

Return to:  
Rob Brzak  
Engineering Department  
City of Clearwater  
P. O. Box 4748  
Clearwater, FL 33758-4748

<b>UTILITY EASEMENT</b>
-------------------------

**FOR AND IN CONSIDERATION** of the sum of Ten Dollars (\$10.00) in hand paid, the receipt of which is hereby acknowledged, and the benefits to be derived therefrom, **BAYSIDE APARTMENTS OWNER, LLC**, a Florida limited liability company, whose mailing address is 12765 W. Forest Hill Boulevard Suite 1307, Wellington, FL 33414 ("Grantor"), does hereby grant and convey to the **City of Clearwater, Florida**, a Florida municipal corporation whose mailing address is P.O. Box 4748, Clearwater, Florida 33758-4748 ("Grantee"), its licensees, agents, successors and assigns a non-exclusive easement over, under, across and through the following described land lying and being situate in the County of Pinellas, State of Florida, to wit:

See Exhibit "B" appended hereto and by this reference made a part hereof ("Easement Premises")

The **CITY OF CLEARWATER, FLORIDA**, shall have the right to enter upon the above-described premises to construct, reconstruct, install and maintain therein any and all utilities, together with appurtenances thereto (collectively, "Facilities"), and to inspect and alter such Facilities from time to time. Grantee shall be solely responsible for obtaining all governmental and regulatory permits required to exercise the rights granted herein.

The **CITY OF CLEARWATER, FLORIDA** covenants and agrees with Grantor that it shall promptly restore the Easement Premises and any affected areas surrounding the Easement Premises upon completion of any work activities undertaken in the exercise of these rights to at least the same quality of condition that existed as of the date Grantee first exercised any of its rights hereunder, and on each and every succeeding occasion thereafter. Grantee further represents and warrants that it shall diligently pursue the completion of all work activities in a timely manner.

Grantor warrants and covenants with Grantee that Grantor is the owner of fee simple title to the herein described Easement Premises, and that Grantor has full right and lawful authority to grant and convey this easement to Grantee, and that Grantee shall have the non-exclusive, limited purpose quiet and peaceful possession, use and enjoyment of this easement. It is expressly understood that Grantor reserves all rights of ownership of the Easement Premises not inconsistent with the easement rights granted herein.

In the event Grantor, its successors or assigns, should ever determine it necessary to relocate Grantee's facilities constructed within the Easement Premises to facilitate further development or redevelopment of the property encumbered hereby; then Grantor, its successors or assigns, in consultation with and upon approval of Grantee, shall provide an alternate easement for the utility facilities constructed within the Easement Premises, and shall at Grantor's sole cost and expense reconstruct the utility facilities within the alternate easement. Upon completion of the facilities relocation Grantee shall cause this easement to be vacated and evidence of vacation duly recorded in the public records of Pinellas County, Florida.

This easement is binding upon the Grantor, the Grantee, their heirs, successors and assigns. The rights granted herein shall be perpetual and irrevocable and shall run with the land, except by the written mutual agreement of both parties, or by abandonment of the Easement Premises by Grantee.

IN WITNESS WHEREOF, the undersigned grantor has caused these presents to be duly executed  
this 2 day of May, 2019.

Signed, sealed and delivered  
in the presence of:

[Signature]  
Witness signature

Tamara Duckridge  
Print witness name

[Signature]  
Witness signature

Jacquelyn Vitallo  
Print witness name

Bayside Apartments Owner, LLC

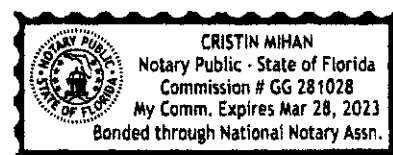
By: [Signature]  
Kevin Keane, Vice President

STATE OF FLORIDA :  
: ss  
COUNTY OF PALM BEACH :

Before me, the undersigned authority, personally appeared Kevin Keane, as  
Vice president Bayside Apartments Owner, LLC, who executed the foregoing  
instrument, and who acknowledged the execution thereof to be his/her free act and deed personally, for the  
use and purposes herein set forth, and who [☒] is personally known to me, or who [☐] did produce  
as identification.

[Signature]  
Notary Public - State of Florida  
Cristin Mihan  
Type/Print Name

My commission expires:  
2/28/23



## AFFIDAVIT OF NO LIENS

STATE OF FLORIDA               :  
                                              : ss  
COUNTY OF PALM BEACH    :

BEFORE ME, the undersigned authority, personally appeared Kevin Keane  
as vice president of Bayside Apartments Owner, LLC, whom, being duly  
authorized does depose and say:

1. That aforesaid party is the owner of legal and equitable title to the following described property in Pinellas County, Florida, to wit:

**See Exhibit "A" appended hereto and by this reference made a part hereof**

2. That there has been no labor performed or materials furnished on said property for which there are unpaid bills for labor or materials against said property, other than those which will be paid during the normal course of business, except: (list, or if none, insert "NONE". If no entry, it will be deemed that "NONE" has been entered.)

none

3. That there are no liens or encumbrances of any nature affecting the title of the property herein described, except easements and restrictions of record, any encroachments, overlaps or other rights of third parties which would be shown by a current survey, except: (list, or if none, insert "NONE." If no entry, it will be deemed that "NONE" has been entered.)

none

4. That no written notice has been received for any public hearing regarding assessments for improvements by any government, and there are no unpaid assessments against the above described property for improvements thereto by any government, whether or not said assessments appear of record.

