

# Legend



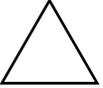
Sabal Palm Tree (8,10,12 TYP) 7



Shade Tree (Slash Pine 25/30 Gal 10'  
Height 2" Caliper (2)



Plant 1: 8' Sea Grape Accent Tree  
2" Caliper 25/30 gal (2)



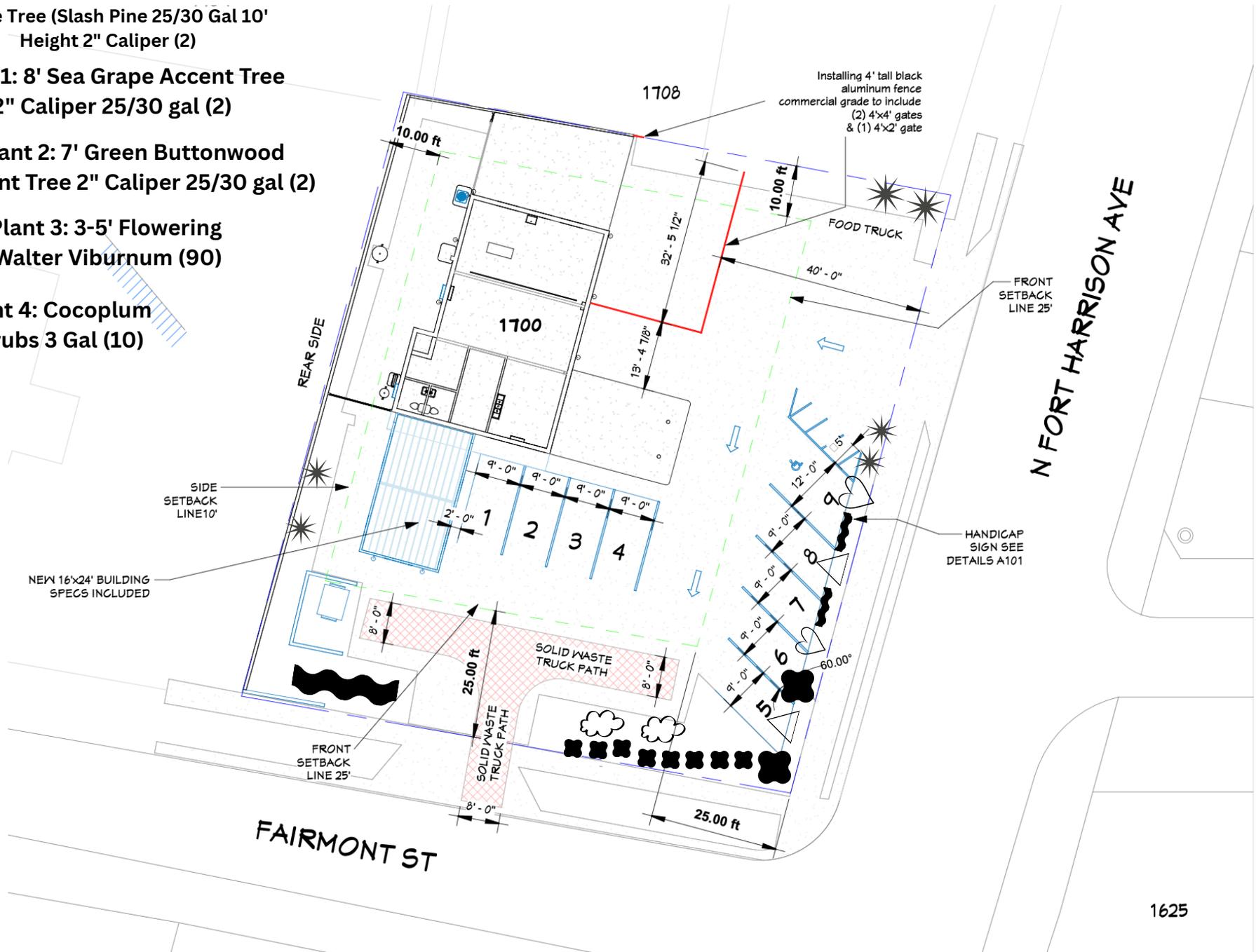
Plant 2: 7' Green Buttonwood  
Accent Tree 2" Caliper 25/30 gal (2)



Plant 3: 3-5' Flowering  
Walter Viburnum (90)



Plant 4: Cocoplum  
Shrubs 3 Gal (10)



**GENERAL LEGEND:**

- WALL TYPES TAG
- GENERAL CONSTRUCTION NOTE
- WINDOW TAG
- DOOR TAG

**WALL LEGEND:**

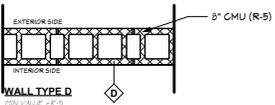
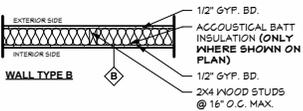
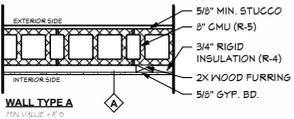
- GENERAL DEMOLITION WALL
- DOOR, WINDOW AND FIXTURES APPLIANCES TO BE REMOVED
- EXISTING TO REMAIN WALL
- NEW CONSTRUCTION WALL
- NEW CONSTRUCTION DOOR, WINDOW AND FIXTURE, APPLIANCES
- NEW IN FILL WALL

