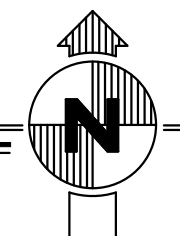


FLOOR PLAN

SCALE: 1/8" = 1'-0"



1446 S Missouri Ave
Private Warehouse
Renovation
Clearwater, Florida

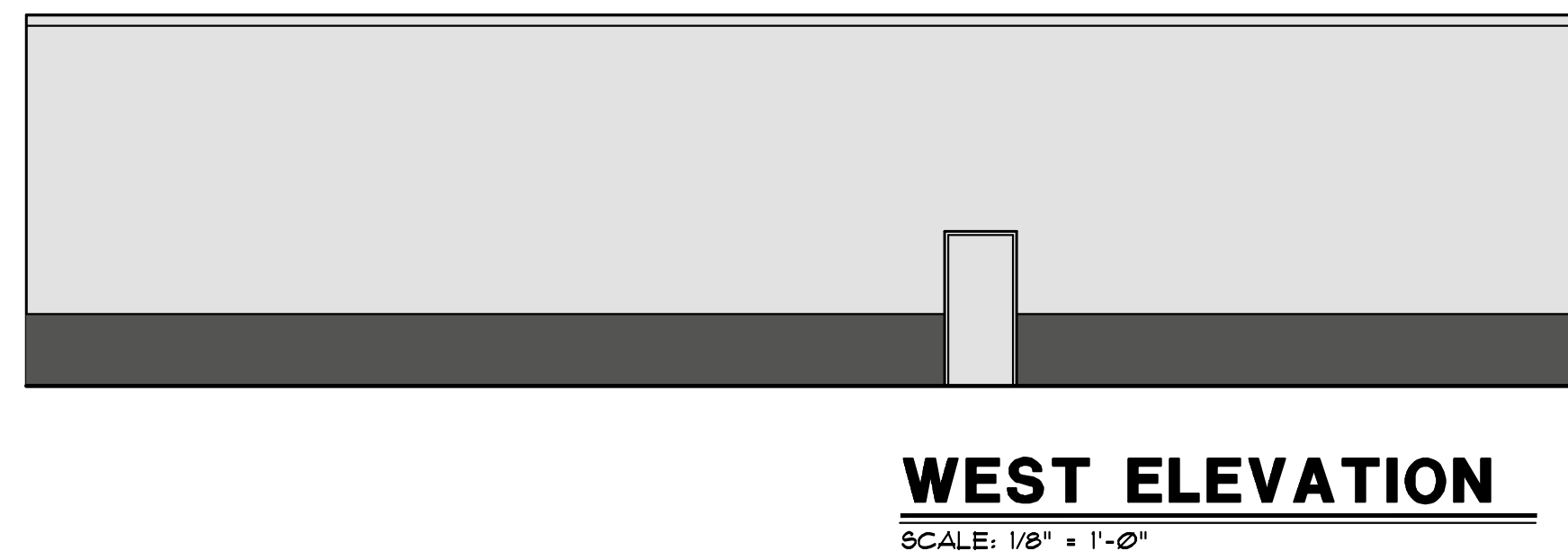
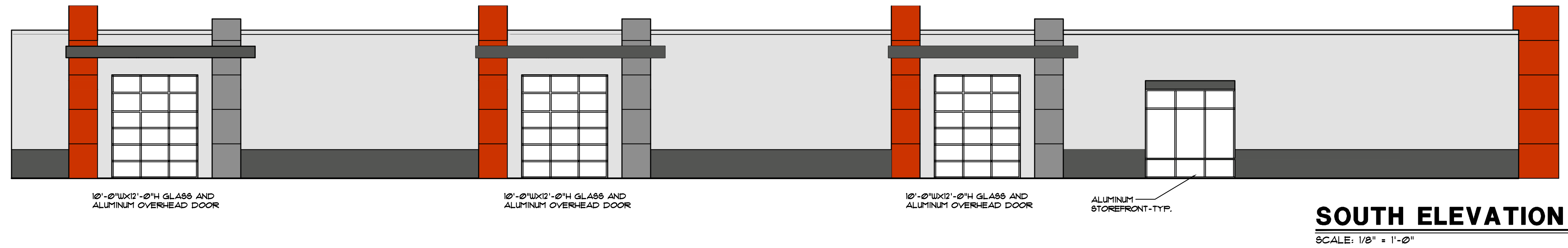
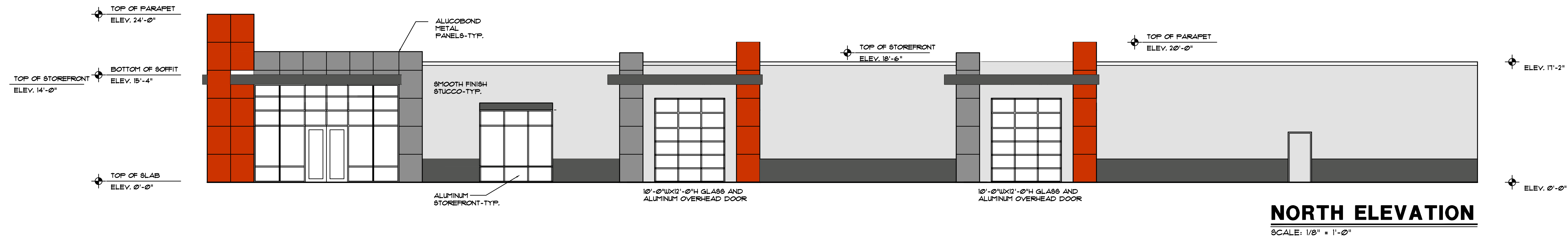
Floor Plan

Project No:	2024-076C
Date:	8-11-25
Revisions:	



MICHAEL ARRIGO
LIC. NO. AR0017335

a1.1

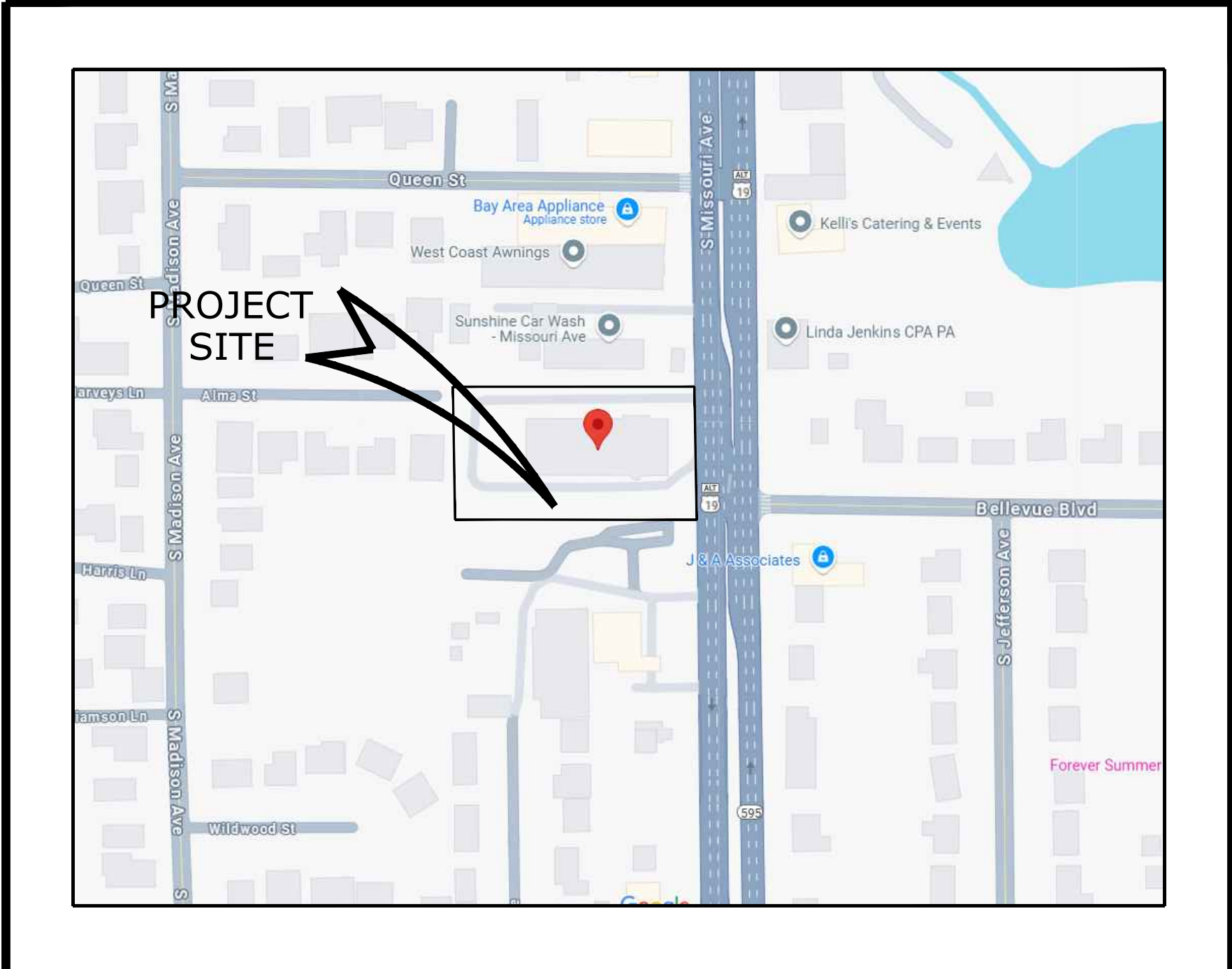


1446 S MISSOURI AVE

SECTION 22 - TOWNSHIP 29 S - RANGE 15 E
PARCEL NO. 22-29-15-22968-00-0090
CLEARWATER, FLORIDA

<i>LEGAL DESCRIPTION</i>
<p>THE SOUTH 32 FEET OF LOT 8 TOGETHER WITH ALL OF LOT 9 LESS THE EAST 20 FEET OF THE SOUTH 32 FEET OF LOT 8 AND LESS THE EAST 20 FEET OF LOT 9 FOR ROAD RIGHT OF WAY</p>

THE SOUTH 32 FEET OF LOT 8 TOGETHER WITH ALL OF LOT 9
LESS THE EAST 20 FEET OF THE SOUTH 32 FEET OF LOT 8
AND LESS THE EAST 20 FEET OF LOT 9 FOR ROAD RIGHT OF WAY



STREET MAP

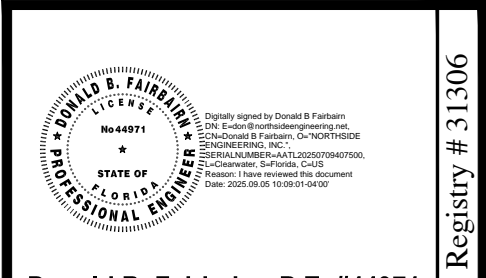




AERIAL MAP

<i>INDEX OF SHEETS</i>	
C1.1	CIVIL SITE DATA
C2.1	SITE PREPARATION PLAN
C3.1	PROPOSED SITE PLAN
C5.1	UTILITY PLAN
C6.1	CIVIL DETAILS
L1.1	LANDSCAPING PLAN
L1.2	LANDSCAPING DETAILS
L1.3	TREE PRESERVATION PLAN

C1.1	CIVIL SITE DATA
C2.1	SITE PREPARATION PLAN
C3.1	PROPOSED SITE PLAN
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C6.1	CIVIL DETAILS
L1.1	LANDSCAPING PLAN
L1.2	LANDSCAPING DETAILS
L1.3	TREE PRESERVATION PLAN



Donald B. Fairbairn, P.E. #44971

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PROJECT #	2528
ISSUE DATE:	06/26/25

REVISIONS:		
No.	Date	Description
△	08/15/25	CITY COMMENTS
△	08/27/25	DRC COMMENTS
△	/ /	
△	/ /	
△	/ /	
△	/ /	
DRAWN BY : SR		

<i>OWNER CONTACT</i>
1446 S MISSOURI LLC 201 PALM IS SW CLEARWATER, FL 33767-1941

1446 S MISSOURI LLC
201 PALM IS SW
CLEARWATER, FL 33767-1941

<i>DESIGN PROFESSIONALS</i>	
<p>CIVIL ENGINEER/PLANNER:</p> <hr/> <p>NORTHSIDE ENGINEERING, INC. 300 SOUTH BELCHER ROAD CLEARWATER, FLORIDA 33765 727-443-2869</p>	<p>ARCHITECT</p> <hr/> <p>ARCHITECTONICS 2600 DR.MLK JR. STREET N.SUIT 600, ST. PETERSBURG, FL 33704 727-323-5676 INFO@ARCHITECTONICSSTUDIO.COM</p>
<p>SURVEY</p> <hr/> <p>CHRISTOPHER J. NOYES PSM, LLC IS 6381 7168 65TH STREET NORTH PINELLAS PARK, FLORIDA 33781 PHONE: (727) 545-9777 CHRISPSM6381@GMAIL.COM</p>	<p>ATTORNEY</p> <hr/> <p>MC FARLANE, FERGUSON & McMULLEN BRIAN J. AUNGST JR. 625 COURT ST. STE. 200 CLEARWATER, FL. 33756</p>

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---	---

SURVEY	ATTORNEY
CHRISTOPHER J. NOYES PSM, LLC IS 6381 7168 65TH STREET NORTH PINELAS PARK, FLORIDA 33781 PHONE (727) 545-9777 CHRISPSM6381@GMAIL.COM	MCFARLANE, FERGUSON & McMULLEN BRIAN J. AUNGST JR. 625 COURT ST. STE. 200 CLEARWATER, FL. 33756

FLOOD ZONE INFORMATION

PER THE FEDERAL INSURANCE ADMINISTRATION FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 125096, SUBJECT PROPERTY APPEARS LOCATED IN ZONE "X", AS REFERENCED TO THE FIRM (FLOOD INSURANCE RATE MAP) 12103C0108J, EFFECTIVE DATE 08/24/2021

PER THE FEDERAL INSURANCE ADMINISTRATION FLOOD INSURANCE
RATE MAP, COMMUNITY NUMBER 125096, SUBJECT PROPERTY
APPEARS LOCATED IN ZONE "X", AS REFERENCED TO THE FIRM
(FLOOD INSURANCE RATE MAP) 12103C0108J, EFFECTIVE DATE
08/24/2021

SITE DATA							
MATRIX		EXISTING		PROPOSED		ALLOWED / CODE	
ZONING:		C		C		C	✓
USAGE:		RETAIL SALES & SERVICES (GOODWILL)		PERSONAL STORAGE / ANCILLARY OFFICE		OK.	✓
FUTURE LAND USE:		CG		CG		CG	✓
LOT AREA (GROSS):		48,864 S.F. 1.12 ACRES		48,864 S.F. 1.12 ACRES		20,000 - 40,000 S.F.	✓
LOT WIDTH:		163.82'		163.82'		150' - 200'	✓
BUILDING COVERAGE:		12,306.1 S.F.		12,306.1 S.F.		-	✓
FLOOR AREA RATIO: (FAR)		0.25		0.25		0.55	✓
BLDG. SETBACKS:	FRONT (EAST)	BUILDING	PAVEMENT	BUILDING	PAVEMENT	25'	✓
		25.1'	25'	25.1'	25'		
	SIDE (NORTH)	56.5'	5'	56.5'	10'	10'	✓
	SIDE (SOUTH)	37.1'	20.5'	37.1'	10'	10'	✓
	REAR (WEST)	96.2'	8'	96.2'	20'	20'	✓
BLDG. HEIGHT:		17.2'		17.2'		25'	✓
VEHICULAR USE AREA (VUA):		25,935 S.F.		18,452 S.F.		-	✓
INTERIOR LANDSCAPING:		722 S.F. 2.8%		2,597 S.F. 14.1 %		10%	✓
IMPERVIOUS SURFACE RATIO: (I.S.R.)		40,640 S.F. 0.93%		33,270 S.F. 0.68%		0.90	✓
OPEN SPACE: (S.F. & % OF GROSS SITE)		8,224 S.F. 16.8%		15,594 S.F. 31.91%		10%	✓
PARKING:		51 SPACES		31 SPACES		31 SPACES	✓
PARKING CALCULATIONS: 12,306.1 @ 2.5 / 1,000 = 31 SPACES							

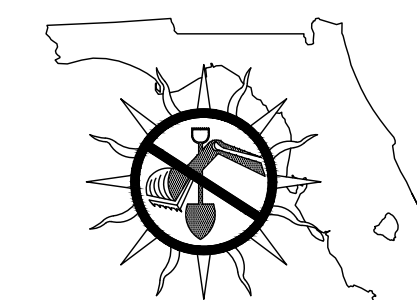
MATRIX		EXISTING		PROPOSED		ALLOWED / CODE	
ZONING:		C		C		C	✓
USAGE:		RETAIL SALES & SERVICES (GOODWILL)		PERSONAL STORAGE / ANCILLARY OFFICE		OK.	
FUTURE LAND USE:		CG		CG		CG	✓
LOT AREA (GROSS):		48,864 S.F. 1.12 ACRES		48,864 S.F. 1.12 ACRES		20,000 - 40,000 S.F.	✓
LOT WIDTH:		163.82'		163.82'		150' - 200'	
BUILDING COVERAGE:		12,306.1 S.F.		12,306.1 S.F.		-	✓
FLOOR AREA RATIO: (FAR)		0.25		0.25		0.55	✓
BLDG. SETBACKS:		BUILDING	PAVEMENT	BUILDING	PAVEMENT		✓
	FRONT (EAST)	25.1'	25'	25.1'	25'	25'	✓
	SIDE (NORTH)	56.5'	5'	56.5'	10'	10'	✓
	SIDE (SOUTH)	37.1'	20.5'	37.1'	10'	10'	✓
	REAR (WEST)	96.2'	8'	96.2'	20'	20'	✓
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PARKING CALCULATIONS: 12,306.1 @ 2.5 / 1,000 = 31 SPACES

"INVESTIGATE BEFORE YOU EXCAVATE"



CALL SUNSHINE @ 1-800-432-4770
FL. STATUTE 553.851 (1979) REQUIRES A
MIN. OF 2 DAYS AND MAX. OF 5
DAYS NOTICE BEFORE YOU EXCAVATE.