5. That there are no outstanding sewer service charges or assessments payable to any government.

6. That the representations embraced herein have been requested by the **CITY OF CLEARWATER**, its agents, successors and assigns to rely thereon in connection with the granting of the easement herein being conveyed to encumber the above-described property.

Signed, sealed and delivered  
In the presence of:

[Signature]  
Witness signature

Bayside Apartments Owner LLC

By: [Signature]  
Kevin Keane, Vice President

Tomara Buckridge  
Print Witness Name

[Signature]  
Witness signature  
Jacquelyn Vitello  
Print Witness Name

STATE OF FLORIDA :  
: ss  
COUNTY OF PALM BEACH :

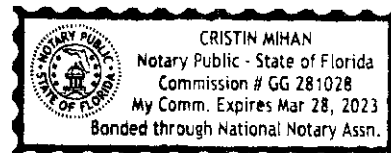
Before me, the undersigned authority, personally appeared Kevin Keane, as Vice President of Bayside Apartments Owner, LLC, who executed the foregoing instrument, and who acknowledged the execution thereof to be his/her free act and deed personally, for the use and purposes herein set forth, and who [ ✓ ] is personally known to me, or who [ ] did produce \_\_\_\_\_ as identification.

[Signature]  
Notary Public - State of Florida

Cristin Mihan  
Type/Print Name

My commission expires:

3/28/23



**THIS IS NOT A SURVEY**

THERE MAY BE ADDITIONAL RESTRICTIONS AFFECTING THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

THIS LEGAL DESCRIPTION AND SKETCH WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH REPORT.

BEARINGS ARE BASED UPON: SEE THE LEGAL DESCRIPTION AND SKETCH

**LEGAL DESCRIPTION:**

A parcel of land being a portion of Lot 2 and Lot 3, according to the plat of ARBOR SHORELINE, as recorded in Plat Book 137, Page 41, of the Public Records of Pinellas County, Florida, lying in Section 20, Township 29 South, Range 16 East, Pinellas County, Florida, being more particularly described as follows:

COMMENCE at the Northwest corner of Lot 2, according to the plat of ARBOR SHORELINE, as recorded in Plat Book 137, Page 41, of the Public Records of Pinellas County, Florida; thence S89°13'57"E, along the North line of said Lot 2 (being the basis of bearings for this legal description), for 412.16 feet to the POINT OF BEGINNING; thence continue S89°13'57"E, along said North line of Lot 2, for 11.00 feet; thence leaving said North line of Lot 2, S01°36'17"W, for 54.29 feet; thence S88°26'47"E, for 78.43 feet to REFERENCE POINT A; thence S88°03'30"E, for 111.74 feet; thence S88°45'00"E, for 118.58 feet; thence S01°35'22"W, for 17.45 feet; thence S86°57'13"E, for 10.82 feet; thence S03°02'47"W, for 11.00 feet; thence N86°57'13"W, for 10.69 feet; thence S03°02'47"W, for 50.58 feet; thence S09°43'33"W, for 70.02 feet; thence S32°36'15"E, for 13.02 feet; thence S13°34'39"W, for 39.10 feet; thence S76°25'21"E, for 7.34 feet; thence S13°34'39"W, for 16.25 feet; thence N76°25'21"W, for 7.34 feet; thence S13°34'39"W, for 7.20 feet; thence N76°51'40"W, for 95.60 feet; thence S13°11'29"W, for 75.61 feet; thence S55°15'00"W, for 31.50 feet; thence N86°03'54"W, for 19.35 feet; thence N89°17'26"W, for 37.30 feet; thence S00°59'15"W, for 93.44 feet; thence S00°16'52"W, for 35.13 feet; thence S89°43'08"E, for 6.98 feet; thence S00°16'52"W, for 11.00 feet; thence N89°43'08"W, for 6.98 feet; thence S00°16'52"W, for 10.21 feet; thence S89°31'15"E, for 9.57 feet; thence S00°16'52"W, for 17.46 feet; thence N89°43'08"W, for 9.57 feet; thence S00°16'52"W, for 9.99 feet; thence S47°21'01"W, for 45.41 feet; thence N89°40'29"W, for 42.74 feet to REFERENCE POINT B; thence S02°42'45"W, for 38.16 feet; thence S41°34'54"E, for 15.09 feet; thence S02°35'29"W, for 73.84 feet; thence S89°55'00"E, for 4.80 feet; thence S00°05'00"W, for 13.73 feet; thence N89°55'00"W, for 5.03 feet; thence S00°05'00"W, for 17.09 feet; thence S89°52'52"E, for 14.64 feet; thence S00°07'08"W, for 21.01 feet; thence N89°41'11"W, for 13.07 feet; thence N00°14'18"E, for 9.95 feet; thence N89°43'58"W, for 217.95 feet; thence S89°14'02"W, for 43.68 feet; thence S00°49'07"W, for 21.37 feet; thence S69°28'07"W, for 66.98 feet; thence N20°31'53"W, for 11.00 feet; thence N69°28'07"E, for 59.47 feet; thence N00°49'07"E, for 14.00 feet; thence N85°59'32"W, for 10.91 feet; thence N01°10'27"E, for 28.52 feet; thence N89°26'20"W, for 12.16 feet; thence N00°33'40"E, for 11.00 feet; thence S89°26'20"E, for 12.28 feet; thence N01°10'27"E, for 10.44 feet; thence N63°14'25"W, for 9.24 feet; thence N22°44'29"E, for 11.03 feet; thence S63°14'25"E, for 9.63 feet; thence S88°18'49"E, for 73.23 feet; thence N01°42'59"E, for 130.61 feet; thence N89°57'04"E, for 21.17 feet; thence S00°16'22"W, for 5.43 feet; thence S89°13'39"E, for 36.46 feet; thence S46°28'08"E, for 10.42 feet; thence S89°40'29"E, for 167.91 feet; thence N47°21'01"E, for 36.29 feet; thence N00°16'52"E, for 79.10 feet; thence N00°59'15"E, for 93.46 feet; thence N89°17'26"W, for 221.51 feet; thence S00°48'28"W, for 12.69 feet; thence N89°17'26"W, for 11.00 feet; thence N00°48'28"E, for 12.69 feet; thence N89°17'26"W, for 5.66 feet; thence N45°46'52"W, for 19.23 feet; thence N02°02'16"E, for 87.25 feet; thence N89°02'52"W, for 114.17 feet; thence N02°02'54"E, for 9.22 feet; thence N89°13'39"W, for 14.16 feet; thence N00°46'21"E, for 15.31 feet; thence S89°13'39"E, for 15.52 feet; thence N00°46'21"E, for 36.09 feet; thence N49°12'13"E, for 15.34 feet to REFERENCE