**DEMOLITION NOTES:**

- DEMOLISH AND REMOVE EXISTING CONSTRUCTION TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AS INDICATED WITHIN THE DRAWINGS.
- CONTRACTOR TO REPAIR DAMAGE TO ADJACENT CONSTRUCTION CAUSED BY DEMOLITION OPERATIONS.
- CONTRACTOR TO RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND INTO ADJOINING CONSTRUCTION IN A MANNER THAT ELIMINATES EVIDENCE OF PATCHING AND REFINISHING.
- CONTRACTOR TO PROPERLY DISPOSE OF ALL BUILDING REMOVED DURING DEMOLITION.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS INCLUDING LOAD BEARING STRUCTURAL WALLS PRIOR TO DEMOLITION. CONTRACTOR SHALL SHORE EXISTING STRUCTURAL WALLS AND CONSTRUCT ANY OR ALL NEW STRUCTURAL ELEMENTS PRIOR TO REMOVAL OF SHORING. CONTRACTOR SHALL COORDINATE WITH OWNER. DEMOLISHED MATERIAL TO BE RETURNED TO OWNER.

**WALL TYPES:**

- SCALE: 1" = 1'-0"
- NOTES:
- PROVIDE WATER RESISTANT BACKERBOARD IN LIEU OF GYPSUM BOARD AT ALL CERAMIC TILE WALLS.
  - THE EXTERIOR OF THE BUILDING SHALL BE SEALED CONTINUOUS FROM WATER INTRUSION. ALL PENETRATIONS SHALL BE SEALED FROM MOISTURE AND AIR INFILTRATION.



**MENARD**  
1700 N Fort Harrison Ave,  
Clearwater, FL 33755, USA



CITY OF CLEARWATER  
Planning & Development Department  
Impervious Surface Ratio (ISR) Worksheet  
Project Address: 1700 N FT HARRISON AVE  
Case Number: \_\_\_\_\_

**IMPERVIOUS SURFACE RATIO:** means a measurement of intensity of hard surfaced development on a site, basically any surface that is not grass or landscaped areas on private property. An impervious surface ratio is the relationship between the total impervious versus the pervious areas or the total lot area.

ISR is calculated by dividing the square footage of the total area of all impervious surfaces on the parcel by the total square footage of the total land area.

LIST OF IMPERVIOUS ITEMS:

House (first floor footprint) 1784 = 148.13%

Driveway \_\_\_\_\_

Walkways \_\_\_\_\_

Patio/Land \_\_\_\_\_

Pool \_\_\_\_\_

Deck \_\_\_\_\_

Sheds (EXCLUDED BY POLICY) (first floor footprint) ABOVE \_\_\_\_\_

Roofs (Concrete slab) 2025 \_\_\_\_\_

Artificial Turf \_\_\_\_\_

Other OPEN SPACE = 2021 \_\_\_\_\_

TOTAL SQUARE FEET 121350 \_\_\_\_\_

IMPERVIOUS AREA 2029 DIVIDED BY LAND AREA 13150 EQUALS 15.4% \_\_\_\_\_

OPEN SPACE AREA 921 DIVIDED BY LAND AREA 13150 EQUALS 7.0% \_\_\_\_\_

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**DESIGN DATA**

**BUILDING CODE INFORMATION**

- 2023 FLORIDA RESIDENTIAL BUILDING CODE - (8TH EDITION)
- 2023 FLORIDA BUILDING CODE - (8TH EDITION)
- 2023 FLORIDA PLUMBING CODE
- 2023 FLORIDA MECHANICAL CODE
- 2023 FLORIDA FUEL GAS CODE
- 2023 FLORIDA FIRE PREVENTION CODE - (8TH EDITION)
- 2023 FLORIDA ACCESSIBILITY CODE
- 2023 FLORIDA ENERGY CONSERVATION CODE
- NATIONAL ELECTRIC CODE 2020 (NFPA 70)
- ASCE 7-22

**DATUM**

WINDBORNE DEBRIS AREA	YES
V(u)	150 MPH
V(ssd)	116 MPH
RISK CATEGORY	II
SURFACE ROUGHNESS	B
EXPOSURE	PARTIALLY ENCLOSED
DESIGN	0.15
INTERNAL PRESSURE COEFFICIENT (+/-)	
BUILDING HEIGHT (MAXIMUM)	15 FT
MEAN ROOF HEIGHT	15
HEIGHT & EXPOSURE ADJUSTMENT COEFF.	0.52
h <sub>w</sub>	15 FT
h <sub>z</sub>	4 FT

**LOADING**

LIVE LOAD	(ROOF)	20	PSF
DEAD LOAD	(ROOF)	15	PSF

CONCRETE	3000	PSI
LUMBER	SP # 2	
SOIL BEARING CAPACITY	1500	PSF ASSUMED

**FLOOD HAZARD AREA**

NO

**TYPE OF CONSTRUCTION**

EXISTING:	TYPE III-B
PROPOSED:	TYPE III-B
TYPE OF WORK	ADDITION / ALTERATION
OCCUPANCY	B BUSINESS

**DESIGN WIND LOADS - DOORS, WINDOWS, COMPONENTS AND CLADDING DESIGN**

ROOF	SLOPE 20-27°	PITCH 5/12 TO 8/12	ROOF TYPE - GABLE	Ys&d	
				POS	NEG
ZONE 1				14.84	-28.37
ZONE 2e				14.84	-28.37
ZONE 2n				14.84	-45.26
ZONE 2r				14.84	-45.26
ZONE 2e				14.84	-45.26
ZONE 3r				14.84	-53.63

