING AMOUNTS AND FREQUENCY TO ENSURE PROPER ESTABLISHMENT OF ALL PLANT MATERIAL.
3. THE CONTRACTOR SHALL BE FAMILIAR WITH BOTH PROPOSED AND EXISTING SITE CONDITIONS SUCH AS UTILITIES, PLANT MATERIALS AND ARCHITECTURAL ELEMENTS IN ORDER TO AVOID CONFLICTS DURING INSTALLATION.
4. THE CONTRACTOR SHALL AVOID DAMAGE TO EXISTING TREES AND SHRUBS ON SITE THAT MAY OR MAY NOT BE INDICATED ON THE PLANS.
5. THE CONTRACTOR SHALL INSTALL THE IRRIGATION SYSTEM IN CONFORMANCE TO ALL APPLICABLE STATE AND REGIONAL REGULATIONS AND CODES.
6. A MAXIMUM OF 50% OF THE ON-SITE GREEN SPACE MAY BE ALLOWED TO BE PLANTED WITH ST. AUGUSTINE GRASS SPECIES, CONFIGURED WITH A PERMANENT IRRIGATION SYSTEM. TURF/SODDED AREAS SHALL BE ON SEPARATE IRRIGATION ZONES, THAN OTHER LANDSCAPE PLANT MATERIAL.
7. DRIP LINE, BUBBLERS, SPRAY HEADS AND ROTORS SHALL NOT BE COMBINED ON THE SAME CONTROL VALVE CIRCUIT. SPRAY AND ROTOR COMPONENTS SHALL HAVE MATCHING APPLICATION RATES WITHIN EACH IRRIGATION ZONE.
8. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND ADJUSTED TO AVOID OVERSPRAY AND RUNOFF ONTO SIGNS, BUILDINGS, WALLS, WALKWAYS, ROADWAY PAVEMENT OR OTHER IMPERVIOUS SURFACES.
9. THE IRRIGATION SYSTEM CONTROLLER SHALL HAVE PROGRAM FLEXIBILITY SUCH AS REPEAT CYCLES AND MULTIPLE PROGRAM CAPABILITIES AND HAVE A BATTERY BACK-UP SYSTEM TO RETAIN IRRIGATION PROGRAMS. THE IRRIGATION CONTROL SYSTEM SHALL BE EQUIPPED WITH AN OPERABLE SOIL MOISTURE SENSOR SHUT-OUT DEVICE EXPOSED PER THE MANUFACTURERS SPECIFICATIONS. THE CONTROLLER SHALL ALSO BE EQUIPPED WITH A PUMP START RELAY SYSTEM.
10. THE IRRIGATION SYSTEM SHALL BE INSTALLED TO "STANDARDS AND SPECIFICATIONS FOR TURF AND LANDSCAPE IRRIGATION SYSTEMS", LATEST EDITION, (FIFTH EDITION MINIMUM) AND ANY AMENDMENTS, BY THE FLORIDA IRRIGATION SOCIETY, INC.
11. RAIN BIRD DRIP TUBING SYSTEM COMPONENTS SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
12. SPRAY HEAD AND ROTOR LAYOUT SHALL PROVIDE FOR PROPER HEAD TO HEAD COVERAGE. SPRINKLER SPACING SHALL NOT TO EXCEED 55% OF THE SPRINKLERS DIAMETER OF COVERAGE.
13. LANDSCAPE OR SODDED AREAS 4' WIDE OR LESS ARE TO BE IRRIGATED WITH DRIP LINE (MICRO IRRIGATION) ONLY, THESE AREAS ARE INDICATED ON THE PLANS.
14. THE IRRIGATION CONTRACTOR SHALL ASCERTAIN THE IRRIGATION SYSTEM REQUIREMENTS FOR GPM AND PSI DEMAND AND DETERMINE IF THE METER AND BACKFLOW ASSEMBLY IS CAPABLE OF MEETING THE DEMAND WITHIN THE ALLOWABLE WATERING TIMES. METER AND BACKFLOW ASSEMBLY TO BE PER LOCAL JURISDICTIONAL REQUIREMENTS AND APPLICABLE STATE OF FLORIDA BUILDING CODES.
15. THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE SITE/BUILDING CONTRACTOR TO VERIFY ANY REQUIRED ELECTRICALLY POWER FOR THE IRRIGATION SYSTEM IS AVAILABLE.
16. WIRE CONNECTIONS FOR ELECTRIC CONTROL VALVES ARE TO BE MADE WITH NORTHSTAR WATERPROOF SPLICE KITS (3M DBT).
17. MAINLINE PIPE IS TO BE INSTALLED A MINIMUM OF 18" BELOW FINISH GRADE. LATERAL LINE PIPE IS TO BE INSTALLED A MINIMUM OF 12" BELOW FINISH GRADE.
18. THE IRRIGATION CONTROLLER SHALL HAVE PROPER LIGHTNING PROTECTION INSTALLED PER MANUFACTURE AND APPLICABLE CODES.
19. CONTROL VALVE WIRES SHALL RUN UNDER THE MAINLINE PIPE.
20. THE MAINLINE PIPE AND SLEEVES ARE TO BE SCHEDULE 40 PVC. LATERAL LINE PIPE IS TO BE CLASS 200 PVC. IRRIGATION PIPE SHALL BE PROPERLY SIZED TO A MAXIMUM OF 5 FEET PER SECOND OF WATER VELOCITY FLOW THROUGH THE IRRIGATION SYSTEM.
21. NO IRRIGATION COMPONENTS, MAINLINE PIPING, LATERAL PIPING OR TRENCHING SHALL OCCUR WITHIN THE PROTECTED ZONE OF EXISTING TREES ON SITE AS INDICATED ON THE PLANS.



THRUST BLOCKS ARE REQUIRED ON ALL UNRESTRAINED, PUSH-ON GASKETED PIPE JOINTS AND FITTINGS AT DEAD ENDS, AND WHENEVER THE LINE CHANGES DIRECTION OF 30 DEGREES OR MORE. CONCRETE HAVING A COMPRESSIVE STRENGTH OF 2000 PSI OR HIGHER WILL BE SPECIFIED. THRUST BLOCKS WILL BE FORMED AGAINST SOLID, UNEXCAVATED EARTH THAT HAS BEEN UNDAMAGED BY MECHANICAL EQUIPMENT. THE SPACE BETWEEN THE PIPE AND TRENCH WALL WILL BE FILLED TO THE HEIGHT OF THE OUTSIDE DIAMETER OF THE PIPE. SIZE THRUST BLOCKS IN ACCORDANCE WITH ASAE (AMERICAN SOCIETY OF AGRICULTURAL ENGINEERS) STANDARD S-376.2.



This item has been digitally signed and sealed by Patrick Roberson, License # LA0001461 on the date of the digital signature. Signature must be verified on any electronic copies.