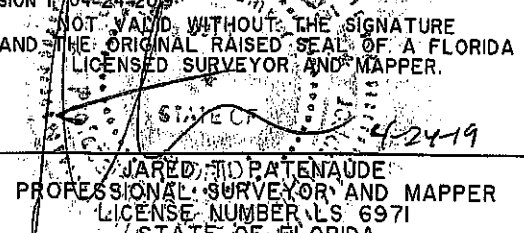
NOTE: THE GEOMETRY PERTAINING TO THE PARCEL OF LAND BEING DESCRIBED HEREIN (THE DESCRIPTION) IS SOLELY BASED UPON THE RECORDED DOCUMENTS HEREON, AS WELL AS THE PLAT OF ARBOR SHORELINE, AS RECORDED IN PLAT BOOK 137, PG 41, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA AND IS SUBJECT TO AN ACCURATE FIELD BOUNDARY SURVEY.


PREPARED FOR:

**BAINBRIDGE**

SHEET DESCRIPTION:

**EXHIBIT B - WATER EASEMENT - LEGAL DESCRIPTION AND SKETCH**

SCALE: <b>NONE</b>	DATE: <b>12-20-2018</b>	DRAWN: <b>DES</b>	CALCED: <b>BGD</b>	CHECKED: <b>BGD</b>	SEE SHEET 1-3 FOR LEGAL DESCRIPTION SEE SHEET 4 KEY SHEET AND LEGEND SEE SHEET 5 AND 6 FOR TABLES SEE SHEET 7 AND 8 FOR SKETCHES REVISION 1: 104-24-2019-301-000000 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.  JARED D. PATENAUDE PROFESSIONAL SURVEYOR AND MAPPER LICENSE NUMBER LS 6971 STATE OF FLORIDA
JOB No.: <b>2014-0013</b>	EPN: <b>335</b>	SECTION: <b>20</b>	TOWNSHIP: <b>29 S</b>	RANGE: <b>16 E</b>	



**FLORIDA DESIGN CONSULTANTS, INC.**

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3030 STARKEY BOULEVARD, NEW PORT RICHEY, FLORIDA 34655  
PHONE: (800) 532-1047 FAX: (727) 848-3648 WWW.FLDESIGN.COM L.S. NO. 8707

**THIS IS NOT A SURVEY**

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BEARINGS ARE BASED UPON: SEE THE LEGAL DESCRIPTION AND SKETCH

**LEGAL DESCRIPTION (CONTINUED):**

POINT C; thence N00°17'56"W, for 114.33 feet; thence S42°12'01"W, for 16.75 feet; thence N89°13'39"W, for 6.04 feet; thence N00°46'21"E, for 4.50 feet; thence N89°13'39"W, for 4.66 feet; thence N42°12'01"E, for 26.84 feet; thence S86°21'29"E, for 9.65 feet; thence S87°26'59"E, for 53.98 feet; thence S89°29'14"E, for 136.02 feet; thence S88°17'20"E, for 61.23 feet; thence N01°36'17"E, for 54.13 feet to the POINT OF BEGINNING.