**WALL**

ZONE 4				19.93	-21.57
ZONE 5				19.93	-26.65

**GARAGE DOOR (9X7)**

(16X7)				17.47	-19.76
				16.73	-18.61

**PROFESSIONAL ENGINEERING EXEMPTIONS**

PER CHAPTER 411, FLORIDA STATUTES, THE FOLLOWING IS STATED:

411.003 QUALIFICATIONS FOR PRACTICE; EXEMPTIONS.

(2) The following persons are not required to be licensed under the provisions of this chapter as a licensed engineer:

(b) Any electrical, plumbing, air-conditioning, or mechanical contractor whose practice includes the design and fabrication of electrical, plumbing, air-conditioning, or mechanical systems, respectively, which site or he installs by virtue of a license issued under chapter 494, under former part 1 of chapter 955, Florida Statutes 2001, or under any special act or ordinance when working on any construction project which:

1. Requires an electrical or plumbing or air-conditioning and refrigeration system with a value of \$125,000 or less; and

2. a. Requires an aggregate service capacity of 600 amperes (240 volts) or less on a residential electrical system or 600 amperes (240 volts) or less on a commercial or industrial electrical system;

b. Requires a plumbing system with fewer than 250 fixture units; or

c. Requires a heating, ventilation, and air-conditioning system not to exceed a 15-ton-per-system capacity, or if the project is designed to accommodate 100 or fewer persons.

**SOB - (SCOPE OF WORK)**

**PROJECT DESCRIPTION NARRATIVE**

TO BUILD A SHED NEXT TO THE BUILDING AND HOOK ELECTRICAL UP TO IT. SHED IS FOR STORAGE PURPOSES ONLY. CLIENT HAS SUPPLIED KIT/MATERIALS.

SHED KIT SPECIFICATIONS AND BUILDING INSTRUCTIONS UPLOADED TO PORTAL AS SUPPORTING DOCUMENTS

TRADES INVOLVED  
EXTERIOR FRAMING / ELECTRICAL

**LOCATION INFORMATION & MAP**

Site Owner	1100 NORTH LLL
Site Address	1700 N Fort Harrison Ave
Parcel Number	04-24-15-05454-001-0010
Legal Description	BAY VIEW HEIGHTS BLK 1, LOTS 1 AND 2
Year Built	1950



AREA OF WORK  
MENARD  
1700 N FORT HARRISON AVE



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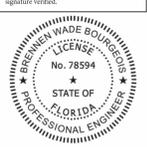
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Date: 2026.01.13 14:30:45 -05'00'

**MENARD - 1700 N FORT HARRISON AVE**  
1700 N Fort Harrison Ave,  
Clearwater, FL 33755, USA

Permitting Revisions	No.	Date	Description
	2		Revision 2

project no:	16-25
status:	Project Status
latest issue date:	01/13/2026
designed by:	Designer
drawn by:	Author
checked by:	Checker
approved by:	Approver

sheet name:  
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sheet label

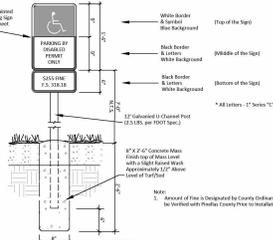
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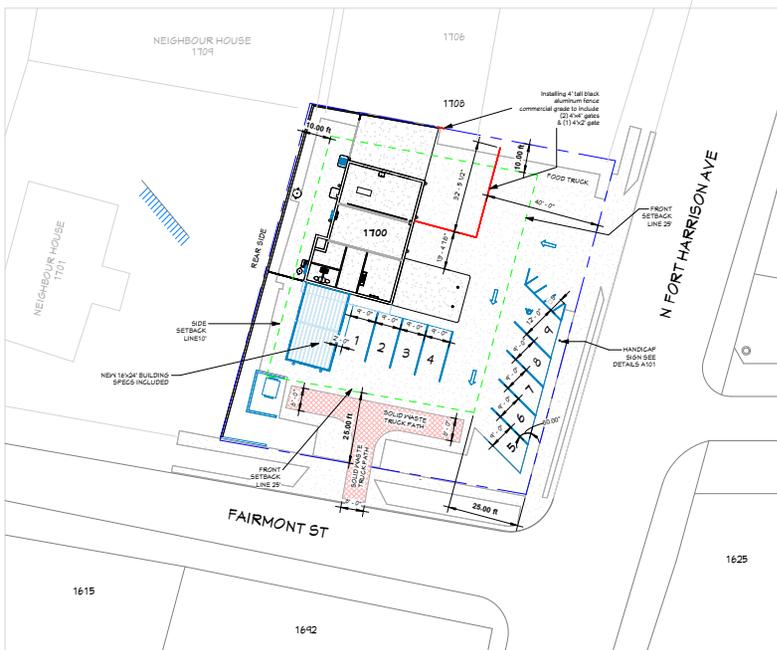
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- B. Asph/Flt (20mm)
- C. Asph/Flt (20mm)
- D. Asph/Flt (20mm)
- E. Asph/Flt (20mm)
- F. Asph/Flt (20mm)

- NOTES:
- 1. All Parking Space Striping to be White in Color.
- 2. All Concrete Slabs to be 4" MINIMUM THICKNESS, 2000 PSI MINIMUM STRENGTH, AND TO BE FINISHED WITH TYPICAL CONCRETE CURING AND SEALING.
- 3. All City of Clearwater Streets to be 12' Wide.
- 4. All City of Clearwater Streets to be 12' Wide.