Patrick Roberson

Digitally signed by Patrick Roberson DN: c=US, serialNumber=PA305-A30029844, sn=Roberson, givenName=Patrick, cn=Patrick Roberson
Date: 2020.03.12 11:55:43 -0400

Rev.	per City of Clearwater comment	03/12/26	Date
1	Rev. per City of Clearwater comment	02/04/26	
2	Rev. Site Plan	10/29/25	
3	Rev. Name of Project	09/19/24	
4	Rev. per City of Clearwater comment	09/16/24	
5	Rev. per City of Clearwater comment	03/13/24	

310 TURNER STREET
Clearwater, Florida

IRRIGATION NOTES & DETAILS

Project No. 24-01
Date 01/30/24
Sheet

IR2

LANDSCAPE GENERAL NOTES

- 1. Permits required by any authority or governing jurisdiction, for any installation or construction work described in the contract documents, shall be obtained by the Contractor. Any applicable fees or financial requirements are to be paid by the Contractor for such permits, unless stipulated specifically in writing by the Owner.
2. The Contractor shall comply with all codes, safety requirements, and environmental regulations of federal, state, local and other regulatory agencies that have jurisdiction over the project, without additional cost to the owner. This includes any safety standards of the Occupational Safety and Health Act and amendments. The Owner and Owner's Representative shall be held harmless from any accident, injury or any other incident resulting from compliance or non-compliance with these standards.
3. The work included in this Section includes the furnishing of all materials, equipment and labor necessary and incidental to the installation and preparation of planting areas, soil treatment, plants, grading, protection of existing and proposed plants, hauling and spreading of topsoil, finish grading, removal and / or transplanting of existing plants as indicated, warranty, replacement of plants and / or materials, and related items as required to complete the work as indicated on the plans and fulfilling all warranty provisions, as specified herein.
4. The work shall also include the maintenance of all landscape plants and materials, planting areas, and sod / seeded areas until the Final Acceptance by the Owner's Representative. This time period of required maintenance may be extended through the full warranty period, as specified in the contract agreement, until Final Project Acceptance.
5. During construction, protect all existing trees, shrubs, and other specified vegetation, site features and improvements, structures, installed elements and utilities specified herein and / or on submitted plans. Removal or destruction of items described above is prohibited unless specifically authorized by the Owner.
6. The plant list as shown on the plans is for the Contractor's information only and no guarantee is expressed or implied that quantities shown therein are correct or that the list is complete. The Contractor shall verify that all plant material shown on the drawings are included in the Contractor's bid.
7. Substitutions of plant materials will not be permitted unless authorized in writing by the Owner's Representative. Proof is to be submitted in writing from 5 different regional sources that a plant specified is not obtainable. Consideration will be given to the nearest available size or similar variety with a corresponding adjustment of the contract price.
8. The Contractor shall review and verify the proposed and existing site elements, including but not limited to, storm drainage, water, sewer, phone, cable and electrical utilities, paving, site grading, buildings, walks, hardscape, and vegetation to preclude any misunderstanding and ensure a trouble free installation.
9. Stated dimensions shall govern over scaled dimensions on the plans.
10. Plants shall be subject to inspection for conformity to specification requirements and approval by the Owner's Representative at their place of growth, or upon delivery to the site, as determined by the Owner's Representative. Such approval shall not preclude the right of inspection and rejection during any phase of the work. Rejected plant materials shall be immediately removed from the project site and replaced with approved plant materials within seven (7) days or as approved by the Owner's Representative.
11. All plants may be selected and tagged by the Owner's Representative at their place of growth. For distance material, photographs may be submitted for pre-inspection review and approval by the Owner's Representative. Pictures shall be clear and contain the full image of the plant material to be reviewed and have a clear indication of size in foot increments for trees and palms and inches for shrubs and groundcovers. The photograph will become the representative sample for that plant type (species and size).
12. Submit certificates of inspection, as required by governmental authorities, and manufacturers or vendors certified analysis for soil amendments, herbicides, insecticides and fertilizer materials and any additional data that indicates that the materials comply with specified requirements.
13. The Contractor shall conduct a minimum of three (3) soil tests at locations as shown on the plans or determined by the Owner's Representative. The Contractor shall test each location for soil composition (type, strata, pH, soluble salts, and organic content) and sub-surface drainage conditions (percolation rate), as a minimum. Soil testing shall be conducted by an approved soil-testing laboratory. The Contractor shall provide the Owner's Representative with the results of the soil analyses prior to any installations throughout the project. If soil conditions are insufficient for proper plant growth, the Contractor is required to supply recommendations for improving the condition of the soil of each area, to the Owner's Representative for approval. The Contractor shall, at the discretion of the Owner's Representative, proceed with the recommendations for improving the soil conditions.
14. Trees designated as Ball and Burlap (B&B) shall be properly dug with firm natural balls of soil retaining as many fibrous roots as possible in sizes and shapes as specified in the most recent edition of the American Standard for Nursery Stock. Balls shall be firmly wrapped with nonsynthetic, rottable burlap and secured with heavy nonsynthetic, rottable twine. Root collar shall be apparent at the surface of the rootball. No trees with loose, broken, or manufactured rootballs will be planted, except with written approval of the Owner's Representative, prior to planting.
15. Sabal Palms shall have all frond removed prior to planting, leaving a minimum of twelve (12) inches of new frond growth above the bud. Boots shall be removed from the trunk of sabal palms unless otherwise specified by the Owner's Representative. Remove only a minimum number of fronds on other palm species to facilitate the handling of the palm material. Do not damage the buds of any palms and take necessary care to protect the bud during digging, handling, transportation and installation.
16. During transportation of plant material, the Contractor shall exercise care to prevent injury and drying out of the trees. Should the roots be dried out, large branches broken, rootball damaged, or areas of torn bark, the Owner's Representative may reject the injured plant material and require replacement of the rejected material at no additional cost to the Contractor.
17. Plant material that is stored improperly shall receive a special review of acceptance or rejection, established on a case by case basis.
18. The Contractor shall protect existing pavement, buildings, walks, curbing, walls, hardscape elements, utilities and planting materials (trees, shrubs, ground covers, etc.) which are not designated for removal on the plans from damage.
19. The Contractor shall request the proper utility company to stake the exact location of all underground lines including but not limited to electric, gas, cable and/or telephone service prior to layout and excavation of any planting area. The Contractor shall contact Sunshine State One-Call of Florida, Inc. (SSOCOF) at 1-800-432-4770. Per SSOCOF, the calls shall be made a minimum of two days and a maximum of five days before beginning construction operations.
20. Not all utilities are members of the Sunshine State One-Call system and direct contact shall be taken as necessary.
21. The Contractor shall be responsible for the preservation and protection of all site conditions to remain from damage due to this work. In the event damage does occur, all damage shall be completely repaired to its original condition. All the costs of such work shall be charged to and paid by the Contractor.
22. The Contractor shall thoroughly examine the project site, including sub-surface soil conditions, existing and proposed elevations and general conditions under which the work is to be performed. The Contractor shall notify in writing of any conflicts or unsatisfactory conditions discovered, prior to beginning work. If the Contractor begins work before the unsatisfactory condition have been resolved, this will indicate that the Contractor has accepted the existing conditions and is responsible to complete the work at no additional cost to the Owner.
23. The Contractor shall be responsible for all unauthorized cutting or damage to existing trees not marked for removal on the plans. Such damage may be caused by operation of equipment, stockpiling of materials, careless labor, etc. This shall include compaction by driving or parking inside the drip-line of trees or the spillage of oil, gasoline, or other deleterious materials within the drip-line of trees.
24. The Contractor shall have a clear understanding and identify each existing tree, shrub and / or palm that is designated to remain or to be removed.
25. The Contractor shall maintain tree barricades at all times during the construction activities on the project for all existing trees, palms and other plant material within and adjacent to the limits of construction that are specified to remain. The Contractor shall refer to the tree protection detail and notes provided within the Landscape Plans.
26. The Contractor shall provide an International Society of Arboriculture (I.S.A.) Certified Arborist with a minimum of five (5) years experience with similar projects, to direct appropriate pruning (roots, branches) and/or other treatment necessary to ensure the health, viability and attractiveness of trees and palms to remain. The Contractor shall be responsible for implementation of the Certified Arborist's instructions.
27. Uncover specified work when directed by the Owner's Representative without compensation. Should the material, workmanship, or method of installation not meet the standards specified herein, the Contractor shall replace the work at his own expense.
28. Rejected work shall be removed and corrected within seventy-two (72) hours upon notification of rejection by the Owner's Representative.
29. Plants shall be true to species, variety and size as specified on the plans and nursery grown in accordance with good horticultural practices under climatic conditions similar to those in the locality of the project.
30. All plant material shall comply with all required inspections, grading standards and plant regulations, as set forth by the Florida Department of Agriculture and Consumer Services Division of Plant Industry, Grades and Standards for Nursery Plants, latest edition. All plant material shall also conform to ANSI Standards for Nursery Stock (ANSI Z60.1-1990).
31. Plant materials not specifically covered in "Florida's Grade and Standards for Nursery Plants" shall conform to a minimum grade of Florida No. 1 as to: health and vitality, condition of foliage, root system, freedom from pests or mechanical damage; heavily branched and densely foliated according to the accepted normal shape; freedom from low and/or "V" shaped crotches.
32. The minimum grade for all plant material shall be Florida No. 1 or better.
33. Trees with a damaged or crooked leader, bark abrasions, sunscald, disfiguring knots, insect damage, or cuts of limbs over 3/4 inch in diameter that are not completely closed will be rejected.
34. Palms shall have straight trunks (within 3 degrees of vertical) unless otherwise stated on the plans. Palms shall be free from burn marks and / or other damage to the trunk.
35. Balled and burlapped (B&B) plants (field grown trees and palms) shall be dug with firm, natural balls of soil of sufficient size to encompass the fibrous and feeding roots of the plants. No plants moved with a ball shall be cracked or broken. B&B root balls shall exhibit small white fibrous roots coming through the burlap. Field grown trees and palms shall be nursery grown material. Root pruning and hardening off of plant material shall be done a minimum of six (6) weeks or for a period determined by the Owner's Representative prior to planting at the project. The supplier of the tree material shall supply certification of the date of root pruning and harvest date of the tree material, prior to the installation of the trees at the project site.
36. Protect roots or balls of plants at all times from sun and drying winds, excess water and freezing, as necessary until planting.
37. Prepared planting soil shall be fertile, friable natural topsoil of loamy character, without admixture of subsol material, obtained from a well-drained arable site, reasonably free from clay, lumps, coarse sands, stones, plants, roots, sticks and other foreign materials. The acidity range shall be between pH 5.5 and 6.5. Prepared planting soil mixture shall consist of three (3) parts native topsoil meeting the above requirements and one (1) part peat. The peat shall be brown to black in color, sterile, weed and seed free, granulated row peat, containing not more than 9% mineral content on a dry basis.
38. Planting shall be coordinated with the underground automatic irrigation system(s) installation. The irrigation system is to supply 100 percent coverage of water to all required landscape plant material and turf at time of landscape installation.
39. The Contractor shall supply supplemental water; over the amount of water supplied by the irrigation system, for establishment to all newly installed trees and palms for ninety (90) days, commencing immediately after installation. Supplemental water can be supplied by water truck or direct water source on site (hose bib, reclaimed water, pump/well source), and shall be applied in such a manner to avoid disturbance to mulch and soil, and to avoid damage to plant materials.
40. It is the Contractor's responsibility to adjust watering amounts and frequency to ensure proper establishment of all plant material.
41. Fertilizer shall be complete, uniform in composition, dry and free flowing. Fertilizer shall be delivered to the site in the original unopened containers, each bearing the manufacturer's statement of analysis. Store in a manner to prevent wetting and deterioration.
42. Mulch is to be 100% organic shredded Melaleuca, Pine Bark Nuggets (2" max.) or Eucalyptus mulch, type as approved by the Owner, shall be utilized and installed to a wetted depth of three (3) inches. Mulch shall be free of extraneous sticks and other tree residue.
43. A pre-emergent herbicide (DOW Snapshot or approved equal) shall be applied to all planting areas as specified by manufacturer's recommendations.