CALL SUNSHINE @ 1-800-432-4770
FL. STATUTE 553.851 (1979) REQUIRES A
MIN. OF 2 DAYS AND MAX. OF 5
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<i>AGENCY RESPONSE STAMPS</i>	

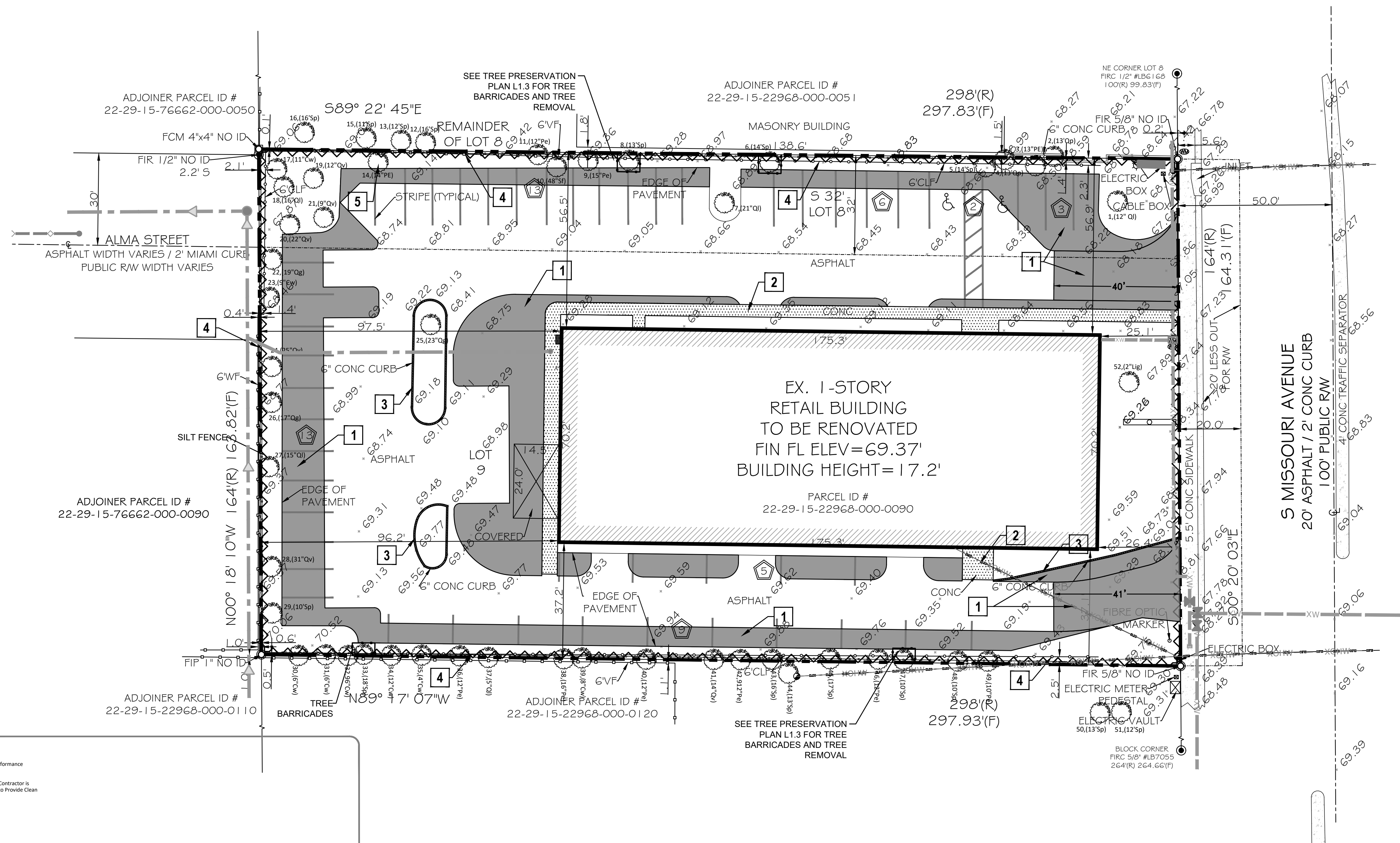
CIVIL SITE DATA

1446 S MISSOURI AVE,
CLEARWATER, FL 33756

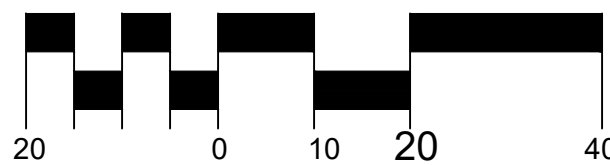
Northside
Engineering, Inc.

Northside
Engineering, Inc.

C1.1



SCALE: 1"=20'

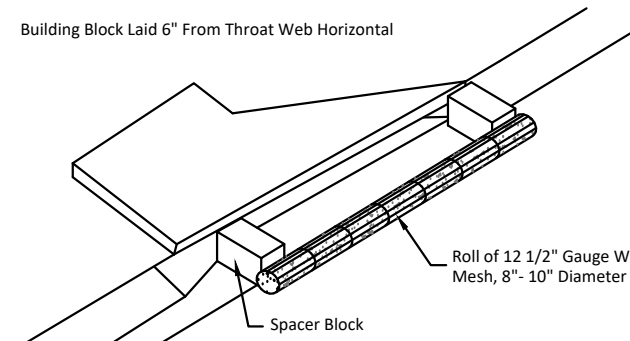


SITE PREPARATION NOTES

- 1 REMOVE EX. ASPHALT AND BASE
 - 2 REMOVE EX. CONCRETE (REMOVE SIDEWALKS TO NEAREST EXPANSION JOINT)
 - 3 REMOVE EX. CONC. CURB
 - 4 REMOVE EXISTING FENCE
- PREPARATION OF THE SITE INCLUDES THE REMOVAL/RELOCATION OF ALL EXISTING STRUCTURES WITHIN PROJECT AREA, PAVING AND BASE, UTILITY LINES (SANITARY SEWER, STORM PIPES, WATER LINES, POWER POLES, OVERHEAD AND UNDERGROUND POWER AND TELEPHONE CABLES, GAS LINES, TREES, SHRUBS, AC UNITS, ETC.) AND IS NOT LIMITED TO WHAT'S SHOWN.
- a. ALL CAVITY & EXCAVATION RESULTING FROM REMOVAL OF TREES, SHRUBS, PIPES, INLETS, GREASE TRAPS, SIGN, AND POLE BASE AND BLDG FOUNDATION SHALL BE FILLED WITH APPROVED SUITABLE MATERIAL AND COMPACTED IN 12" LIFTS TO 95% OF MAX DENSITY.
- b. OFF-SITE DISPOSAL OF STRUCTURES, UTILITIES AND CONSTRUCTION DEBRIS SHALL OCCUR IN SOLID WASTE DISPOSAL FACILITIES APPROVED BY F.D.E.P., AND PINELLAS COUNTY.

NOTE:
ALL SILT FENCING AND OTHER EROSION CONTROL MEASURES WILL BE INSTALLED PRIOR TO THE COMMENCEMENT OF SITE WORK AND MAINTAINED THROUGHOUT THE PROJECT.

- CONTRACTOR'S RESPONSIBILITY**
- Erosion and Sedimentation Controls are Performance Based Criteria
 - If the BMPs Provided do not Prevent Soils From Leaving a Construction Site, then the Contractor is Required to Employ Additional Procedures to Provide Clean Runoff From a Site



- NOTES:
1. Fibrous Filter Material in Front of Block Prevents Gravel From Washing Into Structure
 2. 2" x 4" Behind Block and Across Throat Helps Keep Block in Place - Place in Outer Hole of Spacer Block

N.T.S.

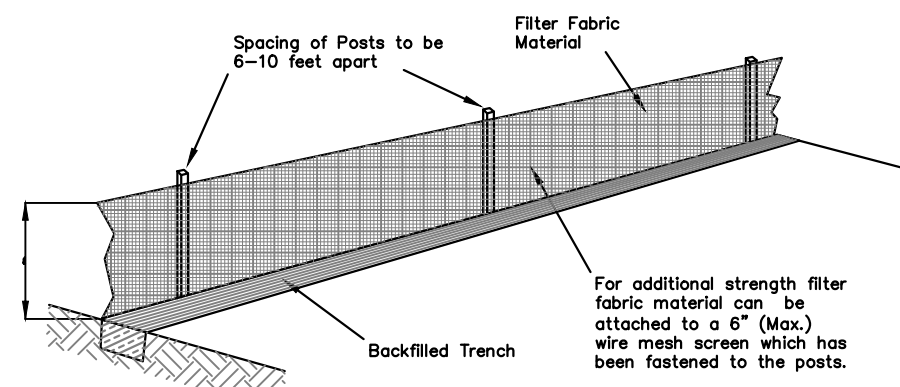
CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
2022 DESIGN STANDARDS

600 SERIES:
EROSION AND SILTATION
CONTROL POLICY

TEMPORARY SEDIMENT TRAP
AT CURB INLET

INDEX NO. 604
PAGE NO. 1 OF 1
LATEST REVISION 2/22/2016

- CONTRACTOR'S RESPONSIBILITY**
- Erosion and Sedimentation Controls are Performance Based Criteria
 - If the BMPs Provided do not Prevent Soils From Leaving a Construction Site, then the Contractor is Required to Employ Additional Procedures to Provide Clean Runoff From a Site



N.T.S.

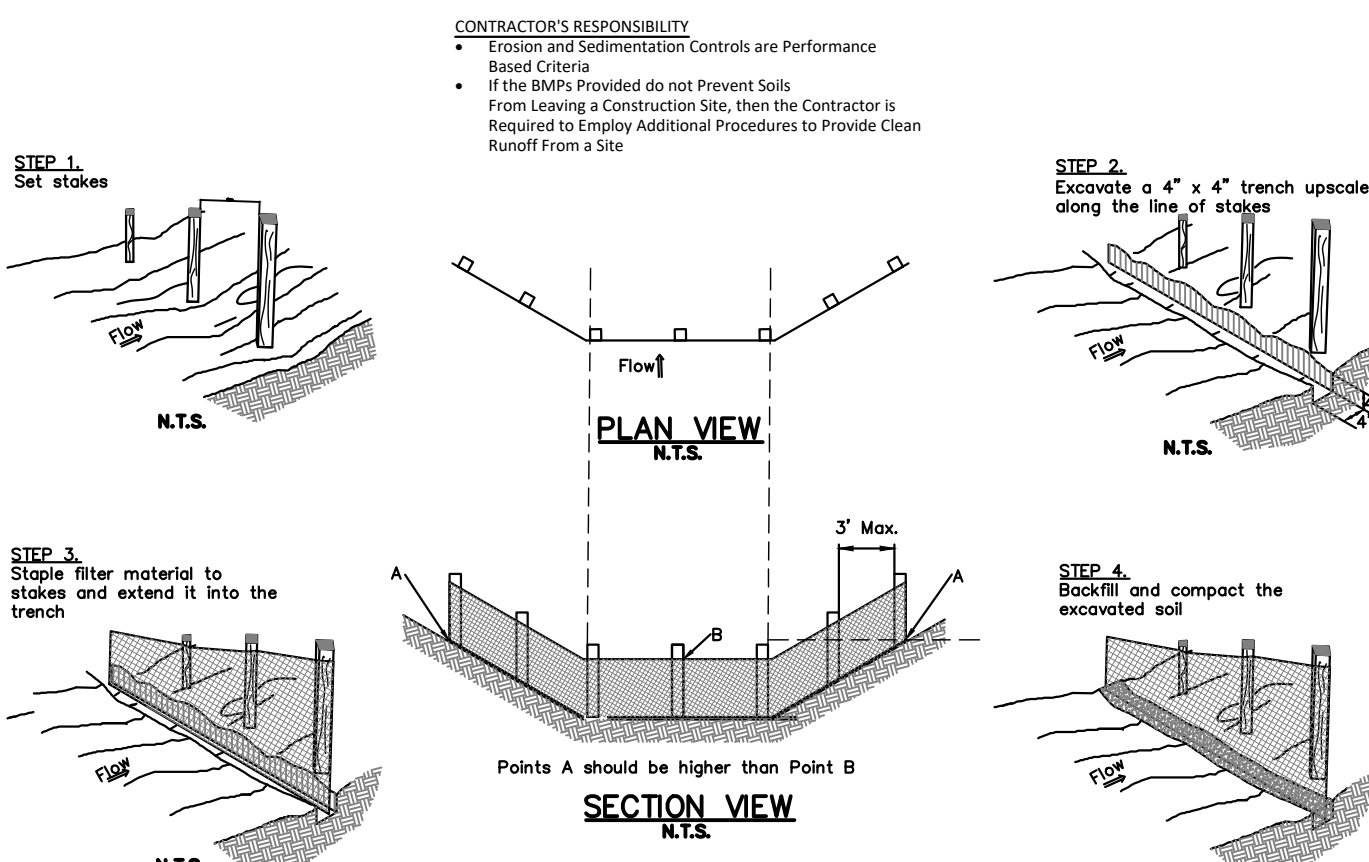
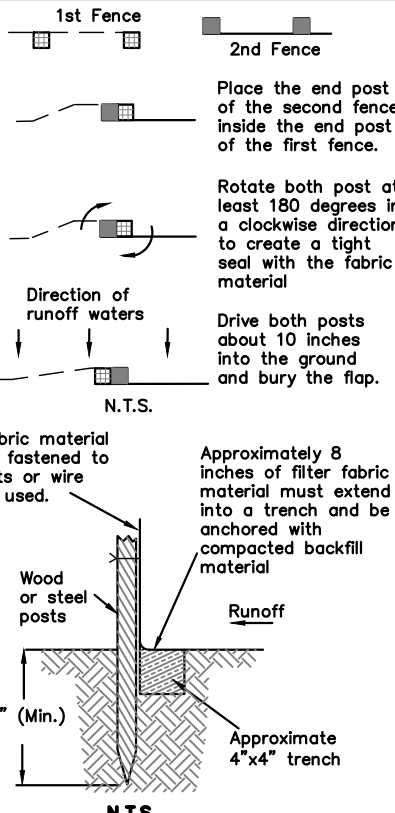
CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
2022 DESIGN STANDARDS

600 SERIES:
EROSION AND SILTATION
CONTROL POLICY

INSTALLING A FILTER FABRIC SILT FENCE

INDEX NO. 607
PAGE NO. 1 OF 3
LATEST REVISION 2/22/2016

ATTACHING TWO SILT FENCES



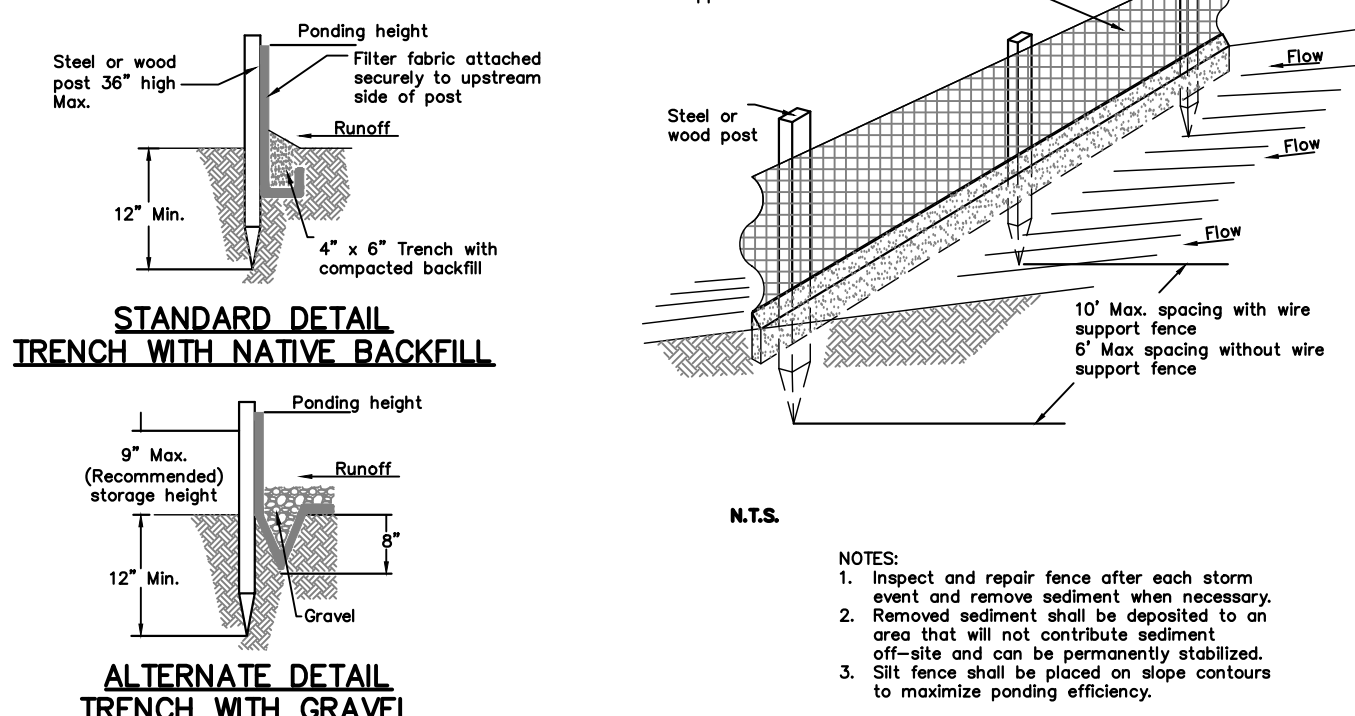
CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
2022 DESIGN STANDARDS