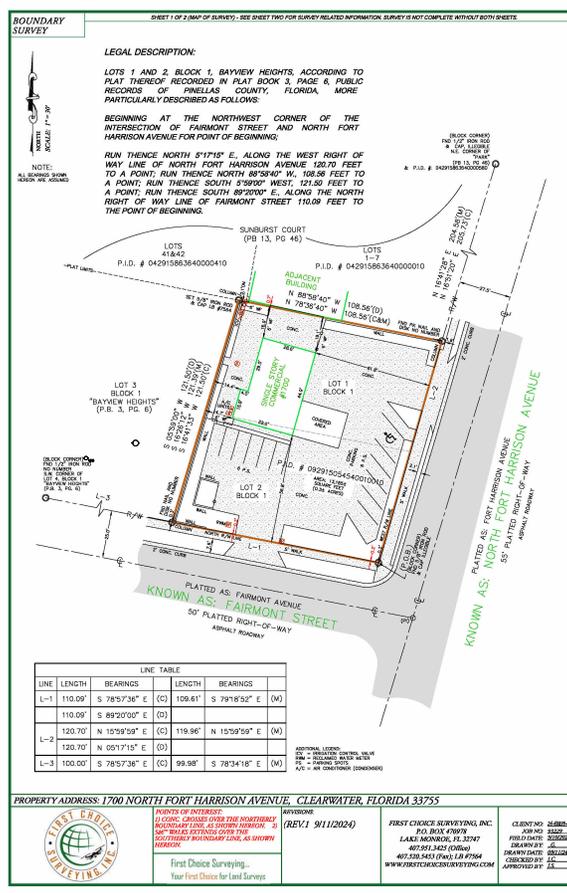
CITY OF CLEARWATER  
100 SERIES: STREET SECTIONS AND DETAILS  
STANDARD PARKING STALL  
SCALE: 1/2" = 1' - 1/2"  
DATE: 03/20/2016



CITY OF CLEARWATER  
100 SERIES: STREET SECTIONS AND DETAILS  
TYPICAL ACCESSIBLE PARKING SIGN  
SCALE: 1/2" = 1' - 1/2"  
DATE: 03/20/2016



1 SITE LAYOUT - EXISTING  
1" = 20'-0"



2 SURVEY PLAN - EXISTING  
1" = 30'-0"

**SITE LEGEND:**

- PROPERTY LINE
- WALLS
- WALL EDGE
- ROOF EDGE
- AREA OF WORK
- PROPOSED WORK

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**AIBD**  
AIBD American Institute of Building Design

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1700 N Fort Harrison Ave, Clearwater, FL 33755, USA

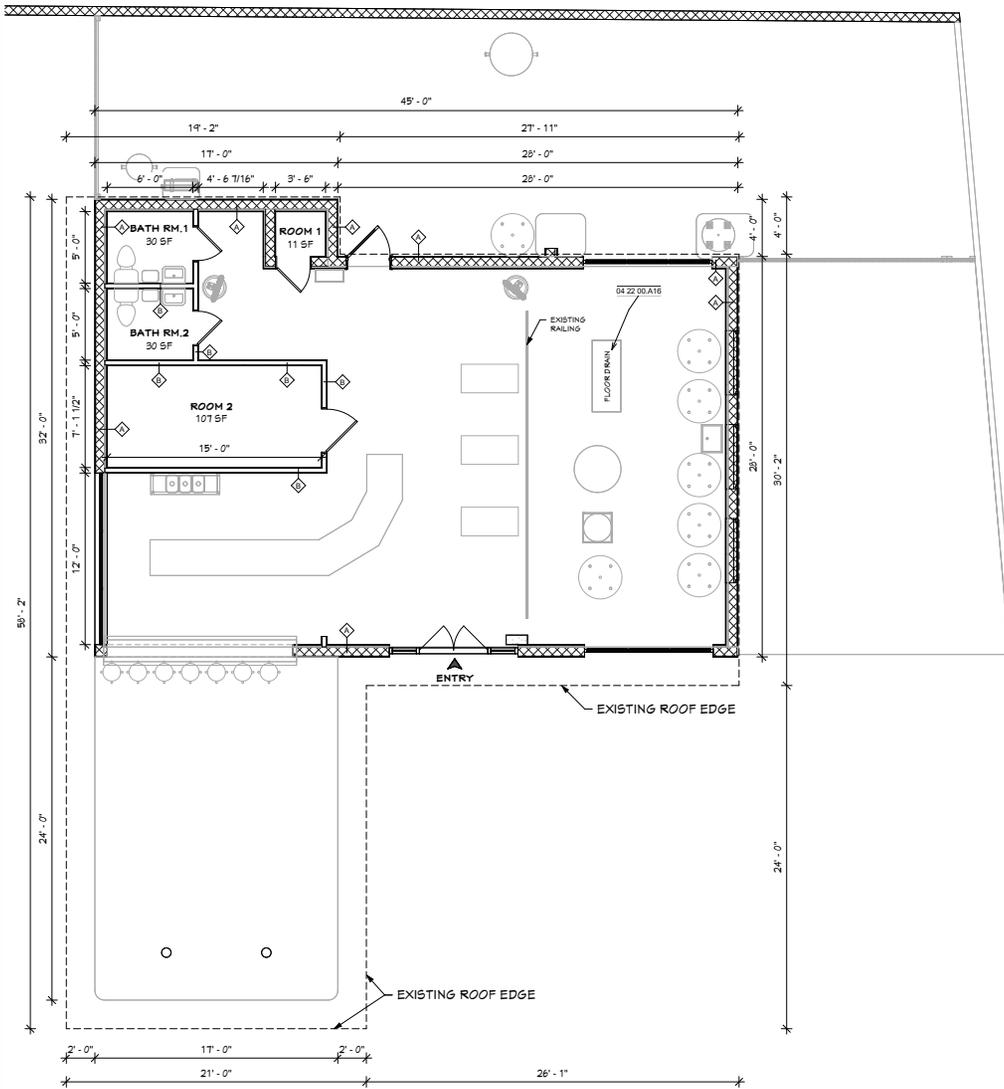
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No. Date Description  
1 2 2026.01.13