44. Sod shall be as specified on the plans, in areas designated on the plans, and for disturbed areas within the construction limits, grass sod type shall be well matted with grass roots. The sod shall be taken up in rectangles, preferably 12" x 24", shall be a minimum of 2" in thickness, and shall be live, fresh, and uninjured at the time of planting. Sod shall be a minimum of 95% free from all noxious weeds, other grasses, and extraneous materials. The sod shall have a soil mat of sufficient thickness adhering to the roots to withstand all necessary handling.

45. The sod shall be planted as soon as possible after being dug, and kept moist and shaded until it is planted. Dumping from vehicles will not be permitted and damaged sod will be rejected. Replanting shall be performed within 24 hours after time of harvesting or sod shall be stacked in an approved manner and properly moistened until planted. Sod which has been cut for more than 72 hours shall not be used unless specifically authorized by the Owner's Representative, after inspection of the sod.

The sod shall be kept in a moist condition to the full depth of the rooting zone for at least two (2) weeks after placement. It is the responsibility of the Contractor to apply water as necessary until the sod roots begin to grow. This period shall be extended for a period of 30 days during low rainfall periods, for any non-irrigated Bahia sod and/or seeded areas. St. Augustine species sod shall have a permanent underground irrigation system providing 100% head to head coverage at time of installation.

46. The work area may have existing utilities, such as, but not limited to, irrigation, phone, cable, electrical, water, sanitary sewer, and storm sewer. The locations of some of these existing utilities may have been indicated on the Plans. However, no guarantee is implied that the Plans are accurate or complete in reference to existing utility information. It shall be the responsibility of the Contractor to verify the location of all such utilities, structures, etc., by hand excavation or other appropriate measures before performing any work that could result in damage or injury to persons, utilities, structures or property. The Contractor shall make a thorough search of the site for utilities, structures, etc., before work is commenced in any particular location.

47. The Contractor shall take immediate steps to repair, replace, or restore all services to any utilities or other facilities which are disrupted due to the Contractor's operations. The Contractor shall also engage any additional outside repairs on a continuous basis until services are restored. Contractor shall provide and operate any supplemental temporary services to maintain uninterrupted use of the facilities. All responsibility for damage due to negligence on the part of the Contractor shall be borne by the Contractor and the Contractor shall also be fully responsible for any and all claims resulting from the damage.

48. The Contractor shall notify the Owner's Representative, in writing, of soil conditions that the Contractor considers detrimental to the growth of plant material. These conditions are to be described, as well as suggestions for correcting them. Proper soil percolation must be assured at a minimum rate of 1/2" percolation per hour to a depth of a typical tree planting pit.