**LESS AND EXCEPT PARCEL A**

A parcel of land being a portion of Lot 2, according to the plat of ARBOR SHORELINE, as recorded in Plat Book 137, Page 41, of the Public Records of Pinellas County, Florida, lying in Section 20, Township 29 South, Range 16 East, Pinellas County, Florida, being more particularly described as follows:

COMMENCE at the REFERENCE POINT A; thence S01°44'51"W, for 11.00 feet to the POINT OF BEGINNING; thence S88°03'30"E, for 111.77 feet; thence S88°45'00"E, for 107.58 feet; thence S01°35'22"W, for 11.62 feet; thence S03°02'47"W, for 55.42 feet; thence S09°43'33"W, for 73.64 feet; thence S32°36'15"E, for 12.59 feet; thence S13°34'39"W, for 29.95 feet; thence N76°25'21"W, for 8.72 feet; thence S13°34'39"W, for 11.00 feet; thence S76°25'21"E, for 8.72 feet; thence S13°34'39"W, for 6.00 feet; thence N76°51'40"W, for 95.67 feet; thence S13°11'29"W, for 82.37 feet; thence S55°15'00"W, for 23.41 feet; thence N86°03'54"W, for 15.80 feet; thence N89°17'26"W, for 282.38 feet; thence N45°46'52"W, for 9.97 feet; thence N02°02'16"E, for 82.64 feet; thence S89°41'15"E, for 96.18 feet; thence N00°41'37"E, for 13.23 feet; thence S89°13'39"E, for 6.64 feet; thence N00°41'37"E, for 11.00 feet; thence N89°13'39"W, for 6.64 feet; thence N00°41'37"E, for 18.62 feet; thence N01°51'12"W, for 21.04 feet; thence N48°24'15"W, for 10.38 feet; thence N00°31'22"E, for 113.45 feet; thence S88°17'20"E, for 59.70 feet; thence S88°26'47"E, for 26.80 feet; thence S02°32'42"W, for 11.00 feet; thence S88°26'47"E, for 11.00 feet; thence N02°32'42"E, for 11.00 feet; thence S88°26'47"E, for 47.48 feet to the POINT OF BEGINNING.

**LESS AND EXCEPT PARCEL B**

A parcel of land being a portion of Lot 2 and Lot 3, according to the plat of ARBOR SHORELINE, as recorded in Plat Book 137, Page 41, of the Public Records of Pinellas County, Florida, lying in Section 20, Township 29 South, Range 16 East, Pinellas County, Florida, being more particularly described as follows:

COMMENCE at REFERENCE POINT B; thence N89°40'29"W, for 11.01 feet to the POINT OF BEGINNING; thence S02°42'45"W, for 42.17 feet; thence S41°34'54"E, for 15.10 feet; thence S02°35'29"W, for 74.76 feet; thence S00°05'00"W, for 25.92 feet; thence N89°43'58"W, for 205.44 feet; thence S89°14'02"W, for 48.90 feet; thence N85°59'32"W, for 5.41 feet; thence N01°10'27"E, for 38.51 feet; thence S88°18'49"E, for 77.53 feet; thence N01°42'59"E, for 112.84 feet; thence S86°30'33"E, for 15.06 feet; thence N03°29'27"E, for 11.00 feet; thence N86°30'33"W, for 15.40 feet; thence N01°42'59"E, for 4.74 feet; thence S89°13'39"E, for 39.42 feet; thence S46°28'08"E, for 14.78 feet; thence S89°40'29"E, for 122.85 feet to the POINT OF BEGINNING.

NOTE: THE GEOMETRY PERTAINING TO THE PARCEL OF LAND BEING DESCRIBED HEREIN (THE DESCRIPTION) IS SOLELY BASED UPON THE RECORDED DOCUMENTS HEREON, AS WELL AS THE PLAT OF ARBOR SHORELINE, AS RECORDED IN PLAT BOOK 137, PG 41, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA AND IS SUBJECT TO AN ACCURATE FIELD BOUNDARY SURVEY.