project no: 16-102  
status: Project Status  
latest issue date: 01/13/2026  
designed by: Designer  
drawn by: Author  
checked by: Checker  
approved by: Approver

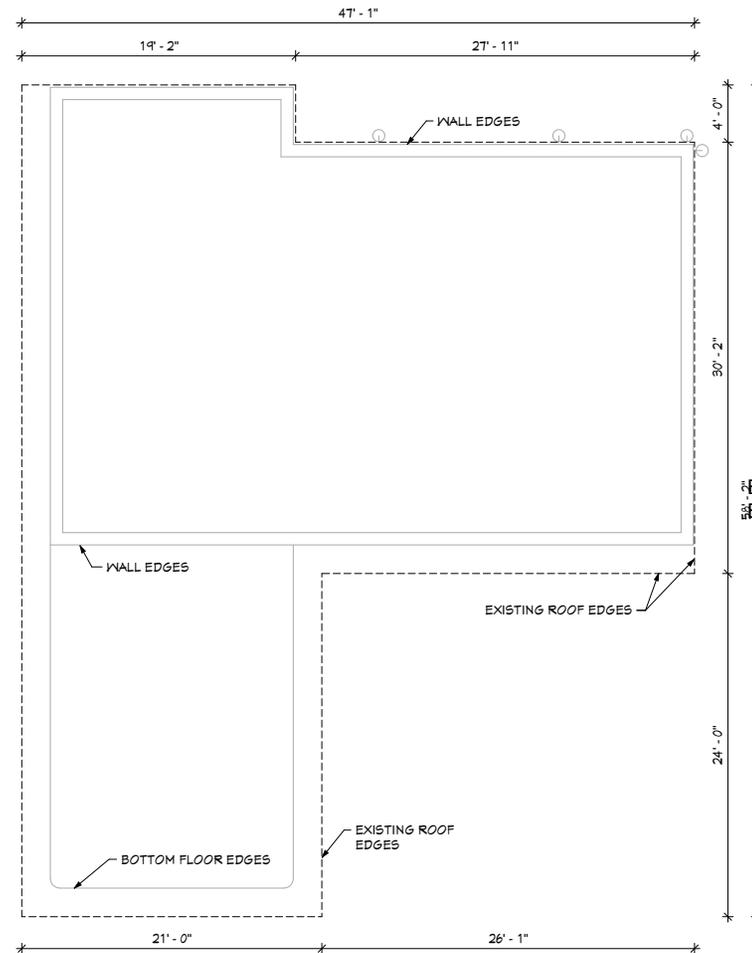
sheet name:  
**SITE LAYOUT**

sheet label:  
**A101**

TRUE NORTH



① FIRST FLOOR PLAN - EXISTING  
1/4" = 1'-0"



② ROOF PLAN - EXISTING  
1/4" = 1'-0"

**WALL LEGEND:**

- GENERAL DEMOLITION WALL
- DOOR, WINDOW AND FIXTURES APPLIANCES TO BE REMOVED
- EXISTING TO REMAIN WALL
- NEW CONSTRUCTION WALL
- NEW CONSTRUCTION DOOR, WINDOW AND FIXTURE, APPLIANCES
- NEW IN FILL WALL



TRUE NORTH



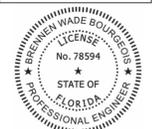
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**MENARD - 1700 N  
FORT HARRISON  
AVE**

1700 N Fort Harrison Ave,  
Clearwater, FL 33755, USA

Permitting Revisions	No.	Date	Description

project no: 746-25  
status: Project Status  
latest issue date: 01/03/2025  
designed by: J PABLO LORENZO  
drawn by: J PABLO LORENZO  
checked by: E.G.A.  
approved by: E.G.A.