49. Planting areas are to be finished graded to conform to grades on engineering drawings or as noted on the landscape drawings, after full settlement and installation has occurred. The Contractor shall correct or repair the grades as necessary to conform to the finished grades specified. All planting areas shall be free from concrete debris, lumps, depressions, rocks, sticks or other debris and shall be raked and graded smooth to conform to the finish grades after the installation of landscape materials. The planting areas shall provide positive surface drainage without puddling of water. This requirement is applicable to sodded areas also. Sodded areas shall present a smooth and finished appearance, meeting finished grades as specified after installation.

50. All materials and equipment shall be installed in a neat and workmanlike manner. The Owner's Representative reserves the right to direct the removal and replacement of any items, which, in his opinion, do not present an orderly and workmanlike appearance. Plant locations may also be adjusted by the Owner's Representative due to unforeseen on-site conditions.

51. Clean-up work and planting areas of rubbish or objectionable matter. Mortar, concrete and toxic material shall be removed from the surface of all plant beds. These materials shall not be mixed with the soil. Should the Contractor find conditions beneath the soil, which will in any way adversely affect the plant growth, he shall immediately call it to the attention of the Owner's Representative. Failure to do so before planting shall make the corrective measures the responsibility of the Contractor.

52. If underground construction, utilities or obstructions are encountered during the excavation of planting areas or pits, alternative locations for the plant material shall be selected by the Owner's Representative. Such changes in location shall be made by the Contractor without additional compensation.

53. All required trees and palms shall be placed a minimum of four (4) feet from impervious surfaces; shrubs shall be placed a minimum of 18 inches as measured from the edge of the plant.

54. All shrub beds shall be considered as a single mulched area. There shall be no sod incorporated within such planted areas. All shrub and groundcovers shall be mulched curb-to-curb or edge of planting bed, unless otherwise indicated. Top of mulch shall be level with the top of curb or surrounding grade.

55. Sides of pits and trenches shall be vertical. When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, and/or obstructions, the Owner's Representative shall be notified before planting. Sites with poor drainage may require the use of sloped sides, for pits or trenches.

56. In planting areas where soils have been compacted to a density, which is detrimental to plant growth, loosen soils to allow root penetration beyond the planting pit.

57. Width of planting pit shall be 3 times the diameter of the rootball in highly compacted or poorly draining soils, with the sides of the pit sloped.

58. Shrubs fertilizer shall be Osmocote Time Released Fertilizer and composed of a fertilizer ratio of 3:1:1 or 3:1:2, (nitrogen: phosphorus: potassium) and contain all primary and secondary trace elements for sodded areas, or approved equal.

59. Sod fertilizer shall be composed of sixteen percent (16%) nitrate nitrogen, four percent (4%) phosphorus, eight percent (8%) potassium and contain all primary and secondary trace elements for sodded areas, or approved equal.

60. Palms: Fertilizer shall be composed of twelve percent (12%) nitrogen, four percent (4%) phosphorus, twelve percent (12%) potassium and contain all primary and secondary trace elements for Florida palm trees.

61. Fertilizer shall be applied at the rates recommended by the manufacturer and soil testing laboratory. Fertilizer shall be applied as a top dressing only and shall not be mixed in with the backfill material at time of installation. The Contractor shall apply fertilizers at the time of installation. Fertilizer shall be applied per ANSI 300, Part 2 - 1998 and Best Management Practices, Tree and Shrub Fertilization, ISA.

62. Trees, shrubs and ground cover shall be set straight and at such a level, that after settlement, the plant ball will stand flush, to 1" - 1/2" above grade. Each plant shall be set in the center of the planting pit (see planting details). Planting goal shall be thoroughly "watered-in" to remove all air pockets around the root ball. Do not rely on the irrigation system to achieve this task. All burlap, rope wires, etc. shall be loosened from the top and sides of the ball, but no burlap shall be pulled from underneath. No more than two (2) inches of soil shall remain over the first major root closest to the soil surface. Remove non-biodegradable nursery wrappings and unwrap burlap from the top 1/3 of the rootball.

63. Plant materials such as trees, shrubs and groundcovers shall be planted prior to the planting of the grassed / sodded areas. The grassed / sodded areas shall be protected during and repaired if damaged during the planting installation activities.

64. All new furnished trees and palms shall be set plumb at the time they are installed to within a tolerance of three (3) degrees from vertical. Trees and palms found not to be vertically aligned will not be accepted.

65. A basin shall be built around all plants or trees that stand-alone and are not located in larger mulched beds. A water-holding soil-dam shall be built on the outside edge of the planting pit to form a basin of sufficient volume to hold water, as per the Planting Details.

66. Each tree shall be pruned to preserve the natural character of the plant as shown on the Plans. All softwood (sucker growth) and all broken or badly damaged branches shall be removed with a clean cut. Pruning procedures shall conform to ANSI A300 Part 1 - 2001 and Pruning and Best Management Practices, Tree Pruning, by the International Society of Arboriculture. All pruning shall be previously approved by the Owner's Representative.

67. Within one week after the planting, mulch material, as specified, shall be uniformly applied to a minimum wetted thickness of three (3) inches or as indicated on the Plans, over the entire area of the backfilled hole or bed. The mulch shall be maintained continuously in place until the time of final inspection.

68. All trees not within planting beds shall be mulched within a three (3) foot diameter of the tree.

69. Do not place mulch immediately against trunks of trees and palms.

70. Soft spots and inequalities in grade shall be corrected before starting sod work. Soil shall be watered before sod planting. Tamp or roll all newly installed sod. Sod shall be thoroughly watered in.

71. The setting of the sod pieces shall be staggered so as to avoid a continuous seam. The offsets of individual strips shall not exceed 6". In order to prevent erosion caused by vertical edges at the outer limits, the outer pieces of sod shall be tamped so as to produce a feathered edge effect. On steep slopes, the Contractor shall, if so directed, prevent the sod from sliding by means of wooden pegs driven through the sod blocks into firm earth, at directed intervals. Sod shall be placed in rows perpendicular to the slope.

72. The project site shall be kept in a relative neat and clean appearance throughout the course of the landscape installation. Perform cleaning during installation of the work and upon completion of the work. Remove from the site all excess materials, soil, debris, and equipment. Repair damage resulting from planting and other landscape installation operations. Landscape beds and sodded areas shall be kept weed free until acceptance by Owner and maintenance period commences.

73. Provide one (1) year warranty covering the life and satisfactory condition of all planted materials. All sod shall be warranted for 90 days after Final Acceptance. The one (1) year warranty does not begin until the entire landscape installation has been accepted by the Owner's Representative at the time of Final Acceptance for Landscape work. After the one (1) year warranty period, the Owner's Representative shall conduct the Project's Final Inspection.

74. All plant material and turf not found in a healthy growing condition, questionable survivability or dead at the end or at any time during the warranty period shall be removed from the site and replaced within ten (10) calendar days after written notice.

75. All plant material replacements shall be of the same kind and size as specified in the Plant List. They shall be furnished, planted, mulched and watered-in as specified at no additional cost to the Owner. These replacement materials shall be bound to the same warranty conditions as the original materials.

76. Damage to plant material from obvious vandalism, theft, Owner's neglect, or acts of providence (i.e., prolonged flooding, gale force winds, etc.), or incidents beyond the Contractor's control will not be covered under this warranty.