600 SERIES:
EROSION AND SILTATION
CONTROL POLICY

INSTALLING A FILTER FABRIC SILT FENCE

INDEX NO. 607
PAGE NO. 2 OF 3
LATEST REVISION 2/22/2016

- CONTRACTOR'S RESPONSIBILITY**
- Erosion and Sedimentation Controls are Performance Based Criteria
 - If the BMPs Provided do not Prevent Soils From Leaving a Construction Site, then the Contractor is Required to Employ Additional Procedures to Provide Clean Runoff From a Site

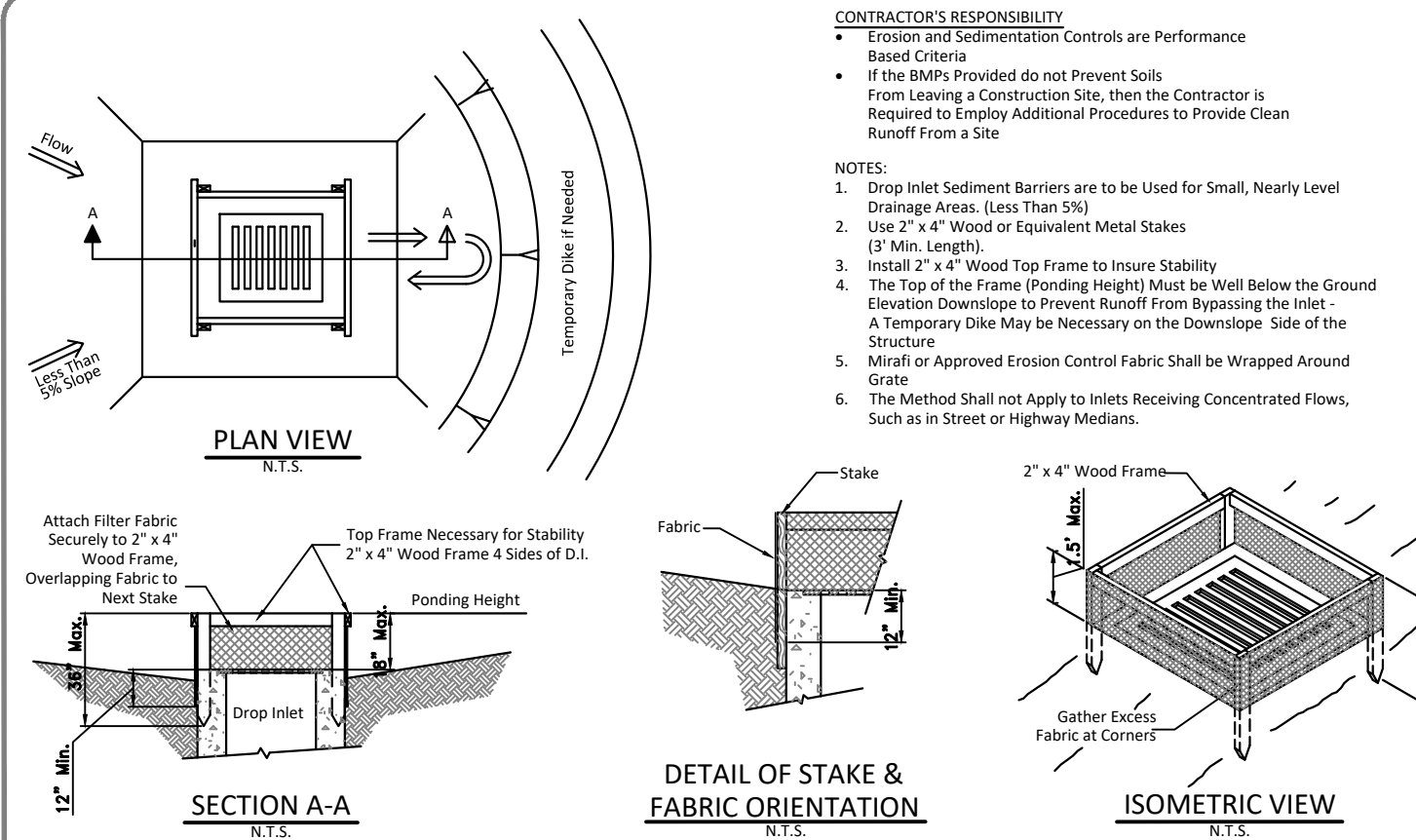


CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
2022 DESIGN STANDARDS

600 SERIES:
EROSION AND SILTATION
CONTROL POLICY

INSTALLING A FILTER FABRIC SILT FENCE

INDEX NO. 607
PAGE NO. 3 OF 3
LATEST REVISION 2/22/2016



CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
2022 DESIGN STANDARDS

600 SERIES:
EROSION AND SILTATION
CONTROL POLICY

INSTALLING A FILTER FABRIC SILT FENCE

INDEX NO. 608
PAGE NO. 1 OF 2
LATEST REVISION 2/22/2016

SITE PREPARATION PLAN

1446 S MISSOURI AVE,
CLEARWATER, FL 33756

Northside
Engineering, Inc.
G2.1

PROJECT # 2528

ISSUE DATE: 06/26/25

REVISIONS:

NO. Date Description

08/15/25 CITY COMMENTS

08/27/25 DRC COMMENTS

08/27/25 DRC COMMENTS

08/27/25 DRC COMMENTS

08/27/25 DRC COMMENTS

08/27/25 DRC COMMENTS

08/27/25 DRC COMMENTS

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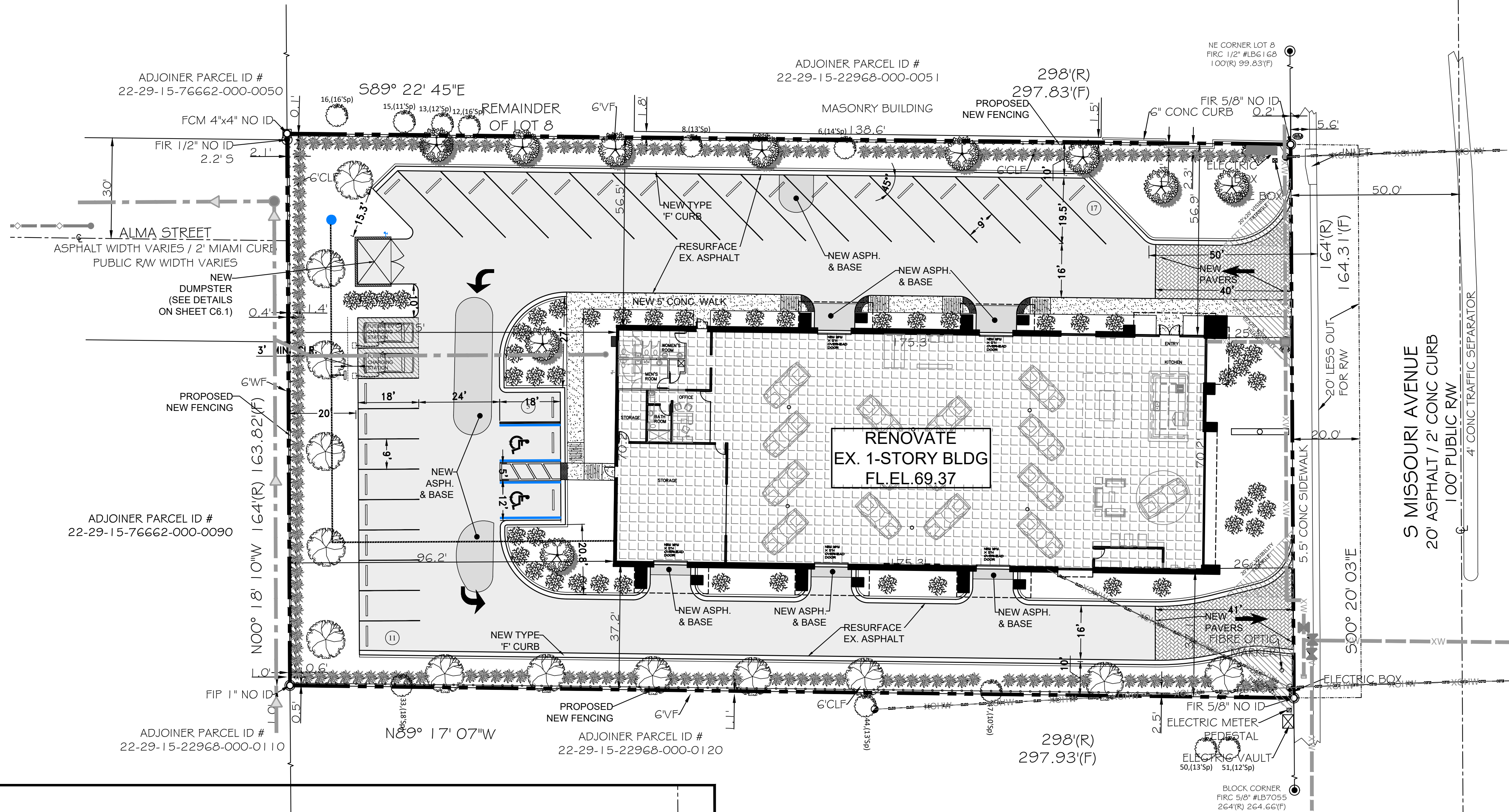
08/27/25 DRC COMMENTS

08/27/25 DRC COMMENTS

08/27/25 DRC COMMENTS

08/27/25 DRC COMMENTS

08/27/25 DRC COMMENTS



SCALE: 1"=20'

LEGEND

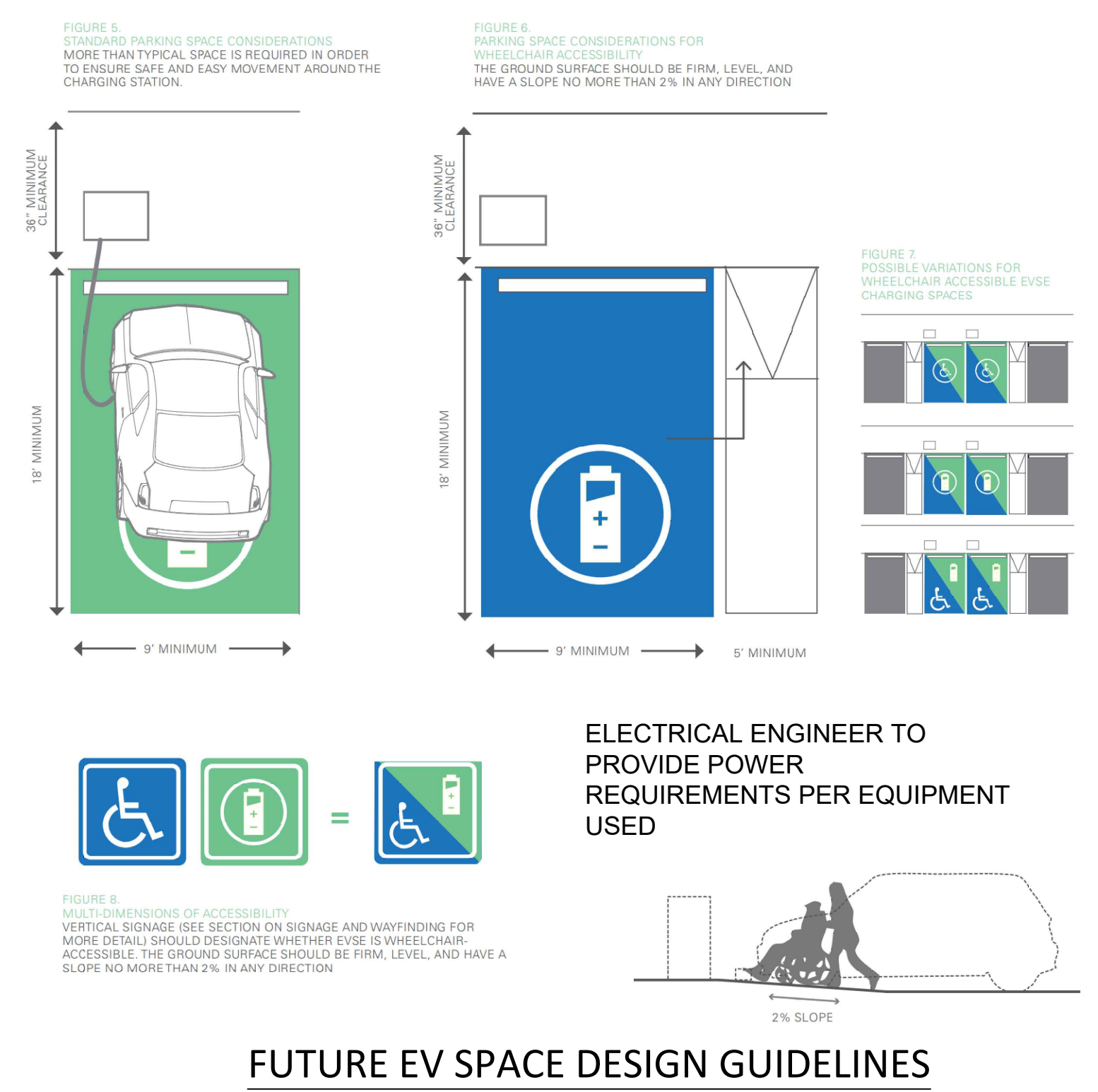
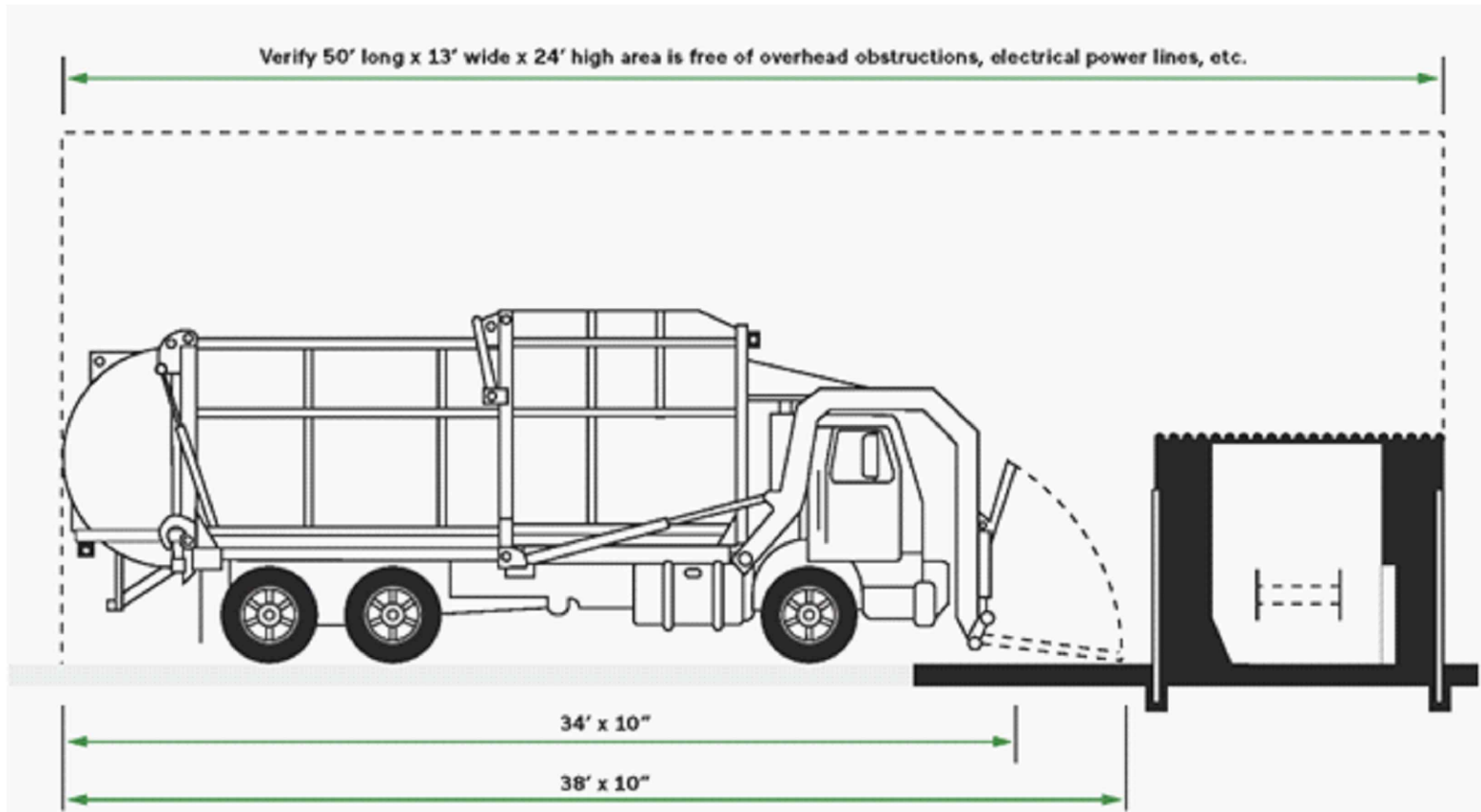
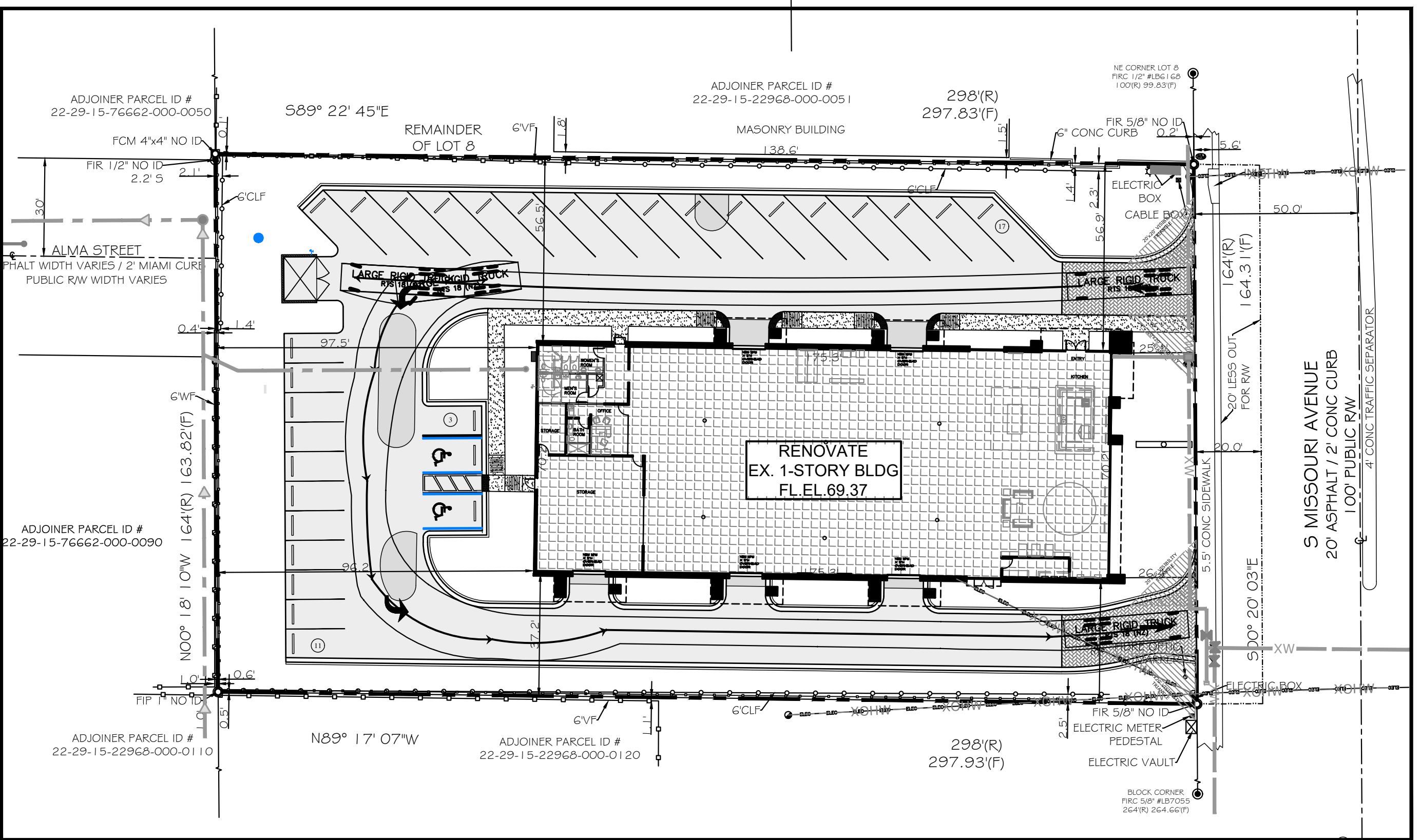
PROPERTY LINE

EXIST. EL.