PREPARED FOR:

**BAINBRIDGE**

SHEET DESCRIPTION:

**EXHIBIT B - WATER EASEMENT - LEGAL DESCRIPTION AND SKETCH**

SCALE: <b>NONE</b>	DATE: <b>12-20-2018</b>	DRAWN: <b>DES</b>	CALCED: <b>BGD</b>	CHECKED: <b>BGD</b>	SEE SHEET 1-3 FOR LEGAL DESCRIPTION SEE SHEET 4 KEY SHEET AND LEGEND SEE SHEET 5 AND 6 FOR TABLES SEE SHEET 7 AND 8 FOR SKETCHES
JOB No.: <b>2014-0013</b>	EPN: <b>335</b>	SECTION: <b>20</b>	TOWNSHIP: <b>29 S</b>	RANGE: <b>16 E</b>	REVISION 1: 04-24-2019



**FLORIDA DESIGN  
CONSULTANTS, INC.**

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PHONE: (800) 532-1047 FAX: (727) 848-3648 WWW.FLODESIGN.COM L.B. NO.6707

NOT VALID WITHOUT THE SIGNATURE  
AND THE ORIGINAL/RAISED SEAL OF A FLORIDA  
LICENSED SURVEYOR AND MAPPER.

JARED C. PATENAUE  
PROFESSIONAL SURVEYOR AND MAPPER  
LICENSE NUMBER: LS 6971  
STATE OF FLORIDA

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BEARINGS ARE BASED UPON: SEE THE LEGAL DESCRIPTION AND SKETCH

**LEGAL DESCRIPTION (CONTINUED):****LESS AND EXCEPT PARCEL C**

A parcel of land being a portion of Lot 2, according to the plat of ARBOR SHORELINE, as recorded in Plat Book 137, Page 41, of the Public Records of Pinellas County, Florida, lying in Section 20, Township 29 South, Range 16 East, Pinellas County, Florida, being more particularly described as follows:

COMMENCE at REFERENCE POINT C; thence S65°32'51"E, for 12.11 feet to the POINT OF BEGINNING; thence N00°17'56"W, for 119.60 feet; thence S87°26'59"E, for 48.44 feet; thence S89°29'14"E, for 130.66 feet; thence S00°31'22"W, for 118.57 feet; thence S48°24'15"E, for 10.65 feet; thence S01°51'12"E, for 16.07 feet; thence S00°41'37"W, for 14.48 feet; thence N89°18'23"W, for 8.92 feet; thence S00°41'37"W, for 11.00 feet; thence S89°18'23"E, for 8.92 feet; thence S00°41'37"W, for 6.20 feet; thence N89°41'15"W, for 90.56 feet; thence N89°02'52"W, for 108.53 feet; thence N02°02'54"E, for 7.61 feet; thence S87°57'06"E, for 6.69 feet; thence N02°02'54"E, for 11.00 feet; thence N87°57'06"W, for 6.69 feet; thence N02°02'54"E, for 25.82 feet; thence N49°12'13"E, for 15.91 feet to the POINT OF BEGINNING.

Containing 37,874 square feet or 0.869 acres, more or less.

NOTE: THE GEOMETRY PERTAINING TO THE PARCEL OF LAND BEING DESCRIBED HEREIN (THE DESCRIPTION) IS SOLELY BASED UPON THE RECORDED DOCUMENTS HEREON, AS WELL AS THE PLAT OF ARBOR SHORELINE, AS RECORDED IN PLAT BOOK 137, PG 41, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA AND IS SUBJECT TO AN ACCURATE FIELD BOUNDARY SURVEY.


PREPARED FOR:

**BAINBRIDGE**

SHEET DESCRIPTION:

**EXHIBIT B - WATER EASEMENT - LEGAL DESCRIPTION AND SKETCH**

SCALE: <b>NONE</b>	DATE: <b>12-20-2018</b>	DRAWN: <b>DES</b>	CALCED: <b>BGD</b>	CHECKED: <b>BGD</b>	SEE SHEET 1-3 FOR LEGAL DESCRIPTION SEE SHEET 4 KEY SHEET AND LEGEND SEE SHEET 5 AND 6 FOR TABLES SEE SHEET 7 AND 8 FOR SKETCHES REVISION 1 04-24-2019 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. STATE OF JARED T. PATENAUDE PROFESSIONAL SURVEYOR AND MAPPER LICENSE NUMBER LS 6971 STATE OF FLORIDA
JOB No.: <b>2014-0013</b>	EPN: <b>335</b>	SECTION: <b>20</b>	TOWNSHIP: <b>29 S</b>	RANGE: <b>16 E</b>	