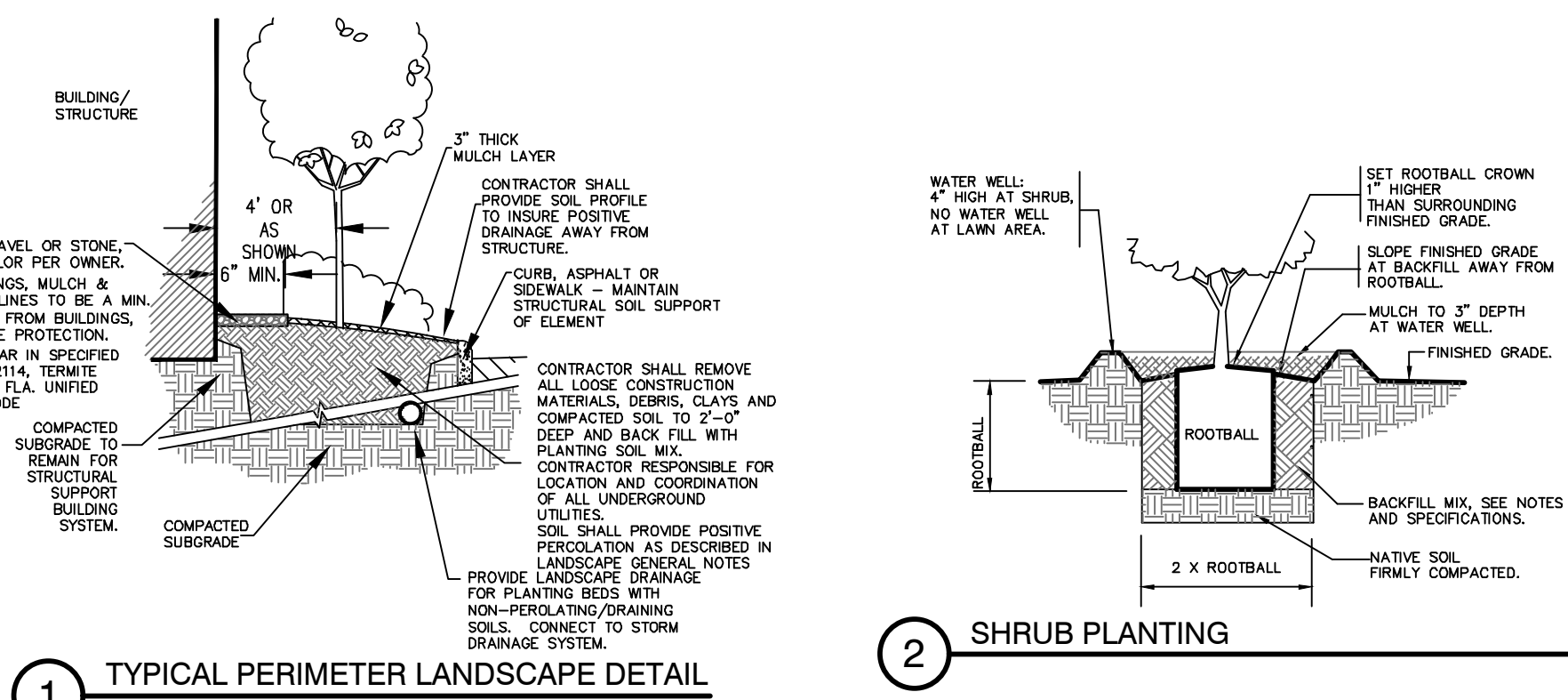
77. The Contractor shall notify the Owner's Representative in writing, a minimum of ten (10) days in advance, when all work is substantially complete to schedule a substantial completion. Based on this inspection, the Owner's Representative will develop a punch list of items to be addressed by the Contractor. Upon completion of Punch List items, the Contractor shall coordinate with the Owner's Representative to schedule a Final Acceptance inspection. At the time of Final Acceptance, the warranty period shall begin.

78. Upon Final Acceptance of the plant material, the Contractor shall submit two (2) written maintenance instructions recommending procedures for the maintenance of plant materials and sod, for a one year period.

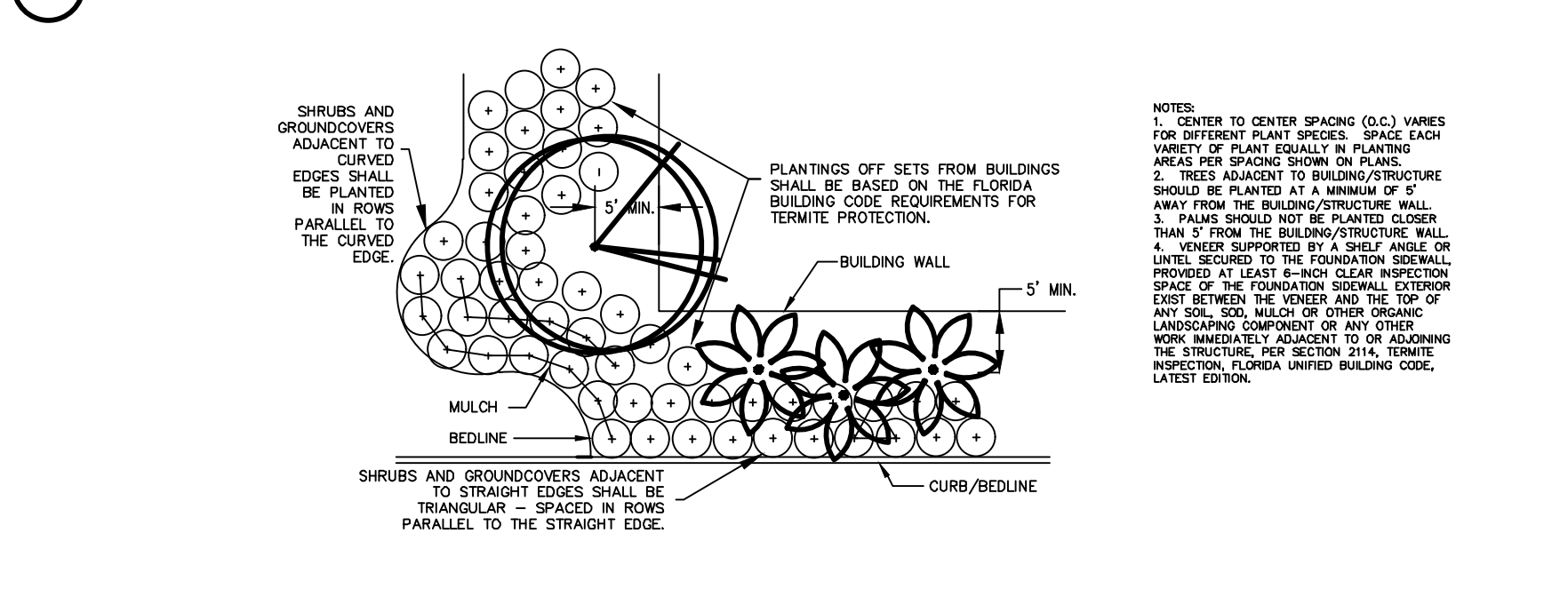
EXISTING TREES AND PALMS WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION AND SPECIFIED TO REMAIN ARE TO BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS WITH TREE BARRICADES PER THE JURISDICTIONAL CITY/COUNTY REQUIREMENTS.