PROP. ASPHALT

PROP. CONC.

EXIST. TREE



Northside

Engineering, Inc.

300 South Bletcher Road, Clearwater, Florida 33765
Tel: 727-298-8888 Fax: 727-298-8889
tech@northsideengineering.net Est. 1989

Registry # 31306

Donald B. Fairbairn, P.E. #44971

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PROJECT #2528

ISSUE DATE:06/26/25

REVISIONS:

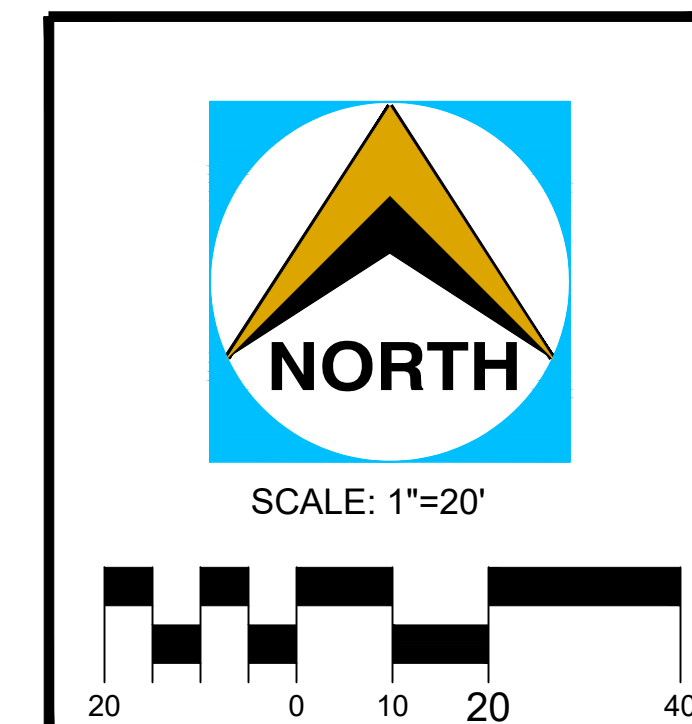
No.	Date	Description
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▲	/	/
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▲	/	/
▲	/	/
▲	/	/
▲	/	/
▲	/	/
▲	/	/

DRAWN BY : SR

CIVIL SITE PLAN

1446 S MISSOURI AVE., CLEARWATER, FL 33756

C3.1



PROPERTY LINE	
LOT LINE	
EX. GRAVITY SAN SEWER	
EXISTING POTABLE WATER	
PROPOSED POTABLE WATER	
EXISTING GAS SUPPLY	
EXISTING OH ELEC WIRE	
EXISTING MANHOLE	
EXISTING CLEAN-OUT	
EXISTING WATER METER	
EXISTING DCVA	
EXISTING WATER VALVE	
EXISTING FIRE HYDRANT	

Donald B. Fairbairn, P.E. #44971

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PROJECT #	2528
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REVISIONS:

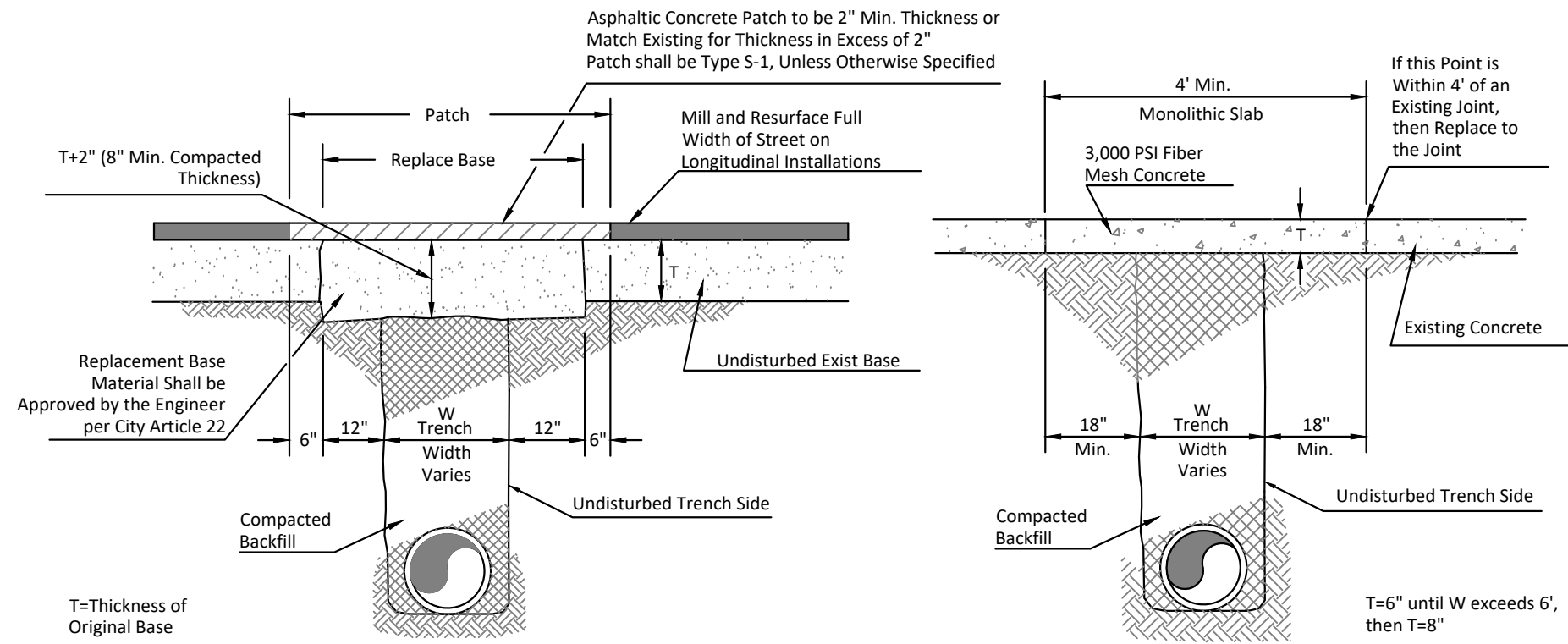
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△	08/27/25	DRC COMMENT:
△	/ /	
△	/ /	
△	/ /	
△	/ /	

DRAWN BY : SR

UTILITY PLAN

1446 S MISSOURI AVE,
CLEARWATER, FL 33756

Northside
Engineering, Inc.
C5.1

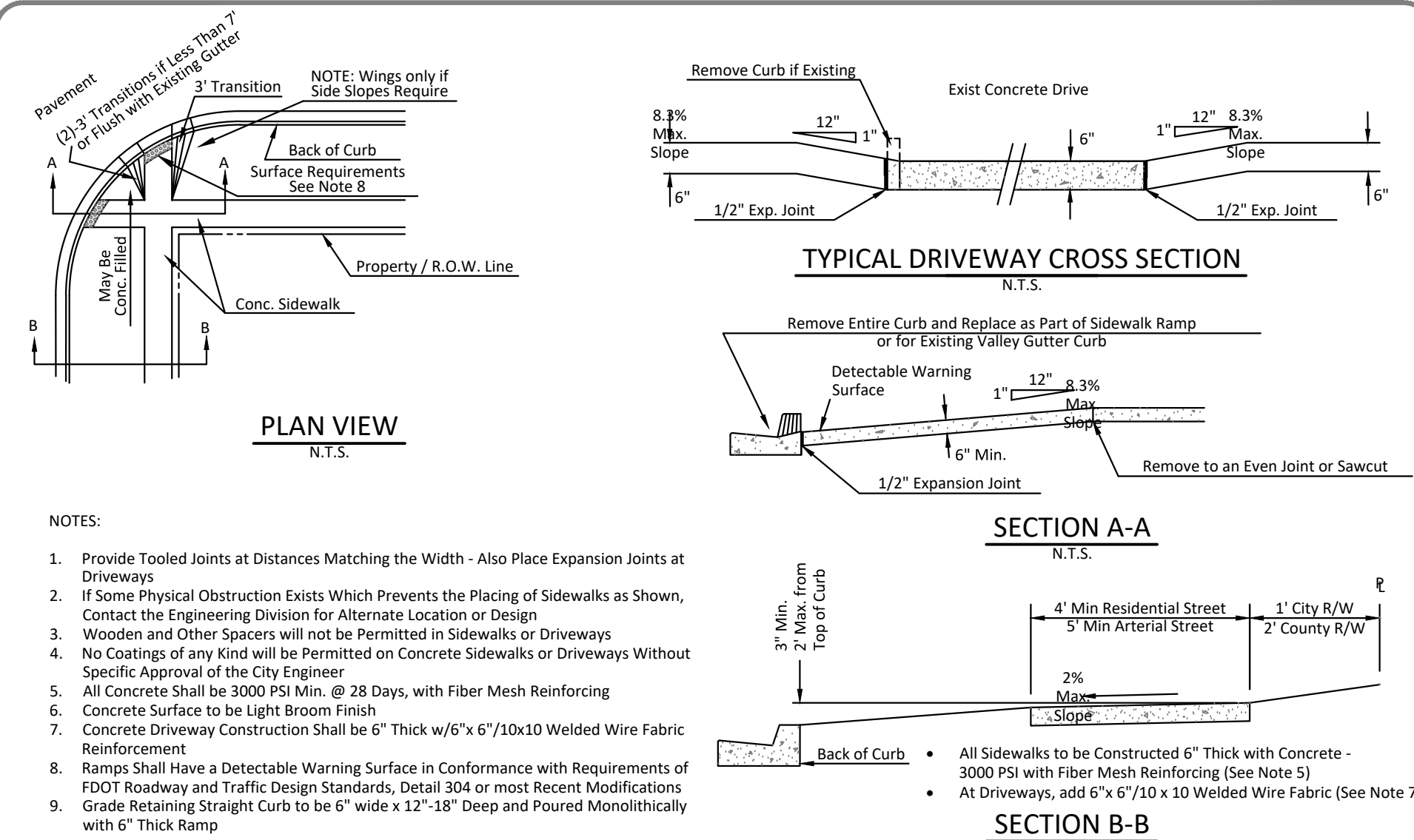


CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
2022 DESIGN STANDARDS

100 SERIES:
STREET SECTIONS
AND DETAILS

STREET AND DRIVEWAY REPLACEMENT FOR
CONCRETE AND ASPHALTIC CONCRETE SURFACES

INDEX NO. 104
PAGE NO. 1 OF 1
LATEST REVISION 2/22/2016

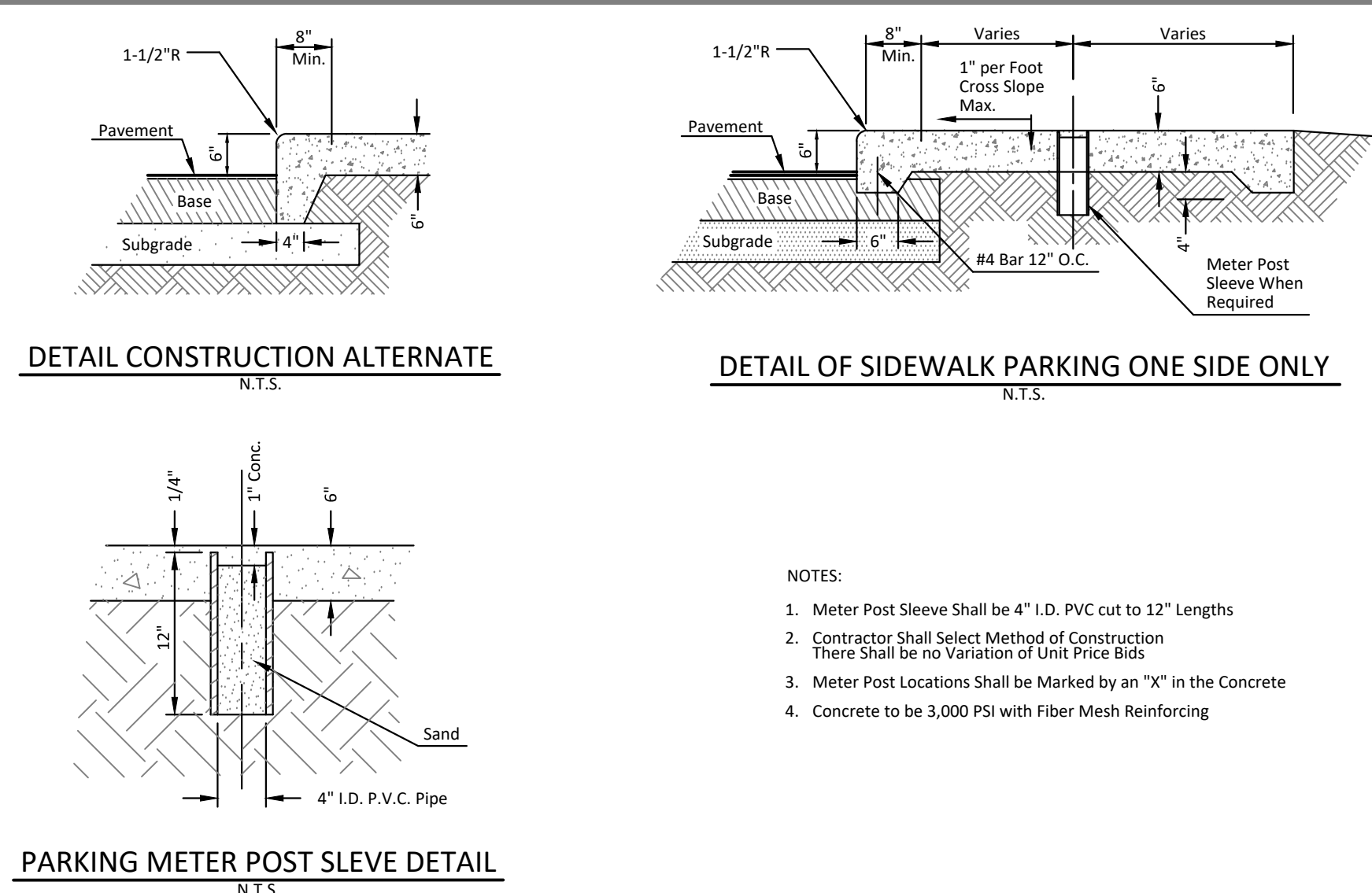


CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
2022 DESIGN STANDARDS

100 SERIES:
STREET SECTIONS
AND DETAILS

TYPICAL SIDEWALK CONSTRUCTION AND RAMP DETAIL

INDEX NO. 109
PAGE NO. 1 OF 5
LATEST REVISION 3/14/2023



CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
2022 DESIGN STANDARDS

100 SERIES:
STREET SECTIONS
AND DETAILS

CONCRETE SIDEWALKS AND METER POSTS
IN PARKING LOTS

INDEX NO. 114
PAGE NO. 1 OF 1
LATEST REVISION 3/14/2023

A	B	C	D	E	F
0	8.0	8.0	12.0	23.0	28.0
45	9.0	19.5	13.0	12.7	52.0
50	9.0	20.0	14.0	11.7	54.0
60	9.0	20.5	18.0	10.4	59.0
70	9.0	20.0	19.0	9.6	59.0
80	9.0	19.5	24.0	9.1	63.0
90	9.0	18.0	24.0	9.0	60.0

A. Parking Angle (Degrees)
B. Stall Width (Feet)
C. Stall to Curb (Feet)
D. Aisle Width (Feet)
E. Curb Length (Feet)
F. Min. Overall Double Row with Aisle Between (Feet)