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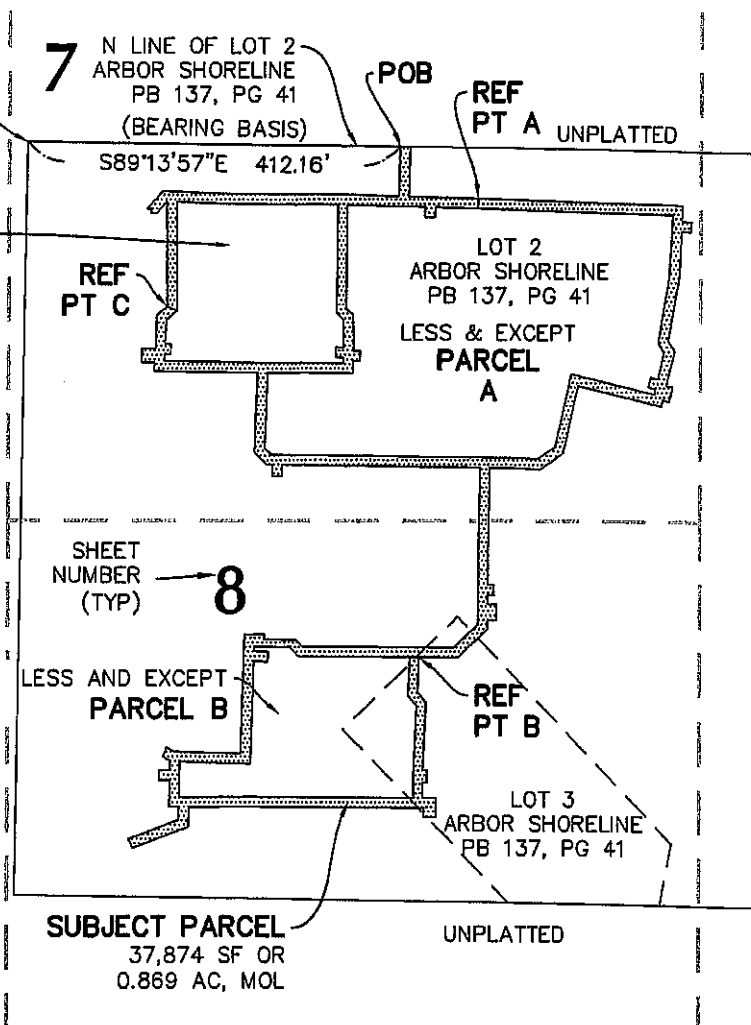
## LEGEND:

AC = ACRES  
COR = CORNER  
PB = PLAT BOOK  
PG = PAGE  
POB = POINT OF BEGINNING  
POC = POINT OF COMMENCEMENT  
PT = POINT  
MOL = MORE OR LESS  
NTS = NOT TO SCALE  
REF = REFERENCE  
SF = SQUARE FEET  
TYP = TYPICAL

N

0 100 200

1" = 200'



NOTE: THE GEOMETRY PERTAINING TO THE PARCEL OF LAND BEING DESCRIBED HEREIN (THE DESCRIPTION) IS SOLELY BASED UPON THE RECORDED DOCUMENTS HEREON, AS WELL AS THE PLAT OF ARBOR SHORELINE, AS RECORDED IN PLAT BOOK 137, PG 41, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA AND IS SUBJECT TO AN ACCURATE FIELD BOUNDARY SURVEY.

PREPARED FOR:

**BAINBRIDGE**

SHEET DESCRIPTION:

## EXHIBIT B - WATER EASEMENT - LEGAL DESCRIPTION AND SKETCH

SCALE:	DATE:	DRAWN:	CALCED:	CHECKED:
1" = 200'	12-20-2018	DES	BGD	BGD
JOB No.:	EPN:	SECTION:	TOWNSHIP:	RANGE:
2014-0013	335	20	29 S	16 E

SEE SHEET 1-3 FOR LEGAL DESCRIPTION  
SEE SHEET 4 KEY SHEET AND LEGEND  
SEE SHEET 5 AND 6 FOR TABLES  
SEE SHEET 7 AND 8 FOR SKETCHES

REVISION 1: 04-24-2019

NOT VALID WITHOUT THE SIGNATURE  
AND THE ORIGINAL RAISED SEAL OF A FLORIDA  
LICENSED SURVEYOR AND MAPPER.



**FLORIDA DESIGN  
CONSULTANTS, INC.**

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PHONE: (800) 532-1047 FAX: (727) 848-3648 WWW.FLDESIGN.COM L.B. NO.6707

JARED T. PATENAUDE  
PROFESSIONAL SURVEYOR AND MAPPER  
LICENSE NUMBER LS 6971  
STATE OF FLORIDA



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BEARINGS ARE BASED UPON: SEE THE LEGAL DESCRIPTION AND SKETCH

LINE TABLE		
LINE	BEARING	LENGTH
L1	S89°13'57"E	11.00'
L2	S01°36'17"W	54.29'
L3	S88°26'47"E	78.43'
L4	S88°03'30"E	111.74'
L5	S88°45'00"E	118.58'
L6	S01°35'22"W	17.45'
L7	S86°57'13"E	10.82'
L8	S03°02'47"W	11.00'
L9	N86°57'13"W	10.69'
L10	S03°02'47"W	50.58'
L11	S09°43'33"W	70.02'
L12	S32°36'15"E	13.02'
L13	S13°34'39"W	39.10'
L14	S76°25'21"E	7.34'
L15	S13°34'39"W	16.25'
L16	N76°25'21"W	7.34'
L17	S13°34'39"W	7.20'
L18	N76°51'40"W	95.60'
L19	S13°11'29"W	75.61'
L20	S55°15'00"W	31.50'
L21	N86°03'54"W	19.35'
L22	N89°17'26"W	37.30'