THE CONTRACTOR SHALL PROVIDE AN INTERNATIONAL SOCIETY OF ARBORIST (ISA) CERTIFIED ARBORIST WITH A MINIMUM OF 5 YEARS EXPERIENCE WITH SIMILAR PROJECTS, TO DIRECT APPROPRIATE PRUNING (ROOTS, BRANCHES) AND/OR OTHER TREATMENT NECESSARY TO ENSURE THE HEALTH, VIABILITY AND ATTRACTIVENESS OF TREES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE CERTIFIED ARBORIST'S INSTRUCTIONS. PRUNING SHALL CONFORM TO ANSI A-300 PRUNING STANDARDS.

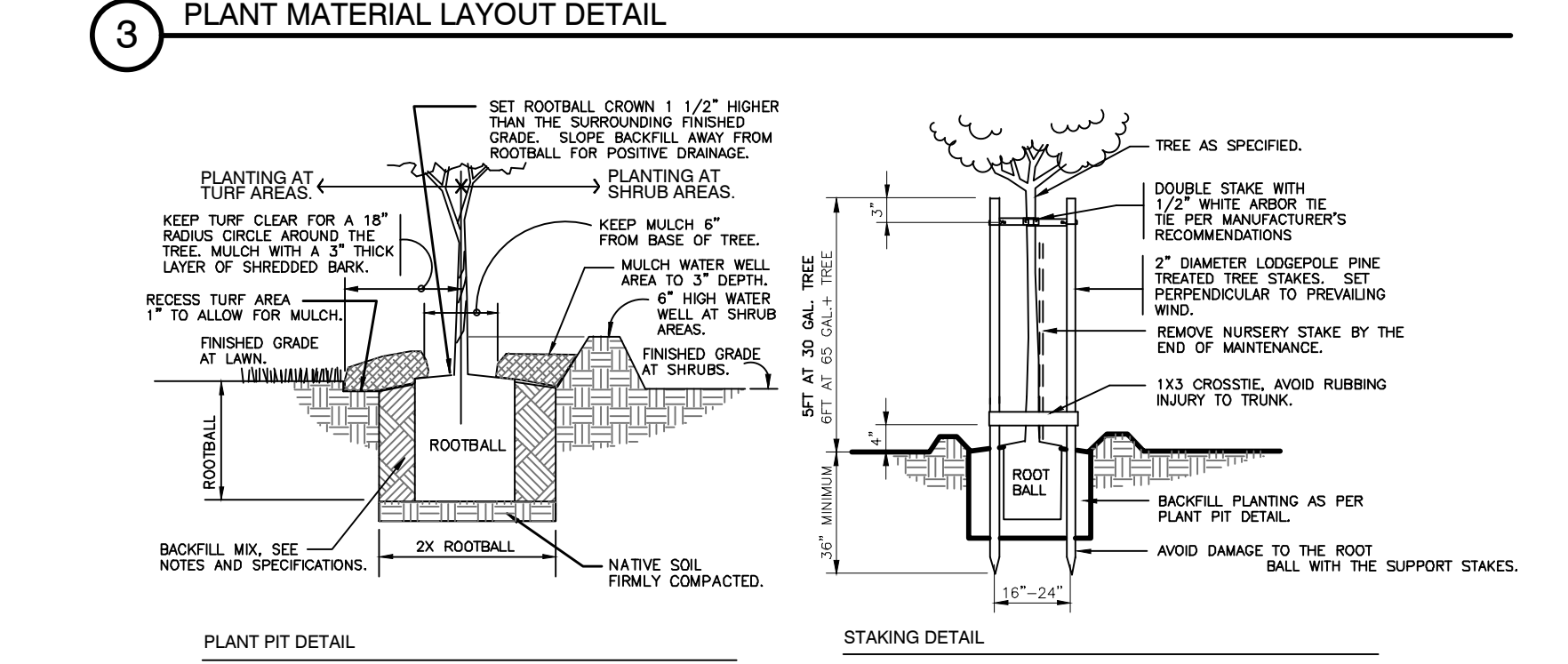
ALL TREE ROOTS EXISTING WITHIN IMPROVEMENT AREAS AND ORIGINATING FROM A PROTECTED TREE, SHALL BE SEVERED CLEAN AT THE LIMITS OF THE PROTECTED AREA WHERE INDICATED ON THE PLANS. ROOT PRUNING SHALL BE ACCOMPLISHED BY MECHANICAL TRENCHER WITH SHARP BLADES AND UNDER THE DIRECT SUPERVISION OF THE CERTIFIED ARBORIST. ROOT PRUNING SHALL MEET THE STANDARDS AND REQUIREMENTS OF THE JURISDICTIONAL CITY/COUNTY AND ISA.