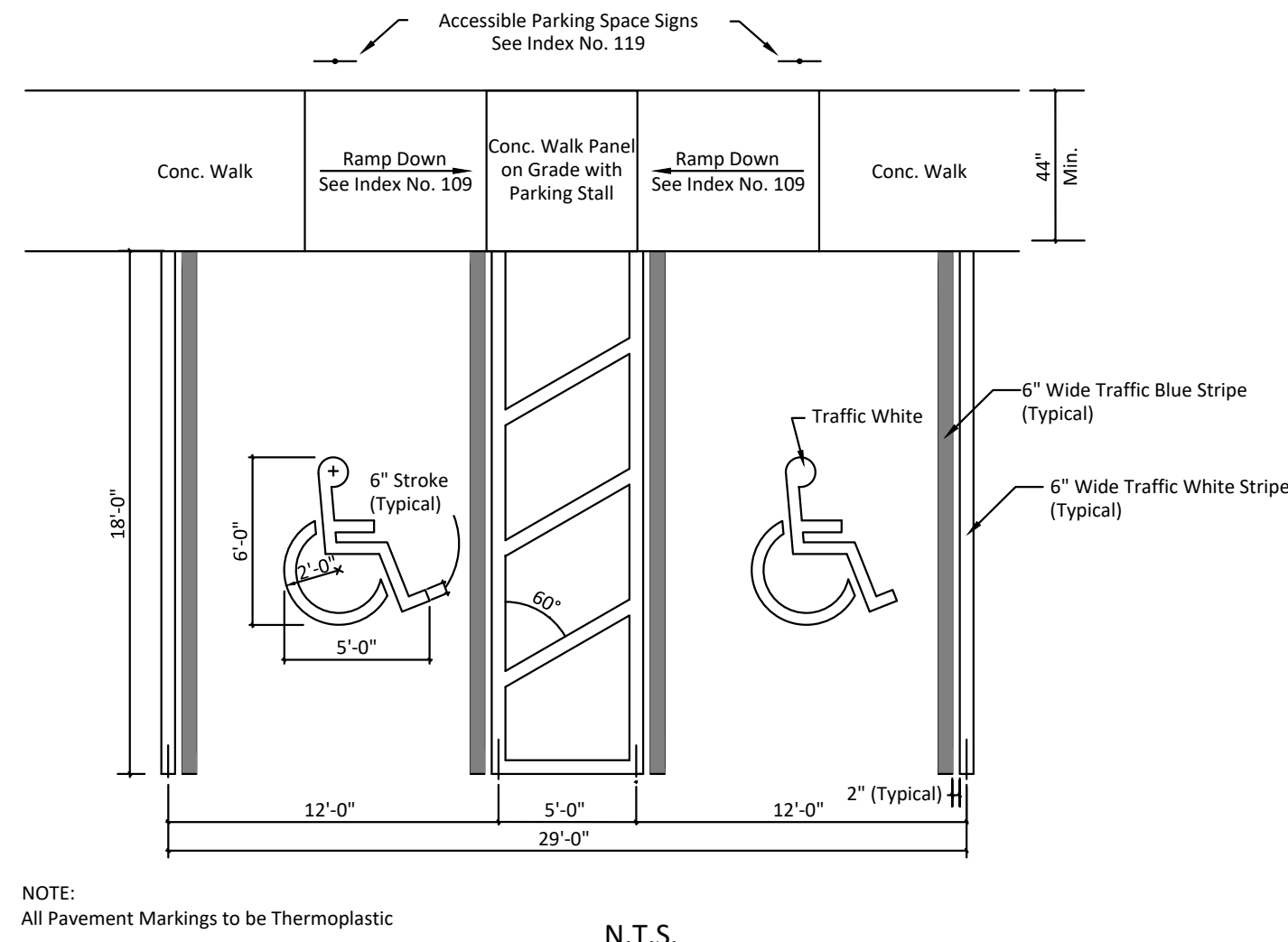
NOTES:
1. All Parking Space Striping to be White in Color
2. If a Parking Lot Serves a use Which Generates 2,500 or More Vehicle Trips a Day, such Parking Spaces Shall be Marked by White Thermoplastic Lines
3. All City of Clearwater Projects Shall be in Thermoplastic

CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
2022 DESIGN STANDARDS

100 SERIES:
STREET SECTIONS
AND DETAILS

STANDARD PARKING STALL

INDEX NO. 120
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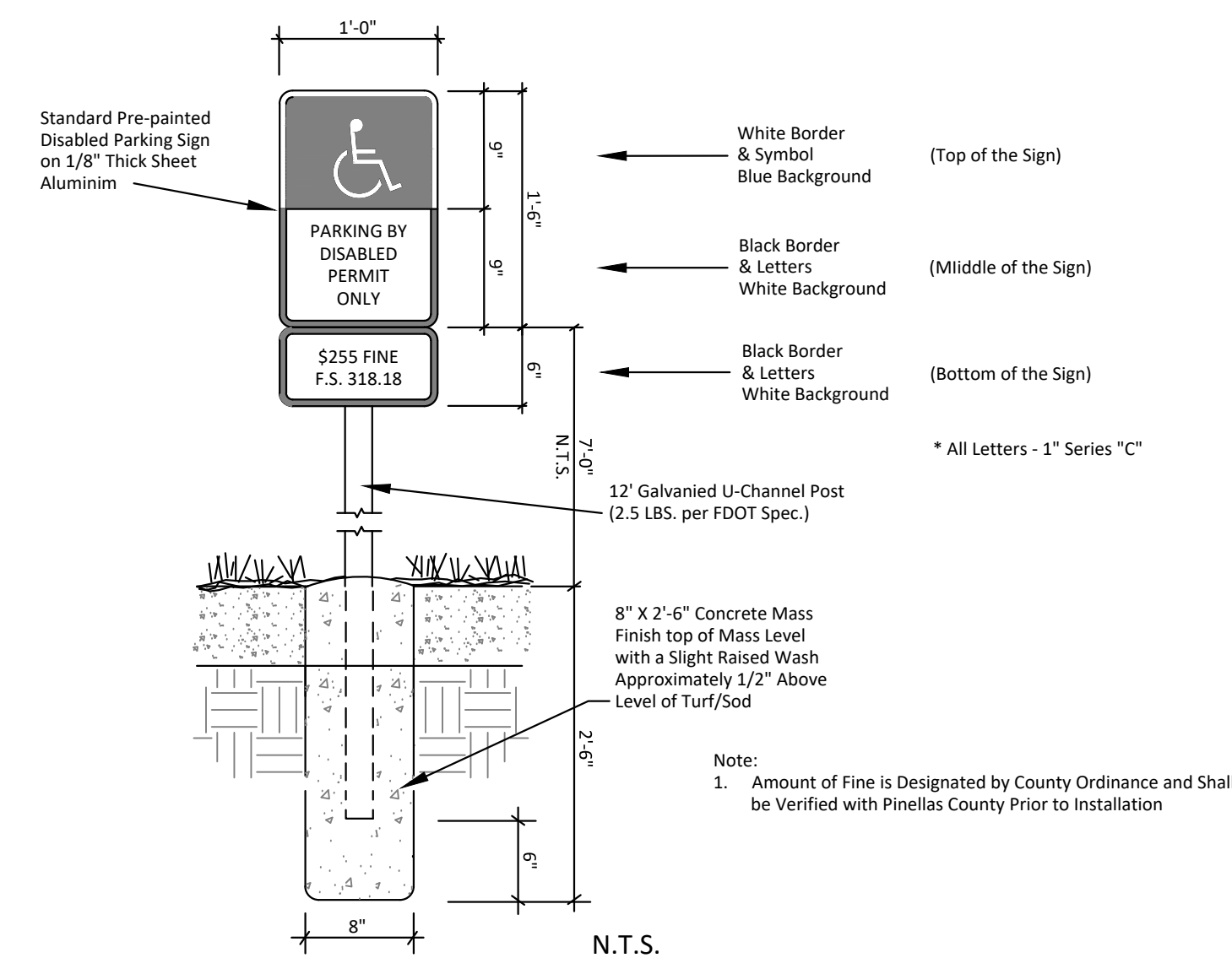


CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
2022 DESIGN STANDARDS

100 SERIES:
STREET SECTIONS
AND DETAILS

ACCESSIBLE PARKING STALL - DOUBLE

INDEX NO. 118
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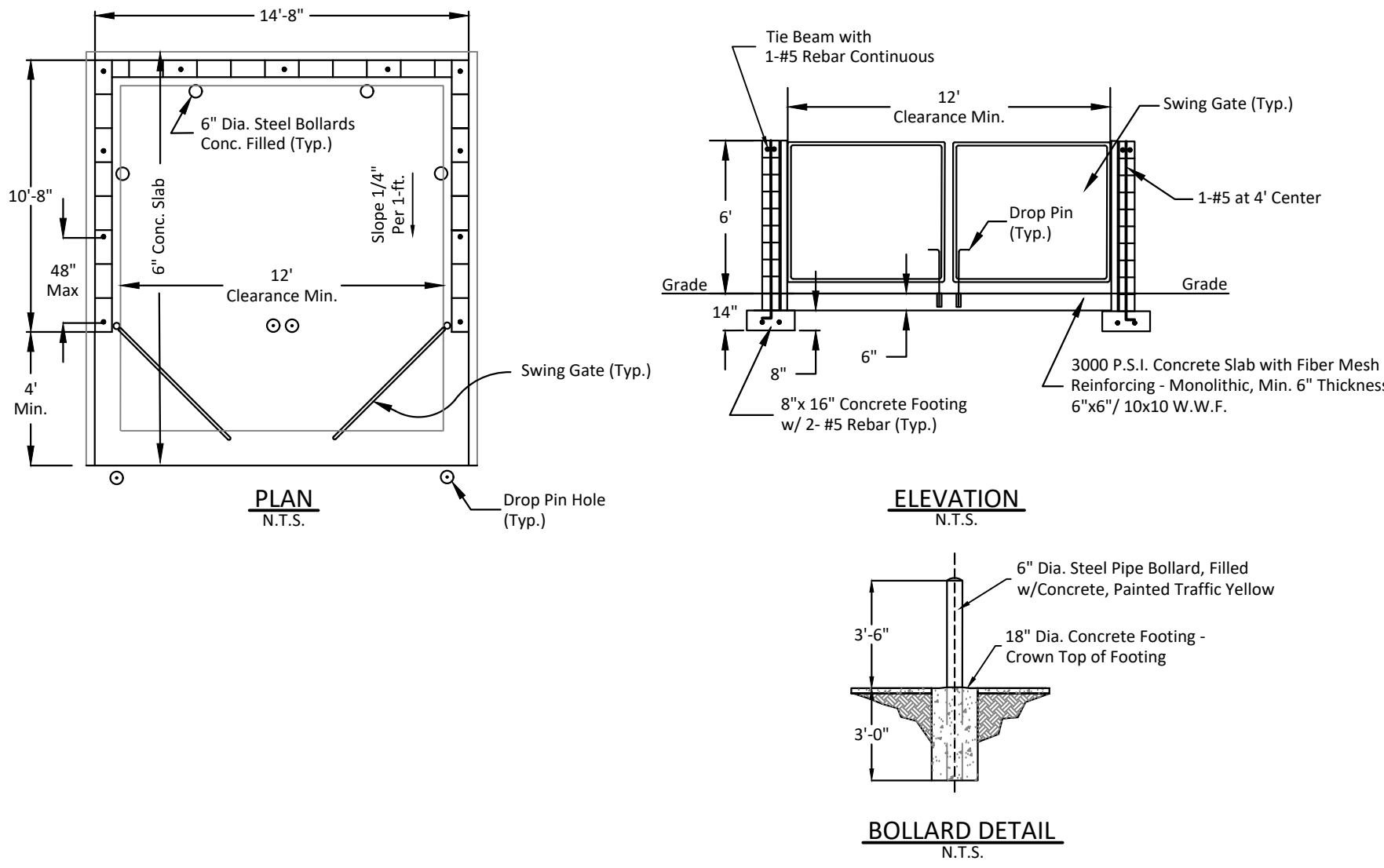


CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
2022 DESIGN STANDARDS

100 SERIES:
STREET SECTIONS
AND DETAILS

TYPICAL ACCESSIBLE PARKING SIGN

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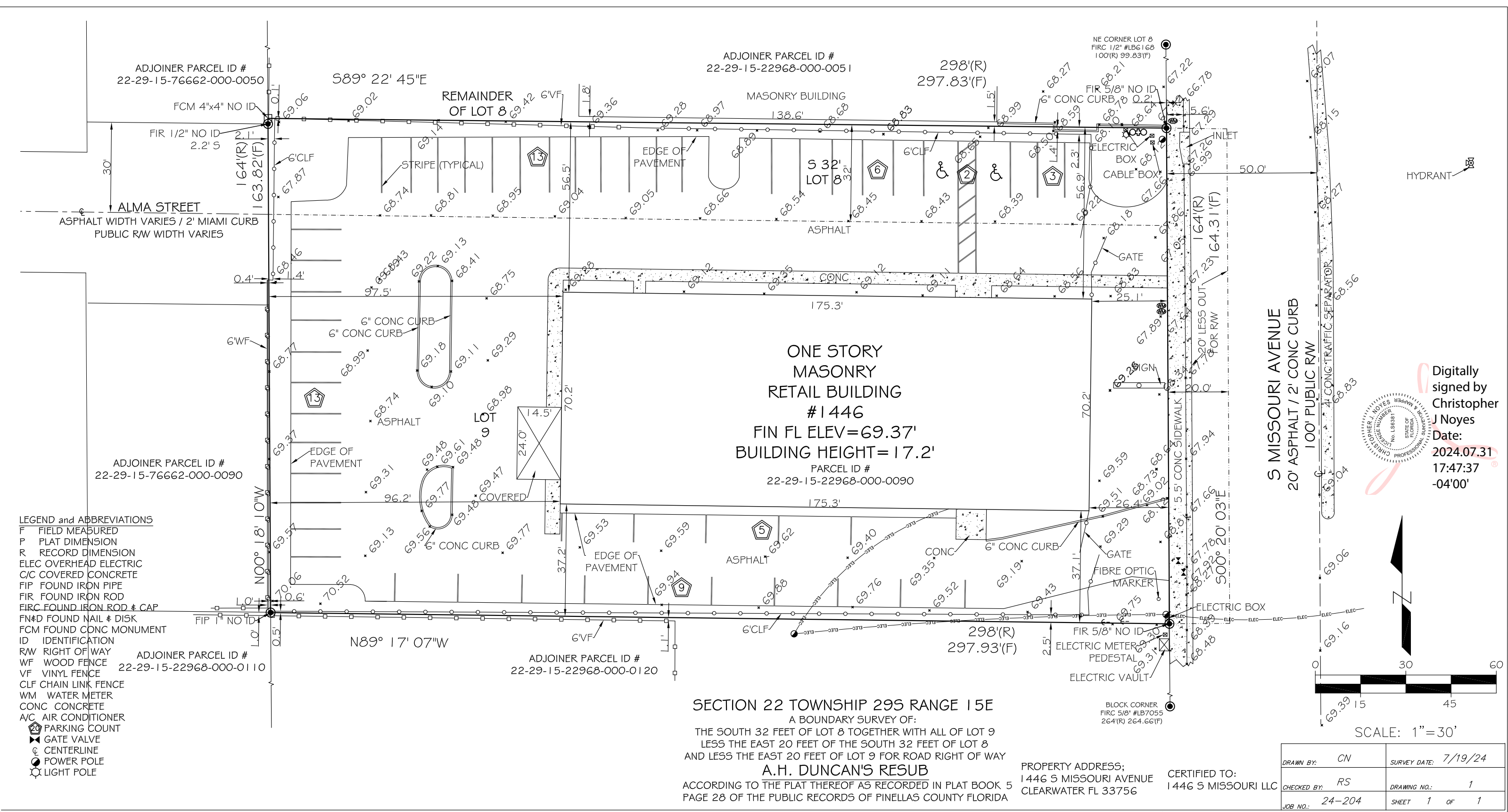


CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
2022 DESIGN STANDARDS

700 SERIES:
MISCELLANEOUS
DETAILS

SINGLE DUMPSTER ENCLOSURE

INDEX NO. 701
PAGE NO. 1 OF 3
LATEST REVISION 2/22/2016



THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH; AND IS SUBJECT TO ALL EASEMENTS, RIGHTS-OF-WAY, AND OTHER MATTERS OF RECORD. UNDERGROUND IMPROVEMENTS NOT SHOWN. BASIS OF BEARINGS; NONE PER PLAT. NAD '83 FLORIDA STATE PLANE, WEST ZONE

FLOOD PLAIN
PER THE FEDERAL INSURANCE ADMINISTRATION FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 125096, SUBJECT PROPERTY APPEARS LOCATED IN ZONE "X", AS REFERENCED TO THE FIRM (FLOOD INSURANCE RATE MAP) 12103C0108J, EFFECTIVE DATE 08/24/2021

IN COMPLETE ACCORDANCE WITH FLORIDA STATUTE 472.025 AND PURSUANT TO THE ELECTRONIC SIGNATURE ACT OF 1996 OR FLORIDA STATUTE TITLE XXXIX CHAPTER 668 IF THIS DOCUMENT WAS RECEIVED ELECTRONICALLY VIA PDF THEN IT HAS BEEN LAWFULLY ELECTRONICALLY SIGNED THEREFORE THIS SURVEY PDF IF AUTHENTIC IS COMPLETELY OFFICIAL AND INSURABLE

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON MEETS THE REQUIREMENTS OF CHAPTER 5J-17.05 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES

CHRISTOPHER J. NOYES PSM FLORIDA SURVEYOR REGISTRATION # 6381

SURVEY NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OR AN ELECTRONIC EQUIVALENT OF A FLORIDA LICENSED SURVEYOR AND MAPPER