LINE TABLE		
LINE	BEARING	LENGTH
L23	S00°59'15"W	93.44'
L24	S00°16'52"W	35.13'
L25	S89°43'08"E	6.98'
L26	S00°16'52"W	11.00'
L27	N89°43'08"W	6.98'
L28	S00°16'52"W	10.21'
L29	S89°31'15"E	9.57'
L30	S00°16'52"W	17.46'
L31	N89°43'08"W	9.57'
L32	S00°16'52"W	9.99'
L33	S47°21'01"W	45.41'
L34	N89°40'29"W	42.74'
L35	S02°42'45"W	38.16'
L36	S41°34'54"E	15.09'
L37	S02°35'29"W	73.84'
L38	S89°55'00"E	4.80'
L39	S00°05'00"W	13.73'
L40	N89°55'00"W	5.03'
L41	S00°05'00"W	17.09'
L42	S89°52'52"E	14.64'
L43	S00°07'08"W	21.01'
L44	N89°41'11"W	13.07'

LINE TABLE		
LINE	BEARING	LENGTH
L45	N00°14'18"E	9.95'
L46	N89°43'58"W	217.95'
L47	S89°14'02"W	43.68'
L48	S00°49'07"W	21.37'
L49	S69°28'07"W	66.98'
L50	N20°31'53"W	11.00'
L51	N69°28'07"E	59.47'
L52	N00°49'07"E	14.00'
L53	N85°59'32"W	10.91'
L54	N01°10'27"E	28.52'
L55	N89°26'20"W	12.16'
L56	N00°33'40"E	11.00'
L57	S89°26'20"E	12.28'
L58	N01°10'27"E	10.44'
L59	N63°14'25"W	9.24'
L60	N22°44'29"E	11.03'
L61	S63°14'25"E	9.63'
L62	S88°18'49"E	73.23'
L63	N01°42'59"E	130.61'
L64	N89°57'04"E	21.17'
L65	S00°16'22"W	5.43'
L66	S89°13'39"E	36.46'

LINE TABLE		
LINE	BEARING	LENGTH
L67	S46°28'08"E	10.42'
L68	S89°40'29"E	167.91'
L69	N47°21'01"E	36.29'
L70	N00°16'52"E	79.10'
L71	N00°59'15"E	93.46'
L72	N89°17'26"W	221.51'
L73	S00°48'28"W	12.69'
L74	N89°17'26"W	11.00'
L75	N00°48'28"E	12.69'
L76	N89°17'26"W	5.66'
L77	N45°46'52"W	19.23'
L78	N02°02'16"E	87.25'
L79	N89°02'52"W	114.17'
L80	N02°02'54"E	9.22'
L81	N89°13'39"W	14.16'
L82	N00°46'21"E	15.31'
L83	S89°13'39"E	15.52'
L84	N00°46'21"E	36.09'
L85	N49°12'13"E	15.34'
L86	N00°17'56"W	114.33'
L87	S42°12'01"W	16.75'
L88	N89°13'39"W	6.04'

NOTE: THE GEOMETRY PERTAINING TO THE PARCEL OF LAND BEING DESCRIBED HEREIN (THE DESCRIPTION) IS SOLELY BASED UPON THE RECORDED DOCUMENTS HEREON, AS WELL AS THE PLAT OF ARBOR SHORELINE, AS RECORDED IN PLAT BOOK 137, PG 41, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA AND IS SUBJECT TO AN ACCURATE FIELD BOUNDARY SURVEY.

PREPARED FOR:

**BAINBRIDGE**

SHEET DESCRIPTION:

**EXHIBIT B - WATER EASEMENT - LEGAL DESCRIPTION AND SKETCH**

SCALE:	DATE:	DRAWN:	CALCED:	CHECKED:
NONE	12-20-2018	DES	BGD	BGD
JOB No.:	EPN:	SECTION:	TOWNSHIP:	RANGE:
2014-0013	335	20	29 S	16 E

SEE SHEET 1-3 FOR LEGAL DESCRIPTION  
SEE SHEET 4 KEY SHEET AND LEGEND  
SEE SHEET 5 AND 6 FOR TABLES  
SEE SHEET 7 AND 8 FOR SKETCHES

REVISION 1, 04-24-2019

NOT VALID WITHOUT THE SIGNATURE  
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LICENSED SURVEYOR AND MAPPER.



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PHONE: (800) 532-1047 FAX: (727) 848-3848 WWW.FLDESIGN.COM L.B. NO. 6707

JARED T. PATENAUDE  
PROFESSIONAL SURVEYOR AND MAPPER  
LICENSE NUMBER LS 6971  
STATE OF FLORIDA

**THIS IS NOT A SURVEY**

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THIS LEGAL DESCRIPTION AND SKETCH WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH REPORT.