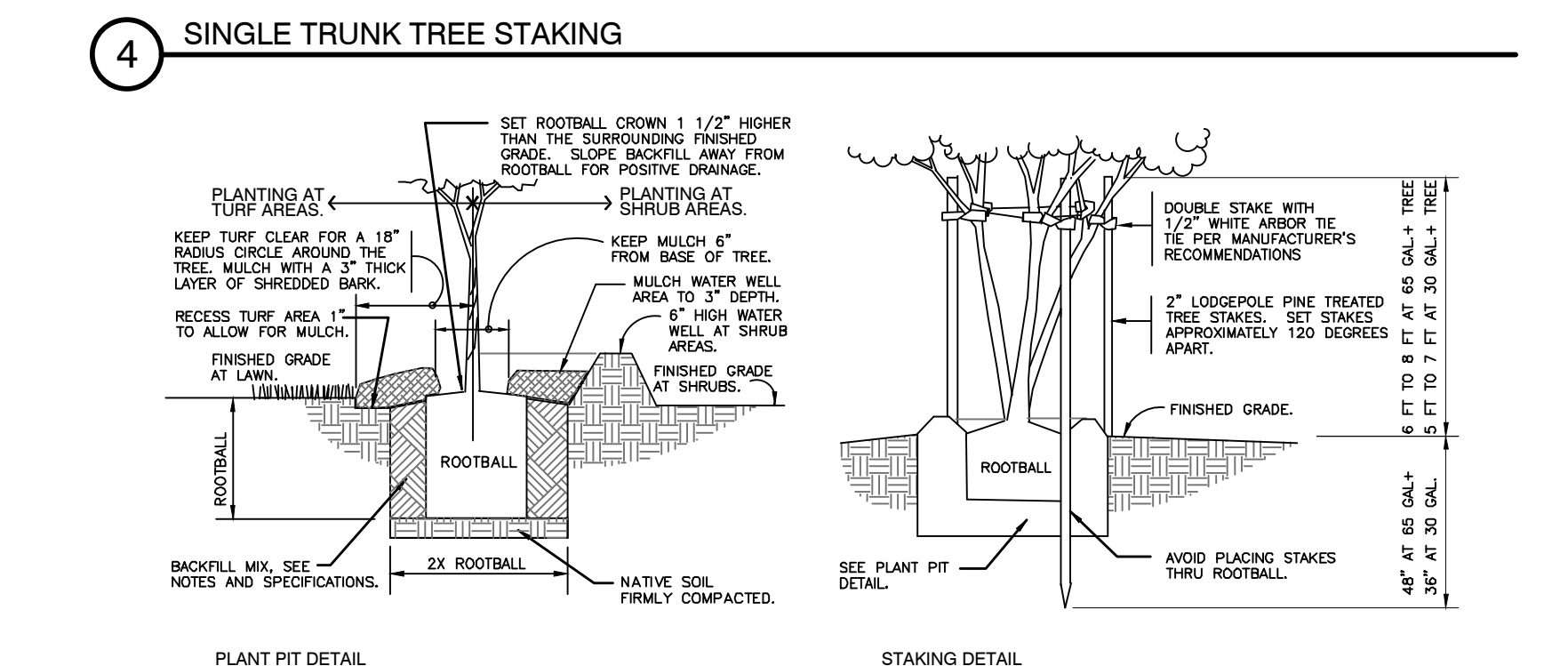
1 TYPICAL PERIMETER LANDSCAPE DETAIL



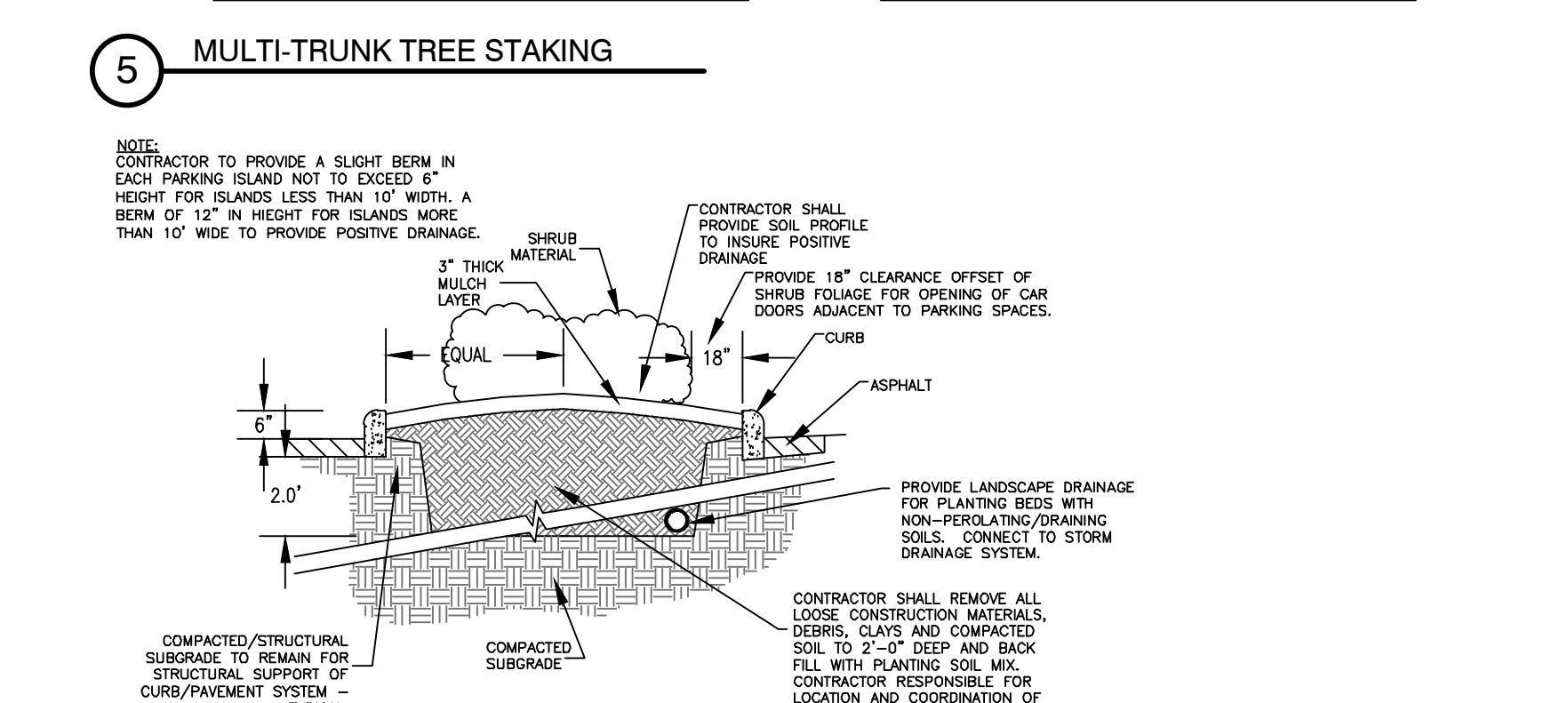
2 SHRUB PLANTING



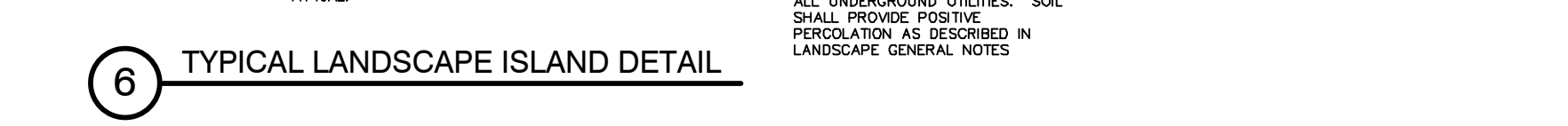
3 PLANT MATERIAL LAYOUT DETAIL



4 SINGLE TRUNK TREE STAKING

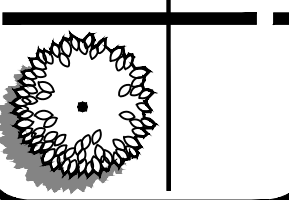


5 MULTI-TRUNK TREE STAKING

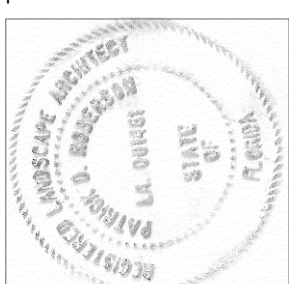


6 TYPICAL LANDSCAPE ISLAND DETAIL

ROBERSON RESOURCE GROUP Landscape Architecture & Consulting PO Box 5585, Marietta, TN 37602 Phone: 727-255-4258 Web: RRGGA.com Florida License # LA0001461



This item has been digitally signed and sealed by Patrick Roberson, License # LA0001461 on the date of the Digital Signature. The signature must be verified on any electronic copies.



Patrick Roberson

Digitally signed by Patrick Roberson DN: cn=US, serialNumber=PASUS-330029844, ou=Roberson, givenName=Patrick, cn=Patrick Roberson Date: 2016.03.12 11:55:07 -0400

Table with 3 columns: Rev. per City of Clearwater, Rev. per City of Clearwater, Rev. Name of Project. Includes dates and revision numbers.