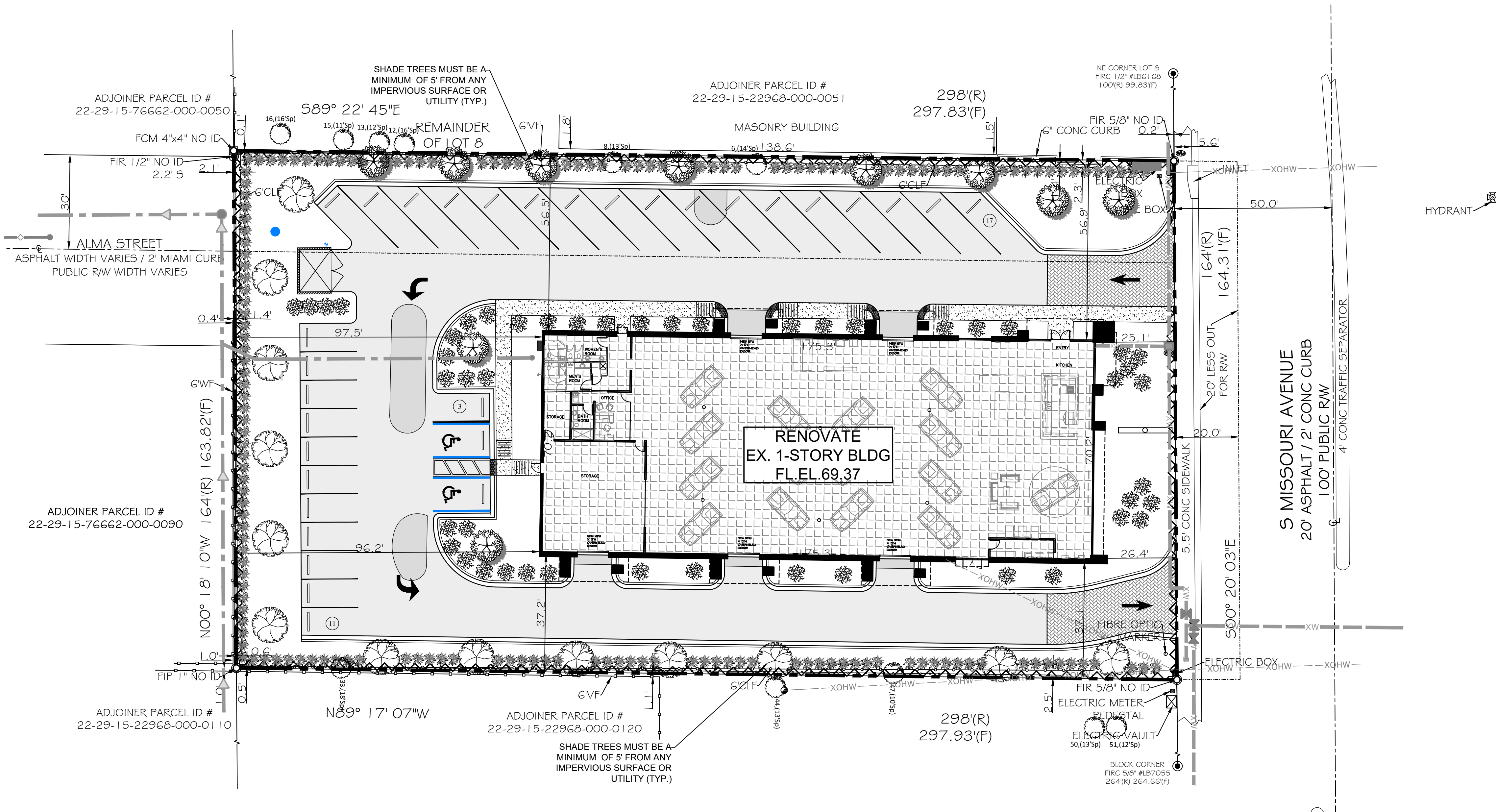
PREPARED BY:
CHRISTOPHER J. NOYES PSM, LLC
LS 6381
7168 65TH STREET NORTH
PINELLAS PARK, FLORIDA 33781
PHONE (727) 545-9777
CHRISPSM6381@GMAIL.COM

DRAWN BY: CN	SURVEY DATE: 7/19/24
CHECKED BY: RS	DRAWING NO.: 1
JOB NO.: 24-204	SHEET 1 OF 1

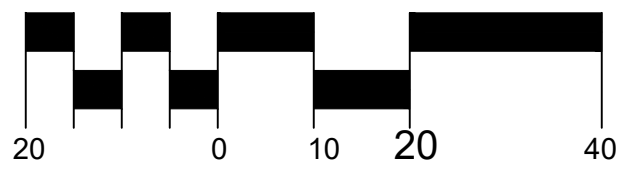
SECTION 22 TOWNSHIP 29S RANGE 15E
A BOUNDARY SURVEY OF:
THE SOUTH 32 FEET OF LOT 8 TOGETHER WITH ALL OF LOT 9
LESS THE EAST 20 FEET OF THE SOUTH 32 FEET OF LOT 8
AND LESS THE EAST 20 FEET OF LOT 9 FOR ROAD RIGHT OF WAY
A.H. DUNCAN'S RESUB
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5
PAGE 28 OF THE PUBLIC RECORDS OF PINELLAS COUNTY FLORIDA

PROPERTY ADDRESS;
1446 S MISSOURI AVENUE
CLEARWATER FL 33756

CERTIFIED TO:
1446 S MISSOURI LLC



SCALE: 1"=20'



LEGEND

PROPERTY LINE	---
EXIST. EL.	---
PROP. ASPHALT	---
PROP. CONC.	---
EXIST. TREE	---

LANDSCAPING NOTES

- WITHIN SIGHT VISIBILITY TRIANGLES, UNOBSTRUCTED SIGHT LINES AND CROSS VISIBILITY SHALL BE MAINTAINED BETWEEN A HEIGHT OF 2 FEET AND 8.5 FEET. NO STRUCTURE, OBJECT AND/OR VEGETATION SHALL BE PLACED AND/OR MAINTAINED IN A MANNER THAT MATERIALLY IMPEDES THE VISIBILITY FROM A STREET, ALLEY OR DRIVEWAY OF LAWFULLY ONCOMING TRAFFIC FROM ANY DIRECTION IN THE INTERSECTING PUBLIC STREET.
- FIRE HYDRANTS SHALL HAVE A CLEARANCE OF 60 INCHES IN FRONT OF THE HYDRANT AND 36 INCHES TO THE SIDES AND REAR OF THE HYDRANT.
- A PERMANENT IRRIGATION SYSTEM SHALL BE INSTALLED. WHERE APPROPRIATE DRIP/MICRO IRRIGATION SHALL BE USED.
- BALANCE OF ALL BUFFER AREAS SHALL BE MULCH.
- SHRUBS SHALL BE INSTALLED AT 24" HEIGHT AND MAINTAINED AT 36" HEIGHT, MINIMUM.
- ALL MECHANICAL EQUIPMENT SHALL BE LANDSCAPED ON AT LEAST TWO SIDES FACING STREETS WITH CONTINUOUS PLANTING OF SHRUBS PLANTED NO MORE THAN 30" ON CENTER.
- ALL TREE PRUNING MUST CONFORM TO THE PRUNING STANDARDS SPECIFIED IN THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS.
- THE LANDSCAPE CONTRACTOR SHALL GRADE PLANTING BEDS, AS REQUIRED, TO PROVIDE POSITIVE DRAINAGE AND PROMOTE OPTIMUM PLANT GROWTH.
- ALL RECOMMENDED TREES AND PLANT MATERIALS WILL BE GRADED AS NURSERY GRADE NO. 1 OR BETTER AS OUTLINED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY "GRADES AND STANDARDS FOR NURSERY PLANTS".
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA NURSERYMEN'S AND GROWER'S ASSOCIATIONS APPROVED PRACTICES.
- THE PLANT MATERIAL SCHEDULE IS PRESENTED FOR THE CONVENIENCE OF THE LANDSCAPE CONTRACTOR. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT KEY, THE PLAN SHALL PREVAIL.
- PLANTS SHALL MEET SIZE, CONTAINER, AND SPACING SPECIFICATIONS. ANY MATERIAL NOT MEETING SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING FULLY BOTH THE SITE AND THE BID DOCUMENTS. DISCREPANCIES IN THE DOCUMENTS OR THE ACTUAL SITE CONDITIONS SHALL BE REPORTED TO THE CITY PROJECT MANAGER IN WRITING AT THE TIME OF BIDDING OR DISCOVERY. NO ACCOUNT SHALL BE MADE AFTER CONTRACT COMPLETION FOR FAILURE TO REPORT SUCH CONDITION, OR FOR ERRORS ON THE PART OF THE LANDSCAPE CONTRACTOR AT THE TIME OF BIDDING.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL NECESSARY APPLICABLE PERMITS AND LICENSES TO PERFORM THE WORK SET FORTH IN THIS PLAN SET AND THE SPECIFICATIONS.
- EXISTING SOD SHALL BE REMOVED AS NECESSARY TO ACCOMMODATE NEW PLANTINGS.
- ANY EXISTING SOD AREAS THAT ARE UNNECESSARILY DISTURBED DURING THE LANDSCAPE INSTALLATION SHALL BE RESODDED TO MATCH EXISTING.
- SHELL, ROCK, GRAVEL, AND ANY SIMILAR MATERIAL ARE NOT ACCEPTABLE LANDSCAPE MATERIALS PER CDC 3-1204.B AND WILL NOT BE APPROVED DURING THE LANDSCAPE FINAL. (CITY OF CLEARWATER)
- ALL LANDSCAPED AREAS MUST BE COVERED WITH SHRUBS, GROUND COVER, TURF, THREE INCHES OF ORGANIC MULCH OR OTHER SUITABLE MATERIAL WHICH PERMITS PERCOLATION. WHERE MULCH IS USED, IT MUST BE PROTECTED FROM WASHING OUT OF THE PLANTING BED. INORGANIC MULCH, SUCH AS GRAVEL OR ROCK, SHOULD ONLY BE USED WHERE WASHOUTS OCCUR. PLASTIC SHEETS / WEED BARRIER SHALL NOT BE INSTALLED UNDER MULCHES. CODE (CDC 3-1204.B)

IRRIGATION NOTES

- DO NOT INSTALL LANDSCAPING OR IRRIGATION (UNLESS DIRECTIONAL BORE) IN CRITICAL ROOT ZONES (INSIDE THE TREE BARRICADE) OF THE EXISTING TREES TO BE PRESERVED.

PLANT SCHEDULE

TREES	QTY	COMMON	BOTANICAL	CONT	CAL	SIZE	GR.
	13	LIVE OAK	QUERCUS VIRGINIANA	45 GAL	2.5"	10' ht	FLORIDA#1
	10	Southern Waxmyrtle (STANDARD)	Myrica Cerifera	25 GAL	2"	8' ht	FLORIDA#1
SHRUBS	QTY	COMMON	BOTANICAL	CONT	SPACING	SIZE	GR.
	158	Dwarf Oleander	Nerium oleander 'Pettie Pink'	3 gal	36" oc	20" ht	#1
	32	Cocoplum	Chrysobalanus Icacoe	3 Gal.	24" oc	36" ht	#1

Northside

Engineering, Inc.
Civil, Land, Planning, Traffic Studies, Landscape
Due Diligence Reports, Land Use, Re-Zoning
Stormwater Management, Utility Design
Construction Administration
300 South Belcher Road, Clearwater, Florida 33765
Tel: 727-443-3889 Fax: 727-443-3036
tech@northsideengineering.net Est. 1989

Donald B. Fairbairn, P.E. #44971

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY Donald B. Fairbairn, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

PROJECT # 2528

ISSUE DATE: 06/26/25

REVISIONS:

No.	Date	Description
1	08/15/25	CITY COMMENTS
2	08/27/25	DRC COMMENTS
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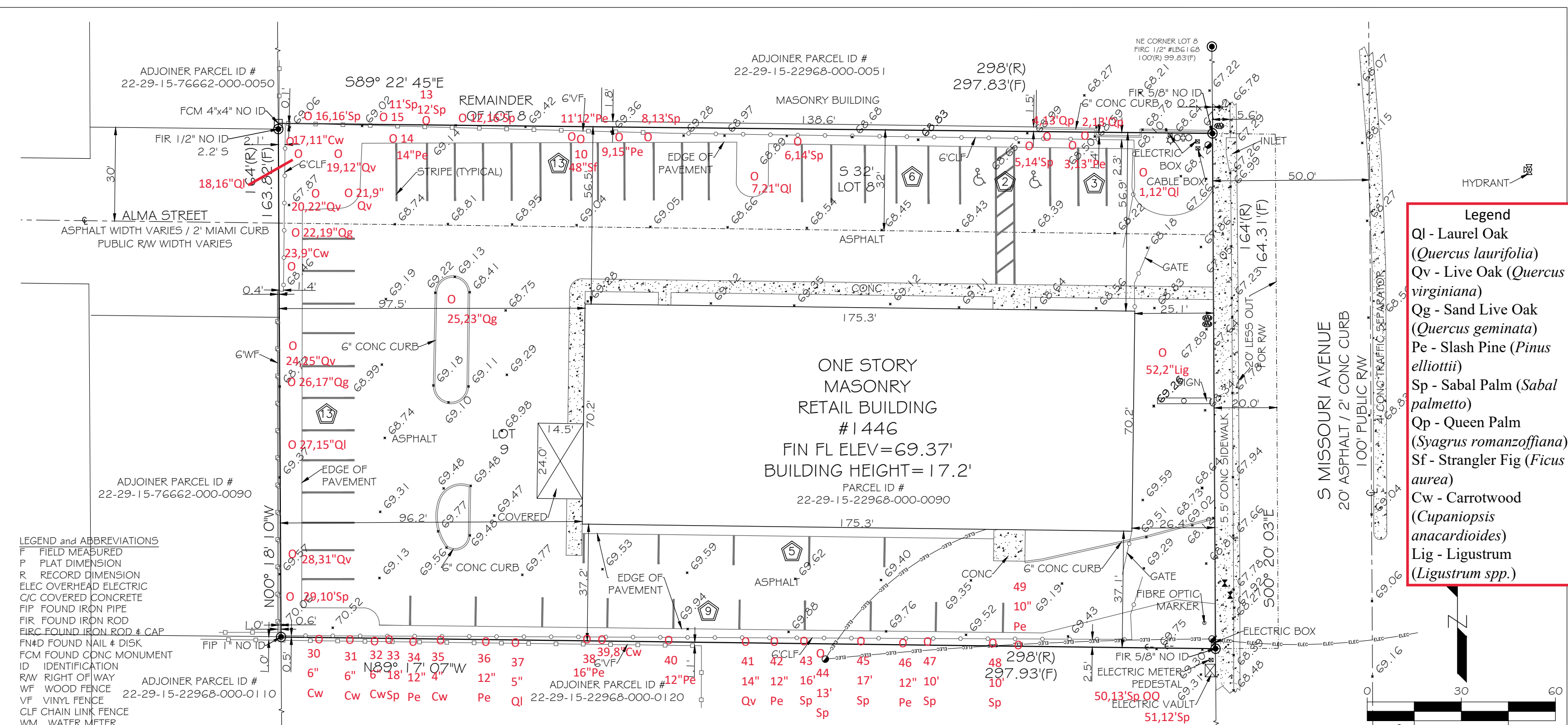
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LANDSCAPE PLAN

1446 S MISSOURI AVE,
CLEARWATER, FL 33756

Northside
Engineering, Inc.