sheet name:  
**FLOOR PLAN -  
EXISTING**

sheet label

**A102**



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**MENARD - 1700 N FORT HARRISON AVE**  
1700 N Fort Harrison Ave,  
Clearwater, FL 33755, USA

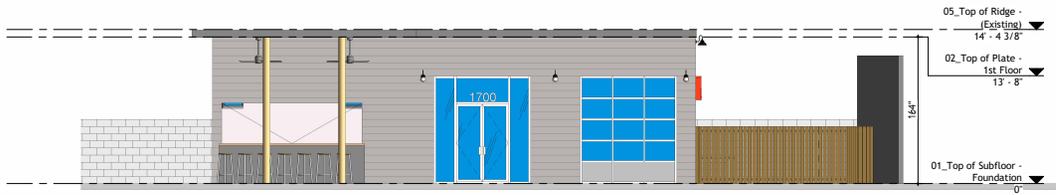
Permitting Revisions  
No. Date Description

project no: 746-25  
status: Project Status  
latest issue date: 01/29/2025  
designed by: J PABLO LORENZO  
drawn by: J PABLO LORENZO  
checked by: E.G.R.  
approved by: E.G.R.

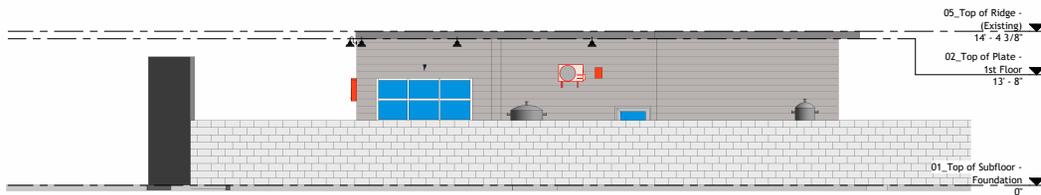
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**ELEVATION - EXISTING**

sheet label

**A103**



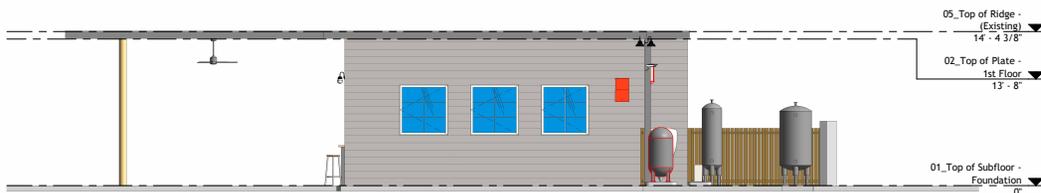
① SOUTH FRONT ELEVATION - EXISTING  
3/16" = 1'-0"



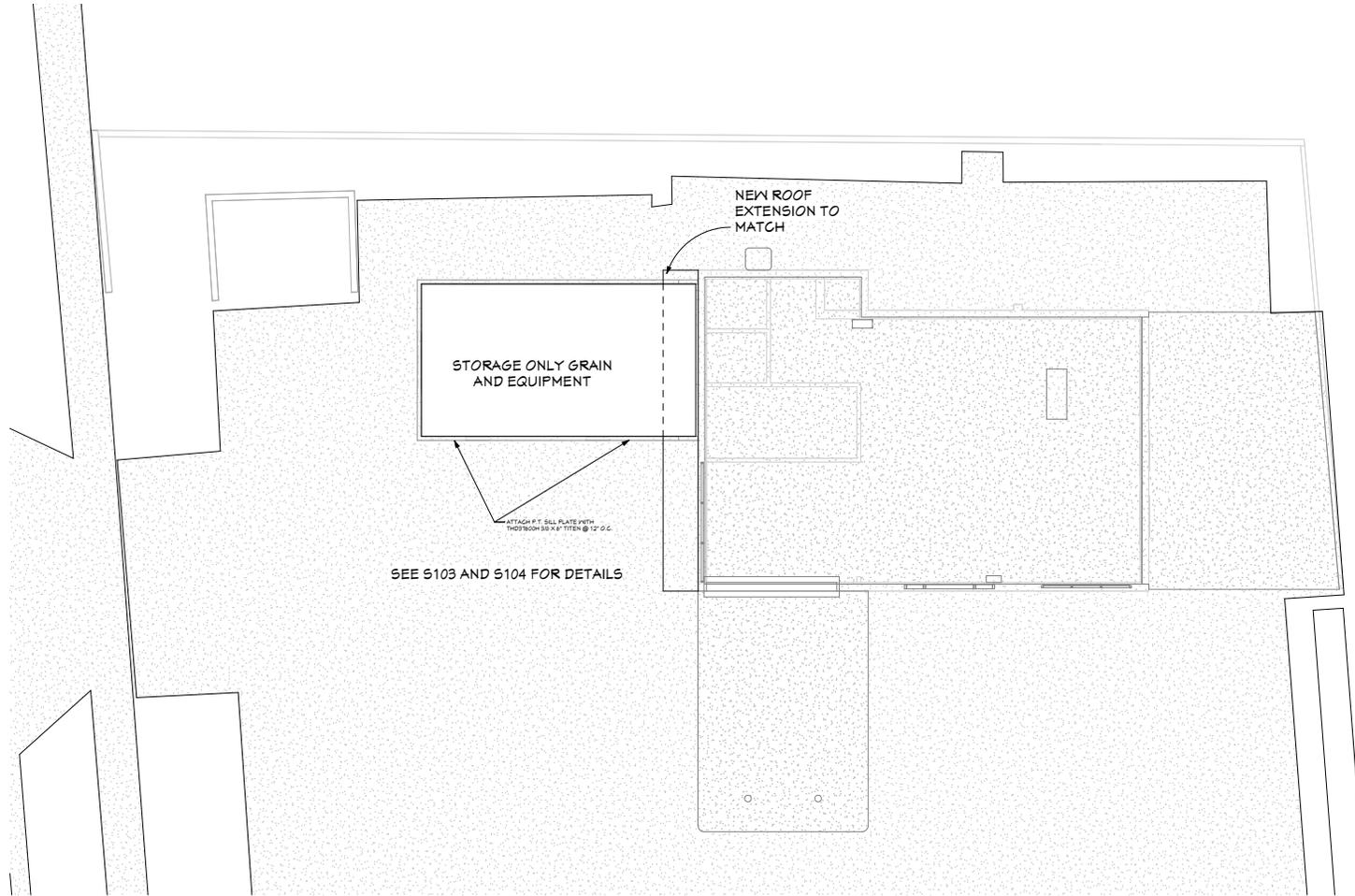
② NORTH REAR ELEVATION - EXISTING  
3/16" = 1'-0"