310 TURNER STREET Clearwater, Florida

LANDSCAPE NOTES & DETAILS

Project No. 24-01 Date 01/30/24 Sheet

LA2



26'

EAST SIDE



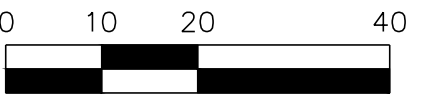
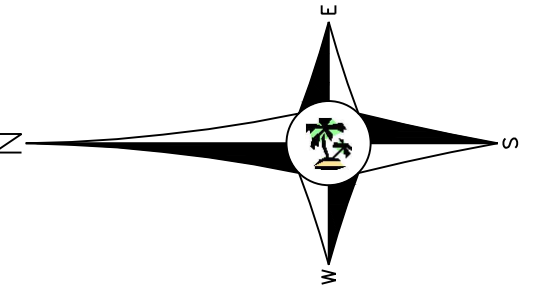
26'

SOUTH SIDE



26'

WEST SIDE

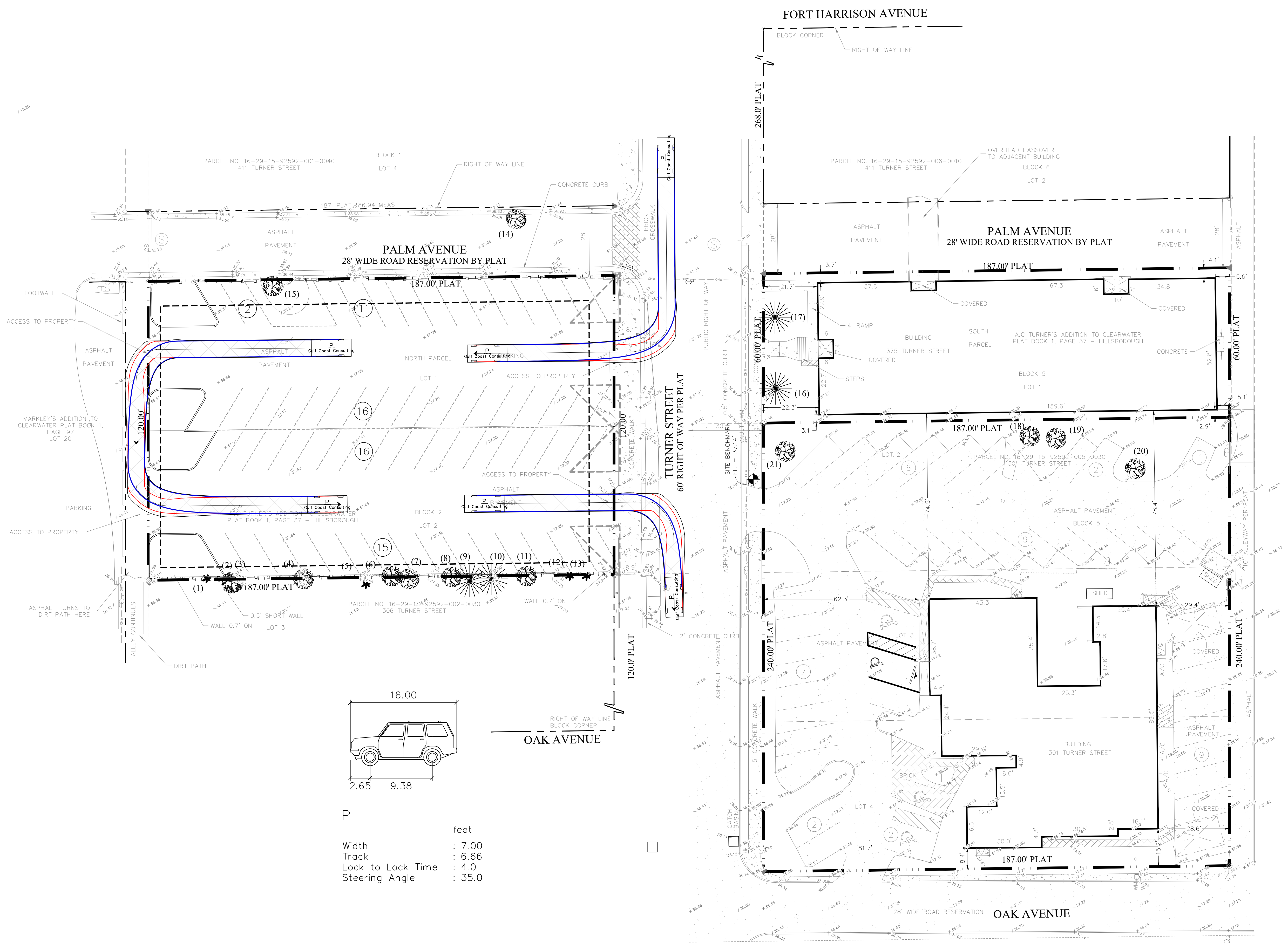


NOTE TO CONTRACTORS:
 THE LOCATIONS OF ALL UTILITIES ARE APPROXIMATE AND HAVE NOT BEEN VERIFIED. BEFORE BEGINNING SITE WORK, THE CONTRACTOR IS REQUIRED TO FIELD VERIFY THE EXISTENCE, LOCATION & ELEVATION OF UNDERGROUND UTILITIES AND OTHER FEATURES, & CONTACT THE ENGINEER TO CONVEY ANY INFORMATION AND/OR DISCREPANCIES.

FLOOD ZONE NOTE:
 SUBJECT PROPERTY APPEARS TO LIE IN FLOOD ZONE "X", ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 12103C0108J, DATED AUGUST 24, 2021.

DATUM NOTE:
 ALL ELEVATIONS BASED ON NATIONAL GEODETIC SURVEY BENCHMARK: "HARRIS-L", ELEVATION = 27.14'. DATUM BASED ON NORTH AMERICAN VERTICAL DATUM 1988.

NOTE:
 NO PONDING IN THE R-O-W. IF THE OBJECTIVE IS NOT ACHIEVABLE IN THE FIELD, CONTRACTOR SHALL CONSULT WITH THE EOR TO RESOLVE THE ISSUE TO AVOID DOING TWICE FOR THE SAME WORK. ENGINEERING INSPECTOR WILL REQUIRE RUNNING WATER TO THE AREA OF CONCERN FOR FINAL INSPECTION.



DESIGNED: KGK
 DRAWN: MKC
 CHECKED: KGK
 QC:



Gulf Coast Consulting, Inc.
 Land Development Consulting
 ENGINEERING TRANSPORTATION PLANNING PERMITTING
 13825 ICOT BLVD., SUITE 605
 Clearwater, Florida 33760
 Phone: (727) 524-1818 Fax: (727) 524-6090
 WWW.GULFCOASTCONSULTINGINC.COM

PREPARED FOR:
LIFEWORKS WELLNESS CENTER, LLC
 301 TURNER STREET
 CLEARWATER, FL 33756

SHEET DESCRIPTION:
375 TURNER STREET LIFEWORKS EXPANSION
 VEHICLE TURNING TEMPLATE

NO.	DATE	REVISIONS

SEAN P. CASHEN
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 LICENSE NO. 42505

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY SEAN P. CASHEN, ON THE DATE INDICATED HERE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

SEAN P. CASHEN, P.E. #42505
 NOT VALID UNLESS SIGNED & EMBOSSED BY A REGISTERED ENGINEER
 GULF COAST CONSULTING, INC.
 CERTIFICATE OF AUTHORIZATION No. 9774

APP'D BY: [Signature]

DATE: 01/31/24

SHEET: 24-002
VTT