L1.1



- LEGEND and ABBREVIATIONS
- F FIELD MEASURED
 - P PLAT DIMENSION
 - R RECORD DIMENSION
 - ELEC OVERHEAD ELECTRIC
 - C/C COVERED CONCRETE
 - FIP FOUND IRON PIPE
 - FIR FOUND IRON ROD
 - FIRC FOUND IRON ROD & CAP
 - FN&D FOUND NAIL & DISK
 - FCM FOUND CONC MONUMENT
 - ID IDENTIFICATION
 - R/W RIGHT OF WAY
 - WF WOOD FENCE
 - VF VINYL FENCE
 - CLF CHAIN LINK FENCE
 - WM WATER METER
 - CONC CONCRETE
 - A/C AIR CONDITIONER
 - PARKING COUNT
 - GATE VALVE
 - CENTERLINE
 - POWER POLE
 - LIGHT POLE

Tree Inventory Corresponding Numbered Tree Survey
Prepared By: Urban Forestry Solutions, LLC
Rick Albee, ISA Certified Arborist #SO-0989A
8/12/2025

- Legend**
- Ql - Laurel Oak (*Quercus laurifolia*)
 - Qv - Live Oak (*Quercus virginiana*)
 - Qg - Sand Live Oak (*Quercus geminata*)
 - Pe - Slash Pine (*Pinus elliotii*)
 - Sp - Sabal Palm (*Sabal palmetto*)
 - Qp - Queen Palm (*Syagrus romanzoffiana*)
 - Sf - Strangler Fig (*Ficus aurea*)
 - Cw - Carrotwood (*Cupaniopsis anacardioides*)
 - Lig - Ligustrum (*Ligustrum spp.*)

SECTION 22 TOWNSHIP 29S RANGE 15E
A BOUNDARY SURVEY OF:
THE SOUTH 32 FEET OF LOT 8 TOGETHER WITH ALL OF LOT 9
LESS THE EAST 20 FEET OF THE SOUTH 32 FEET OF LOT 8
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CLEARWATER FL 33756

CERTIFIED TO:
1446 S MISSOURI LLC

DRAWN BY: CN	SURVEY DATE: 7/19/24
CHECKED BY: RS	DRAWING NO.: 1
JOB NO.: 24-204	SHEET 1 OF 1

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BASIS OF BEARINGS; NONE PER PLAT. NAD '83 FLORIDA STATE PLANE, WEST ZONE

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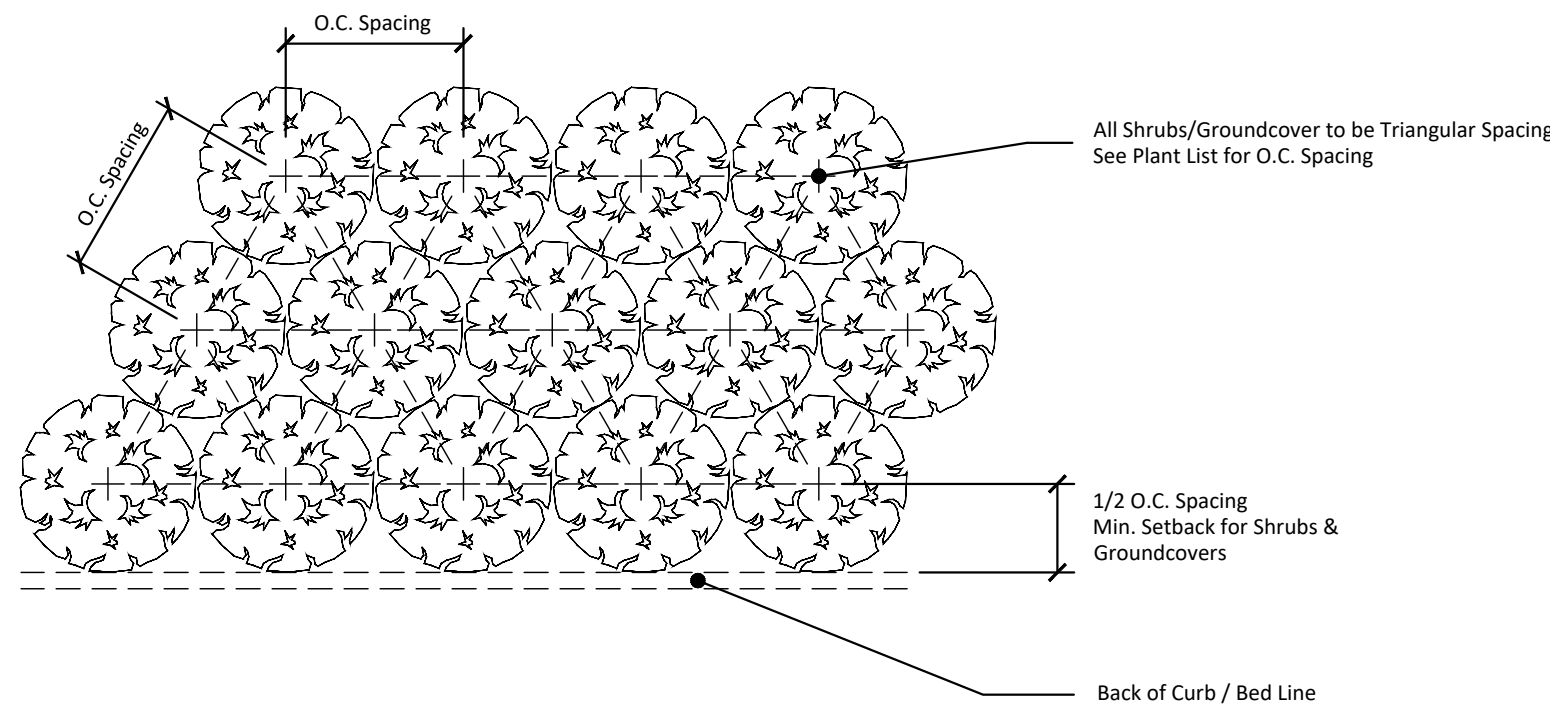
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SEAL OR AN ELECTRONIC EQUIVALENT OF A FLORIDA LICENSED
SURVEYOR AND MAPPER

FLOOD PLAIN
PER THE FEDERAL INSURANCE ADMINISTRATION FLOOD
INSURANCE RATE MAP, COMMUNITY NUMBER 125096,
SUBJECT PROPERTY APPEARS LOCATED IN ZONE "X", AS
REFERENCED TO THE FIRM (FLOOD INSURANCE RATE
MAP) 12103C0108J, EFFECTIVE DATE 08/24/2021

SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON MEETS THE
REQUIREMENTS OF CHAPTER 5J-17.05 FLORIDA ADMINISTRATIVE CODE
PURSUANT TO SECTION 472.027 FLORIDA STATUTES

CHRISTOPHER J. NOYES PSM FLORIDA SURVEYOR REGISTRATION # 6381

PREPARED BY:
CHRISTOPHER J. NOYES PSM, LLC
LS 6381
7168 65TH STREET NORTH
PINELLAS PARK, FLORIDA 33781
PHONE (727) 545-9777
CHRISPSM6381@GMAIL.COM



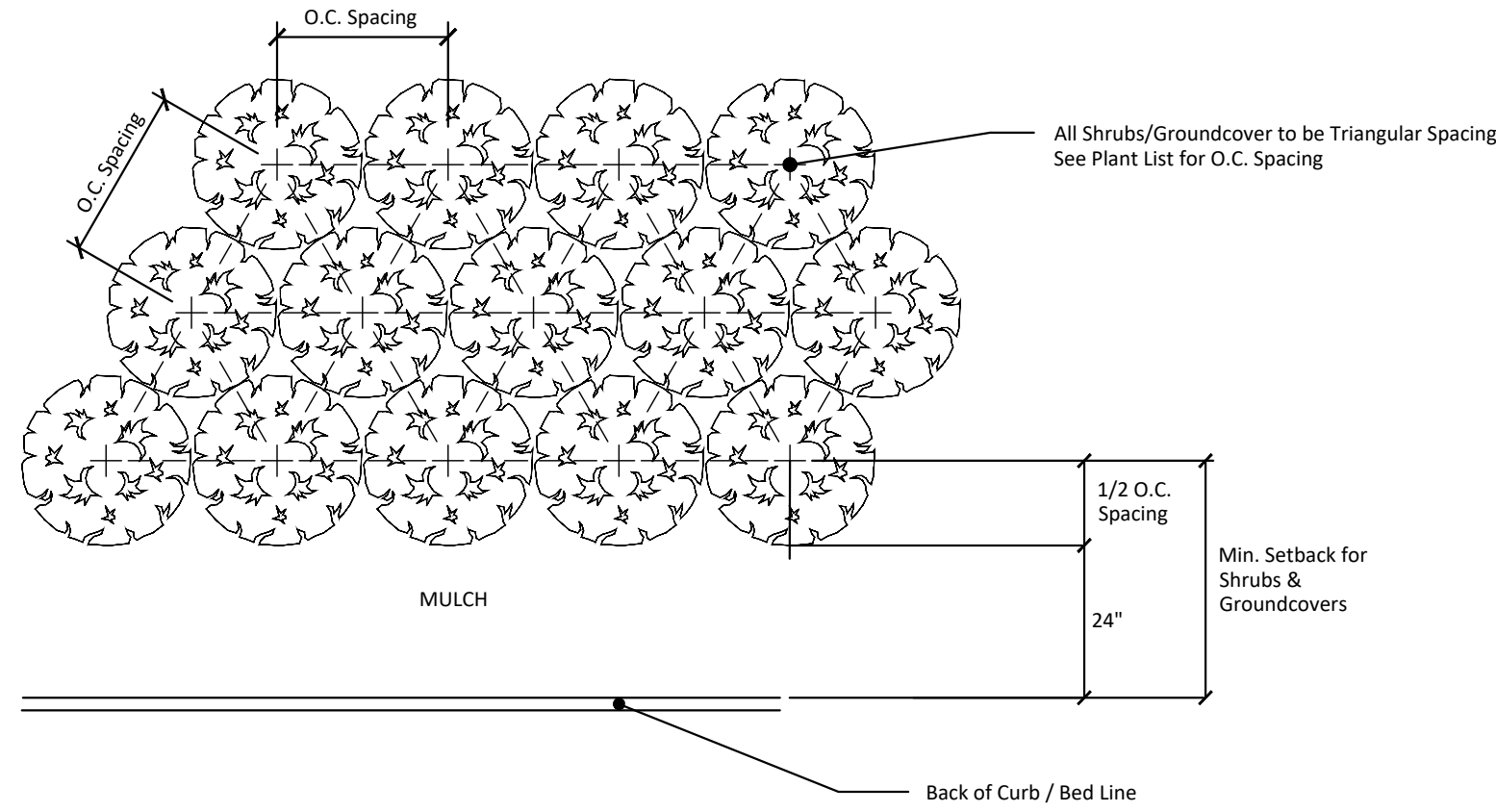
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CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
2022 DESIGN STANDARDS

900 SERIES:
LANDSCAPE
DETAILS

PLANT SPACING DETAIL (NO-OFFSET)

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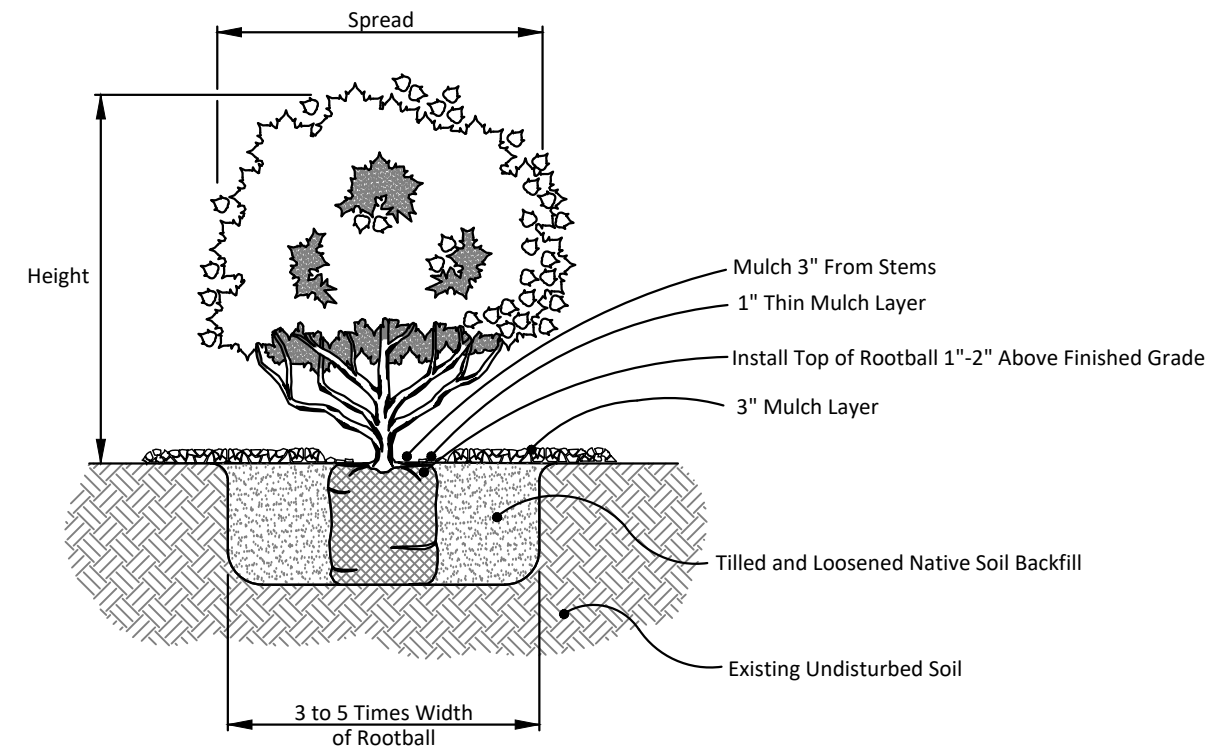
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PLANT SPACING DETAIL (24" OFFSET)

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SHRUB AND GROUNDCOVER PLANTING DETAIL

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GENERAL LANDSCAPE NOTES

- The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
- All recommended trees and plant materials will be graded as Nursery Grade No. 1 or better as outlined by the Florida Department of Agriculture and Consumer Services, Division of Plant Industry "Grades and Standards for Nursery Plants", 7th Edition, 1998 as revised from time to time.
- All planting shall be done in accordance with the Florida Nurserymen's and Grower's Associations approved practices.
- All plants shall be fertilized with Agriform 20-10-5 tablets as per the manufacturers specifications in conjunction with note # 5.
- The planting soil shall be the approximate proportions as follows: 50% sand and 50% organic material consisting of native peat, well-decomposed sawdust, leaf mold and top soil. It shall provide a good pliable and thoroughly mixed medium with adequate aeration, drainage and water-holding capacity. It shall also be free of all extraneous debris, such as roots, stones, weeds, etc.
- All planting areas shall receive a 3" layer of recycled hardwood log mulch, which is to be watered-in after installation.
- The plant material schedule is presented for the convenience of the Landscape Contractor. In the event of a discrepancy between the plan and the plant key, the plan shall prevail.
- Plants shall meet size, container, and spacing specifications. Any material not meeting specifications shall be removed and replaced at the contractor's expense.
- All tree and shrub locations are subject to change. All locations shall be approved by the City Project Manager prior to planting.
- The Landscape Contractor shall be responsible for examining fully both the site and the bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the City Project Manager in writing at the time of bidding or discovery. No account shall be made after contract completion for failure to report such condition, or for errors on the part of the Landscape Contractor at the time of bidding.
- The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth in this plan set and the specifications.
- Plant material shall be bid as specified unless unavailable, at which time the City Project Manager will be notified by telephone and in writing of intended changes.
- Any and all questions concerning the plan set and/or specifications shall be directed to the City Project Manager at (727) 562-4737.
- There shall be no additions, deletions or substitutions without the written approval of the City Project Manager.
- The Landscape Contractor shall guarantee, in writing, plant survivability for a period of twelve (12) months from final acceptance by the City Project Manager.
- All dimensions to be field-checked by the Landscape Contractor prior to landscape material installation. Discrepancies shall be reported immediately to the City Project Manager.
- All materials must be as specified on the landscape plan. If materials or labor do not adhere to specifications, they will be rejected by the City Project Manager with proper installation carried out by Landscape Contractor at no additional cost.
- All permits necessary are to be provided by the installing contractor unless otherwise specifically stated in the specifications.
- No contractor identification signs shall be permitted on the project, except for the project information signs.
- Existing sod shall be removed as necessary to accommodate new plantings.
- Any existing sod areas that are unnecessarily disturbed during the landscape installation shall be resodded to match existing.
- The Landscape Contractor will be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.

CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
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GENERAL LANDSCAPING NOTES

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IRRIGATION NOTES

- A low volume irrigation system, that provides 100% coverage of all plantings and sod, will be designed and installed by contractor.
- The proposed irrigation system must meet or exceed all applicable City code requirements (ie., Back Flow Prevention, Automatic Rain Shutoff Device, etc...)
- Contractor must coordinate location and size of irrigation water meter with the City Project Manager.
- Contractor must coordinate the placement and power supply for the irrigation control timer with the City Project Manager.
- The proposed irrigation system must use irrigation components from the Parks & Recreation Department's most current approved products list, available from the City Project Manager.
- The proposed irrigation system must be designed in compliance with the Parks & Recreation Department's Irrigation System Design guidelines, available from the City Project Manager.
- Irrigation Shop Drawings must be prepared and submitted for approval by the City Project Manager prior to commencement of work.
- The irrigation system must be inspected and accepted by the City Project Manager prior to backfilling trenches or installation of mulch.
- Irrigation As-Built drawings, which accurately and clearly identify any and all modifications and/or substitutions, must be submitted to the City Project Manager prior to final inspection and acceptance.

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IRRIGATION NOTES

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FERTILIZATION NOTES

SHRUBS AND TREES

All trees and shrubs shall be fertilized with "Agriform" 20-15-5 planting tablets at time of installation and prior to completion of pit backfilling. Tablets shall be placed uniformly around the root mass at a depth that is between the middle and bottom of the root mass.

APPLICATION RATE:

1 Gallon Can:	1 - 21 Gram Tablets
3 Gallon Can:	2 - 21 Gram Tablets
5 Gallon Can:	3 - 21 Gram Tablets
7 Gallon Can:	4 - 21 Gram Tablets
Trees:	3 - 21 Gram Tablets Each 1/2" of Caliper
Palms:	7 - 21 Gram Tablets

GROUNDCOVER AREAS

All groundcover areas shall receive fertilization with "Ozmocote" time release fertilizer as per manufacturer's specifications.