③ WEST LEFT ELEVATION - EXISTING  
3/16" = 1'-0"



④ EAST RIGHT ELEVATION - EXISTING  
3/16" = 1'-0"



SEE S103 AND S104 FOR DETAILS

1 ROOF FRAMING  
3/16" = 1'-0"



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**MENARD - 1700 N FORT HARRISON AVE**  
1700 N Fort Harrison Ave,  
Clearwater, FL 33755, USA

Permitting Revisions		
No.	Date	Description
2		Revision 2

project no: 24-05  
status: Project Status  
latest issue date: 01/09/2025  
designed by: J PABLO LORENZO  
drawn by: J PABLO LORENZO  
checked by: E.G.R.  
approved by: E.G.R.

sheet name:  
**FRAMING PLAN**

sheet label





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**MENARD - 1700 N  
FORT HARRISON  
AVE**

1700 N Fort Harrison Ave,  
Clearwater, FL 33755, USA

Permitting Revisions		
No.	Date	Description
2		Revision 2

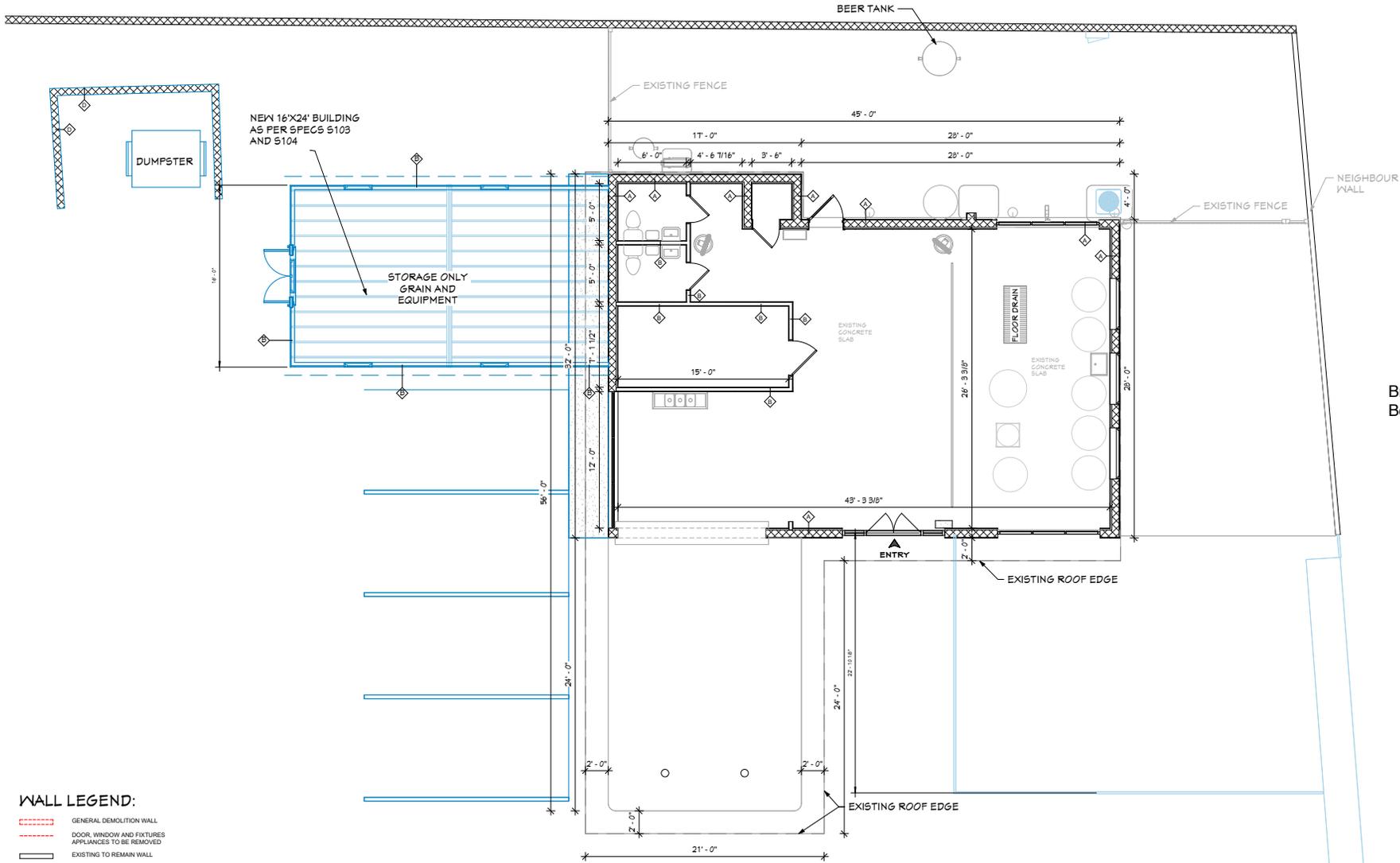
project no: 16-25  
status: Project Status  
latest issue date: 01/29/2025  
designed by: J PABLO LORENZO  
drawn by: J PABLO LORENZO  
checked by: E.G.R.  
approved by: E.G.R.