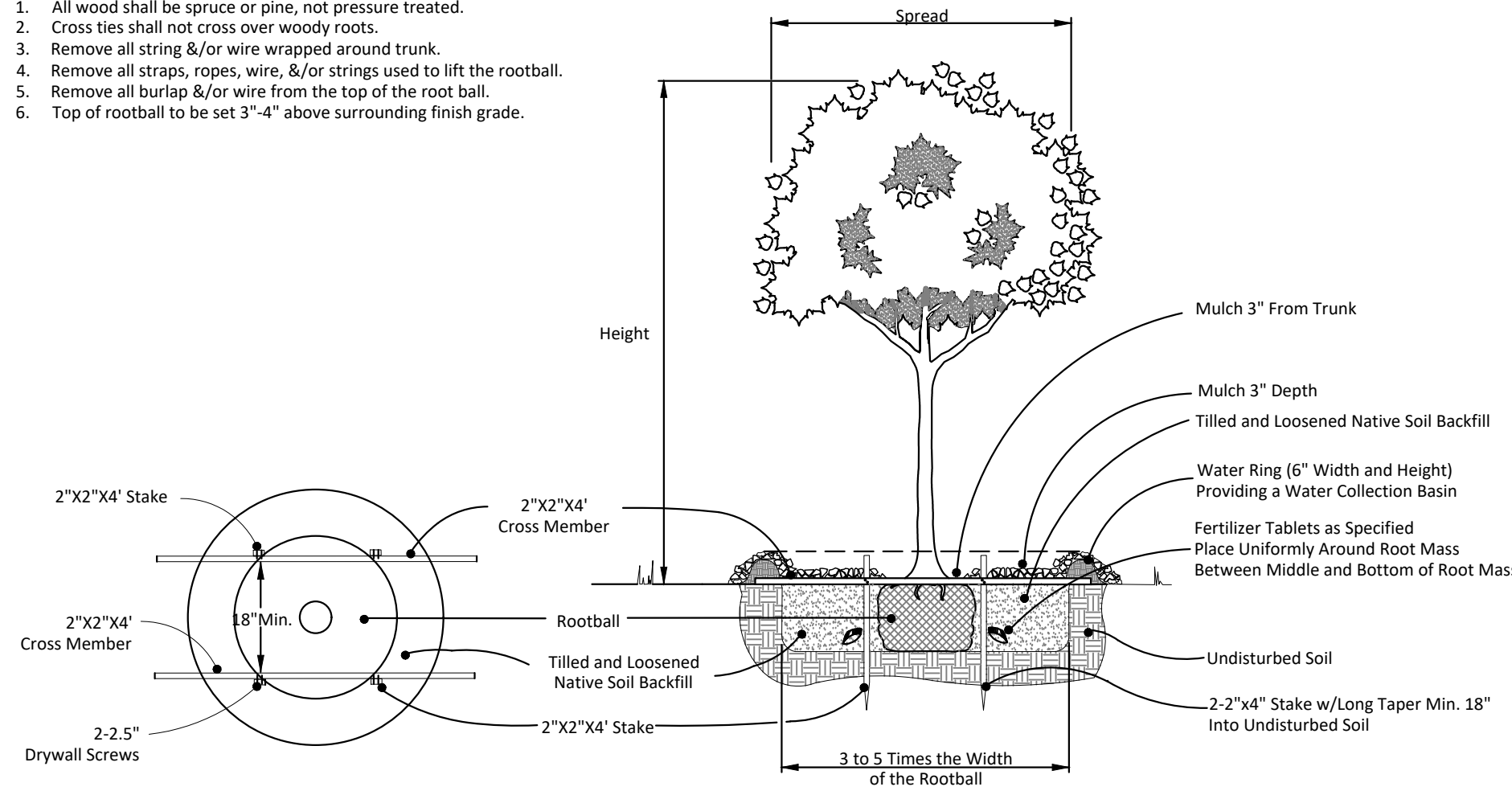
CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
2022 DESIGN STANDARDS

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DETAILS

FERTILIZATION NOTES

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- NOTES:
- All wood shall be spruce or pine, not pressure treated.
 - Cross ties shall not cross over woody roots.
 - Remove all string &/or wire wrapped around trunk.
 - Remove all straps, ropes, wire, &/or strings used to lift the rootball.
 - Remove all burlap &/or wire from the top of the root ball.
 - Top of rootball to be set 3"-4" above surrounding finish grade.



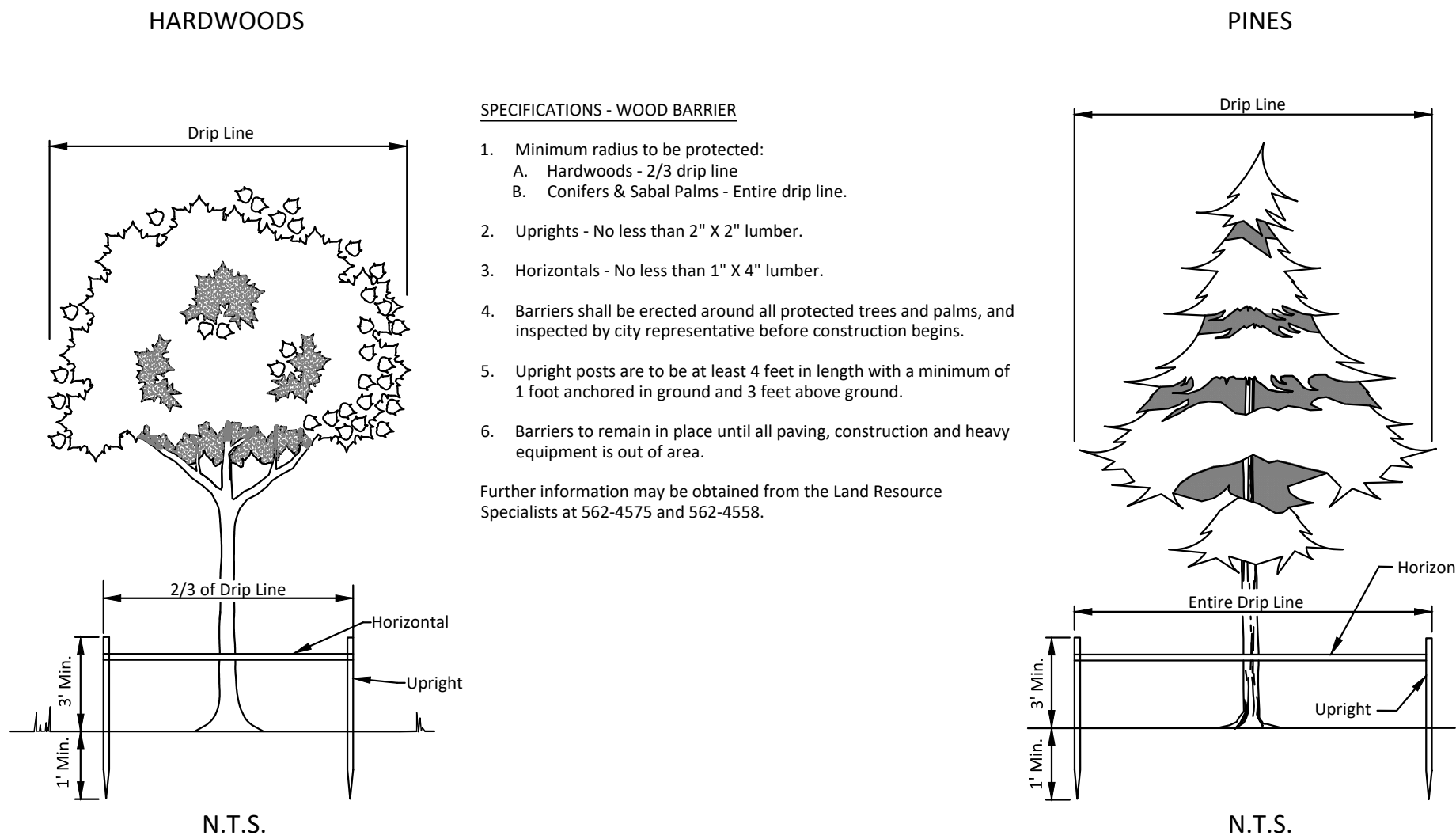
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PUBLIC WORKS - ENGINEERING
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TREE PLANTING DETAIL

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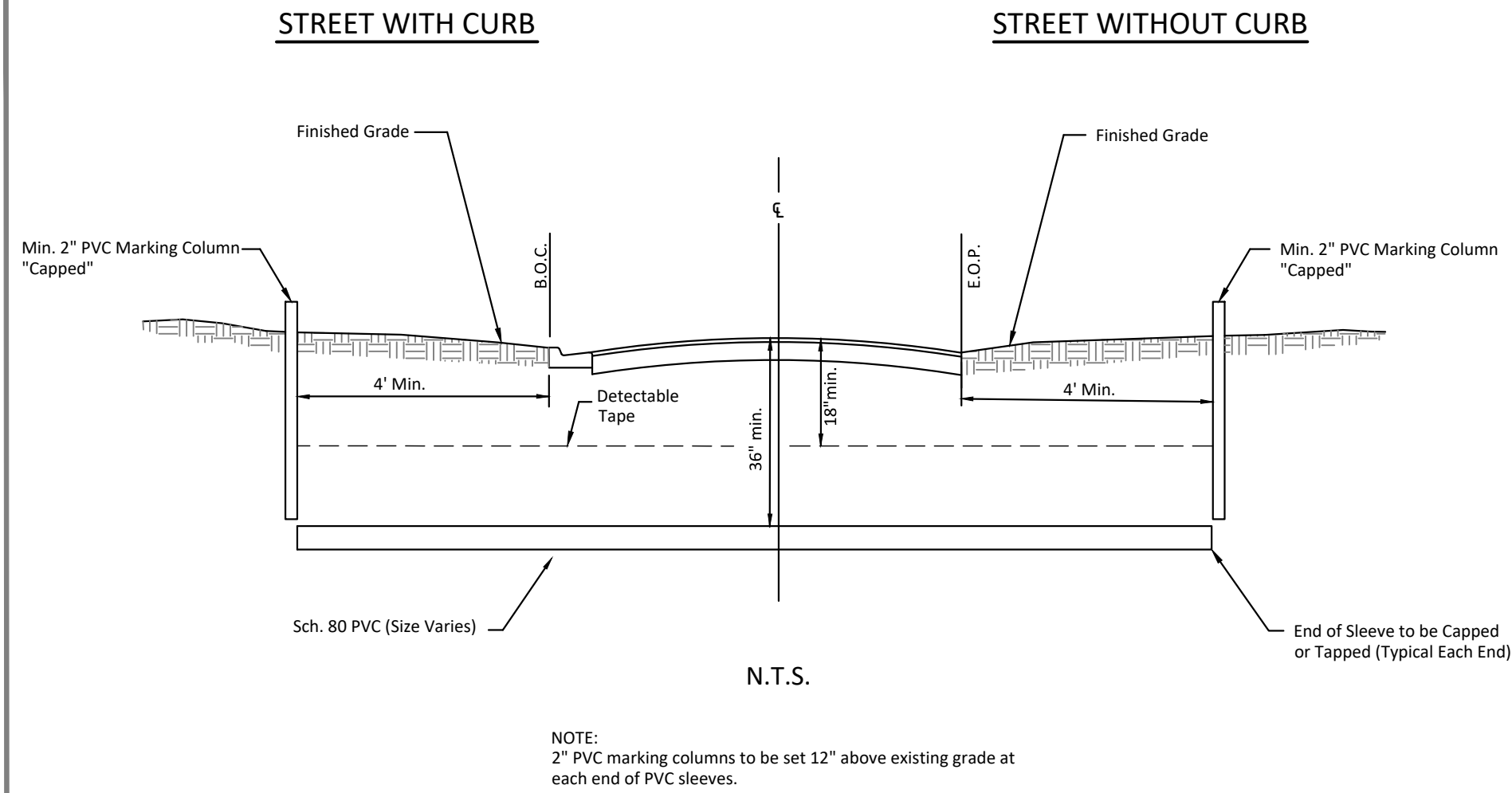
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PUBLIC WORKS - ENGINEERING
2022 DESIGN STANDARDS

900 SERIES:
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DETAILS

TREE BARRICADES

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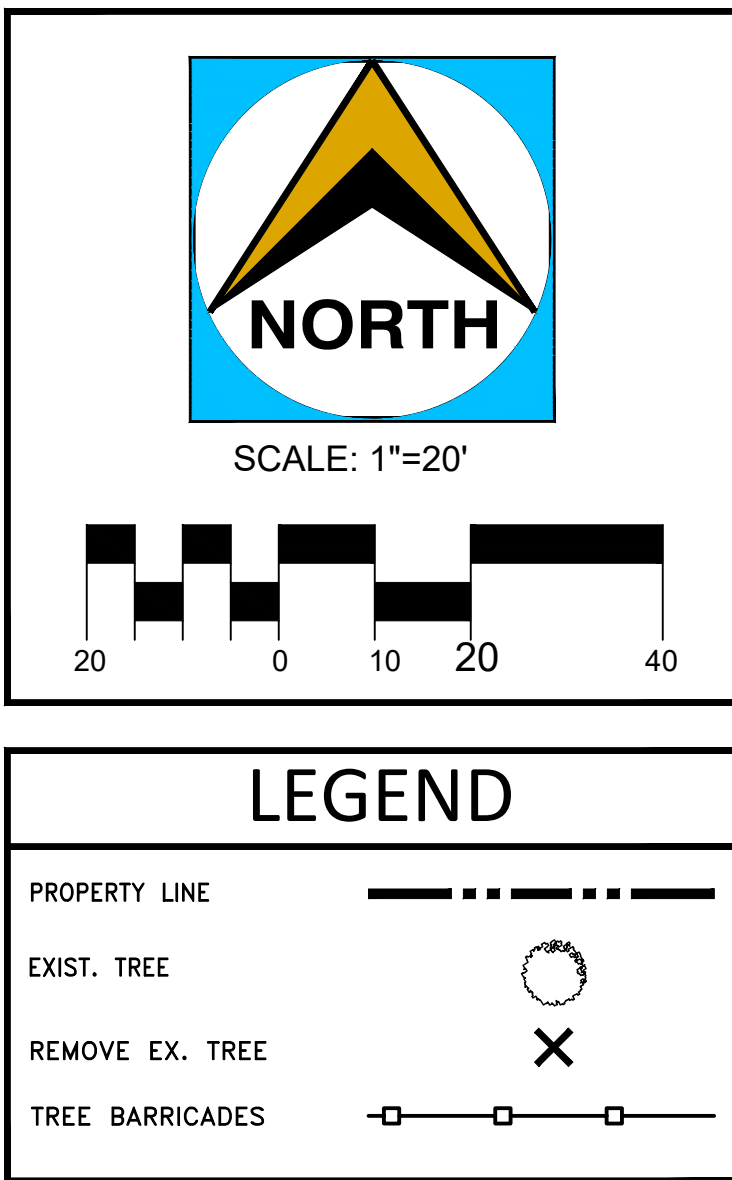
NOTE:
2" PVC marking columns to be set 12" above existing grade at each end of PVC sleeves.

CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
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TYPICAL IRRIGATION SLEEVE

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Tree Table, Self-Storage Warehouse, 1446 S. Missouri Ave.						9/4/2025
Inventory ID	Type	Remove	DBH	Condition Rating	Notes	Replacement Inches
1	Laurel Oak	Yes	12"	3		12
2	Queen Palm	Yes	1"	2		
3	Slash Pine	Yes	13"	4		13
4	Queen Palm	Yes	1"	2		
5	Sabal Palm	Yes	1"	4		1
6	Sabal Palm	Yes	1"	5		1
7	Laurel Oak	Yes	21"	2.5		
8	Sabal Palm	No	1"	5		
9	Slash Pine	Yes	15"	4		15
10	Strangler Fig	Yes	48"	1		
11	Slash Pine	Yes	1"	3		1
12	Sabal Palm	No	1"	5	On Adjacent Property	
13	Sabal Palm	No	1"	5	On Adjacent Property	
14	Slash Pine	Yes	14"	3.5		14
15	Sabal Palm	No	1"	3	On Adjacent Property	
16	Sabal Palm	No	1"	5	On Adjacent Property	
17	Carrotwood	Yes	11"	2		
18	Laurel Oak	Yes	16"	3		16
19	Live Oak	Yes	12"	2		
20	Live Oak	Yes	22"	4		22
21	Live Oak	Yes	9"	2		
22	Sand Live Oak	Yes	19"	3		19
23	Carrotwood	Yes	9"	2		
24	Live Oak	Yes	25"	3		24
25	Sand Live Oak	Yes	23"	3.5		25
26	Sand Live Oak	Yes	17"	3		26
27	Laurel Oak	Yes	15"	2.5		27
28	Live Oak	Yes	31"	3.5		31
29	Sabal Palm	Yes	1"	4		1
30	Carrotwood	Yes	6"	2		
31	Carrotwood	Yes	6"	2		
32	Carrotwood	Yes	6"	2		
33	Sabal Palm	No	1"	5		
34	Slash Pine	Yes	12"	3		12
35	Carrotwood	Yes	4"	2		
36	Slash Pine	Yes	12"	3		12
37	Laurel Oak	Yes	5"	5		5
38	Slash Pine	Yes	16"	3		16
39	Carrotwood	Yes	8"	2		
40	Slash Pine	Yes	12"	3		12
41	Live Oak	Yes	14"	3		14
42	Slash Pine	Yes	12"	3		12
43	Sabal Palm	Yes	1"	4		1
44	Sabal Palm	No	1"	4	On Adjacent Property	
45	Sabal Palm	Yes	1"	4		1
46	Slash Pine	Yes	12"	2.5		
47	Sabal Palm	Yes	1"	4		1
48	Sabal Palm	Yes	1"	4		1
49	Slash Pine	Yes	10"	2.5		
50	Sabal Palm	No	1"	4	On Adjacent Property	
51	Sabal Palm	No	1"	4	On Adjacent Property	
52	Ligustrum	Yes	2"	1		
Required Inches						298
Proposed Inches						52.5
Deficit Inches						245.5
\$48.00 per inch						11,784.00

HARDWOODS

Diagram illustrating the N.T.S. (Not To Scale) cross-section of a hardwood tree trunk. The cross-section shows a horizontal line representing the 2/3 of the Drip Line and a vertical line representing the 1/3 of the Drip Line. The trunk diameter is labeled as 12 inches.

N.T.S.

SPECIFICATIONS - WOOD BARRIER

- Minimum radius to be protected:
 - Hardwoods - 2/3 drip line
 - Conifers & Sabal Palms - Entire drip line.
- Uprights - No less than 2" X 2" lumber.
- Horizontals - No less than 1" X 4" lumber.
- Barriers shall be erected around all protected trees and palms, and inspected by city representative before construction begins.
- Upright posts are to be at least 4 feet in length with a minimum of 1 foot anchored in ground and 3 feet above ground.
- Barriers to remain in place until all paving, construction and heavy equipment is out of area.

Further information may be obtained from the Land Resource Specialists at 562-4575 and 562-4558.

PINES

Diagram illustrating the N.T.S. (Not To Scale) cross-section of a pine tree trunk. The cross-section shows a horizontal line representing the Entire Drip Line and a vertical line representing the Upright. The trunk diameter is labeled as 12 inches.

N.T.S.

CITY OF CLEARWATER
PUBLIC WORKS - ENGINEERING
2022 DESIGN STANDARDS

900 SERIES:
LANDSCAPE
DETAILS

TREE BARRICADES

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DATE	10/22/18

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Engineering, Inc.

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Due Diligence, Feasibility, and Design
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300 South Belcher Road, Clearwater, Florida 34625
Tel: (813) 787-3300
Fax: (813) 787-3301
tech@northsideengineering.net
Est. 1989

No.	Date	Description
△	08/15/25	CITY COMMENT:
△	08/27/25	DRC COMMENT:
△	/ /	
△	/ /	
△	/ /	
△	/ /	
DRAWN BY : SR		