sheet name:  
**FLOOR PLAN -  
PROPOSED**

sheet label  
**A105**



TRUE NORTH

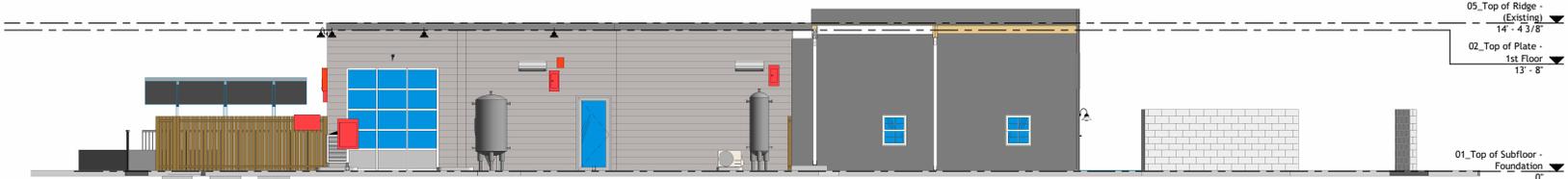


**WALL LEGEND:**

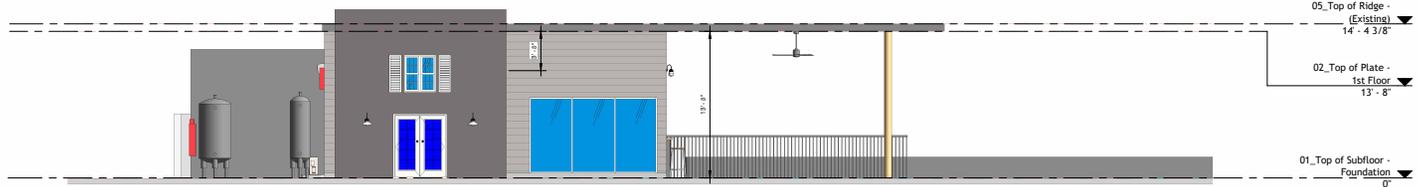
- - - - - GENERAL DEMOLITION WALL
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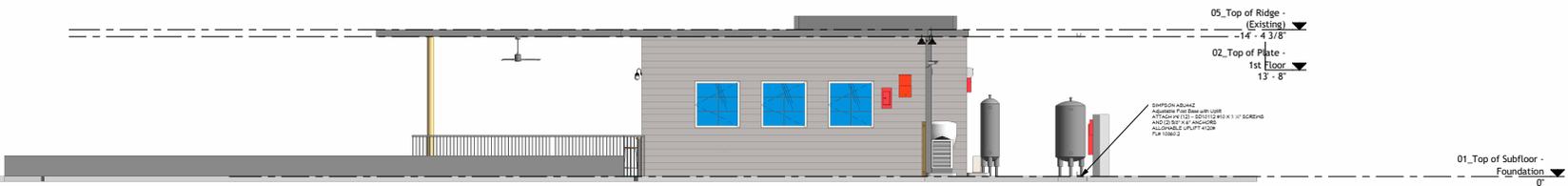
① SOUTH FRONT ELEVATION - PROPOSED  
3/16" = 1'-0"



② NORTH REAR ELEVATION - PROPOSED  
3/16" = 1'-0"



③ WEST/LEFT ELEVATION - PROPOSED  
3/16" = 1'-0"



④ EAST/RIGHT ELEVATION - PROPOSED  
3/16" = 1'-0"

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**MENARD - 1700 N FORT HARRISON AVE**  
1700 N Fort Harrison Ave,  
Clearwater, FL 33755, USA

Permitting Revisions	No.	Date	Description

project no:	14-25
status:	Project Status
latest issue date:	01/09/2025
designed by:	J PABLO LORENZO
checked by:	E.G.R.
approved by:	E.G.R.

sheet name:  
**ELEVATION - PROPOSED**

sheet label

**A106**



CLEARWATER  
BREWING  
COMPANY

1700

NO SMOKING  
IN THIS AREA

NO SMOKING  
IN THIS AREA