BEARINGS ARE BASED UPON: SEE THE LEGAL DESCRIPTION AND SKETCH

LINE TABLE		
LINE	BEARING	LENGTH
L89	N00°46'21"E	4.50'
L90	N89°13'39"W	4.66'
L91	N42°12'01"E	26.84'
L92	S86°21'29"E	9.65'
L93	S87°26'59"E	53.98'
L94	S89°29'14"E	136.02'
L95	S88°17'20"E	61.23'
L96	N01°36'17"E	54.13'
L97	S01°44'51"W	11.00'
L98	S88°03'30"E	111.77'
L99	S88°45'00"E	107.58'
L100	S01°35'22"W	11.62'
L101	S03°02'47"W	55.42'
L102	S09°43'33"W	73.64'
L103	S32°36'15"E	12.59'
L104	S13°34'39"W	29.95'
L105	N76°25'21"W	8.72'
L106	S13°34'39"W	11.00'
L107	S76°25'21"E	8.72'
L108	S13°34'39"W	6.00'
L109	N76°51'40"W	95.67'
L110	S13°11'29"W	82.37'

LINE TABLE		
LINE	BEARING	LENGTH
L111	S55°15'00"W	23.41'
L112	N86°03'54"W	15.80'
L113	N89°17'26"W	282.38'
L114	N45°46'52"W	9.97'
L115	N02°02'16"E	82.64'
L116	S89°41'15"E	96.18'
L117	N00°41'37"E	13.23'
L118	S89°13'39"E	6.64'
L119	N00°41'37"E	11.00'
L120	N89°13'39"W	6.64'
L121	N00°41'37"E	18.62'
L122	N01°51'12"W	21.04'
L123	N48°24'15"W	10.38'
L124	N00°31'22"E	113.45'
L125	S88°17'20"E	59.70'
L126	S88°26'47"E	26.80'
L127	S02°32'42"W	11.00'
L128	S88°26'47"E	11.00'
L129	N02°32'42"E	11.00'
L130	S88°26'47"E	47.48'
L131	N89°40'29"W	11.01'
L132	S02°42'45"W	42.17'

LINE TABLE		
LINE	BEARING	LENGTH
L133	S41°34'54"E	15.10'
L134	S02°35'29"W	74.76'
L135	S00°05'00"W	25.92'
L136	N89°43'58"W	205.44'
L137	S89°14'02"W	48.90'
L138	N85°59'32"W	5.41'
L139	N01°10'27"E	38.51'
L140	S88°18'49"E	77.53'
L141	N01°42'59"E	112.84'
L142	S86°30'33"E	15.06'
L143	N03°29'27"E	11.00'
L144	N86°30'33"W	15.40'
L145	N01°42'59"E	4.74'
L146	S89°13'39"E	39.42'
L147	S46°28'08"E	14.78'
L148	S89°40'29"E	122.85'
L149	S65°32'51"E	12.11'
L150	N00°17'56"W	119.60'
L151	S87°26'59"E	48.44'
L152	S89°29'14"E	130.66'
L153	S00°31'22"W	118.57'
L154	S48°24'15"E	10.65'

LINE TABLE		
LINE	BEARING	LENGTH
L155	S01°51'12"E	16.07'
L156	S00°41'37"W	14.48'
L157	N89°18'23"W	8.92'
L158	S00°41'37"W	11.00'
L159	S89°18'23"E	8.92'
L160	S00°41'37"W	6.20'
L161	N89°41'15"W	90.56'
L162	N89°02'52"W	108.53'
L163	N02°02'54"E	7.61'
L164	S87°57'06"E	6.69'
L165	N02°02'54"E	11.00'
L166	N87°57'06"W	6.69'
L167	N02°02'54"E	25.82'
L168	N49°12'13"E	15.91'

NOTE: THE GEOMETRY PERTAINING TO THE PARCEL OF LAND BEING DESCRIBED HEREIN (THE DESCRIPTION) IS SOLELY BASED UPON THE RECORDED DOCUMENTS HEREON, AS WELL AS THE PLAT OF ARBOR SHORELINE, AS RECORDED IN PLAT BOOK 137, PG 41, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA AND IS SUBJECT TO AN ACCURATE FIELD BOUNDARY SURVEY.

PREPARED FOR:

**BAINBRIDGE**

SHEET DESCRIPTION:

**EXHIBIT B - WATER EASEMENT - LEGAL DESCRIPTION AND SKETCH**

SCALE: NONE	DATE: 12-20-2018	DRAWN: DES	CALCED: BGD	CHECKED: BGD
JOB No.:	EPN:	SECTION:	TOWNSHIP:	RANGE:
2014-0013	335	20	29 S	16 E

SEE SHEET 1-3 FOR LEGAL DESCRIPTION  
SEE SHEET 4 KEY SHEET AND LEGEND  
SEE SHEET 5 AND 6 FOR TABLES  
SEE SHEET 7 AND 8 FOR SKETCHES

REVISION J. 04-24-2019

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PHONE: (800) 532-1047 FAX: (727) 848-3648 WWW.FLDESIGN.COM L.B. NO.8707

JARED T. PATENAUE  
PROFESSIONAL SURVEYOR AND MAPPER  
LICENSE NUMBER LS 6971  
STATE OF FLORIDA



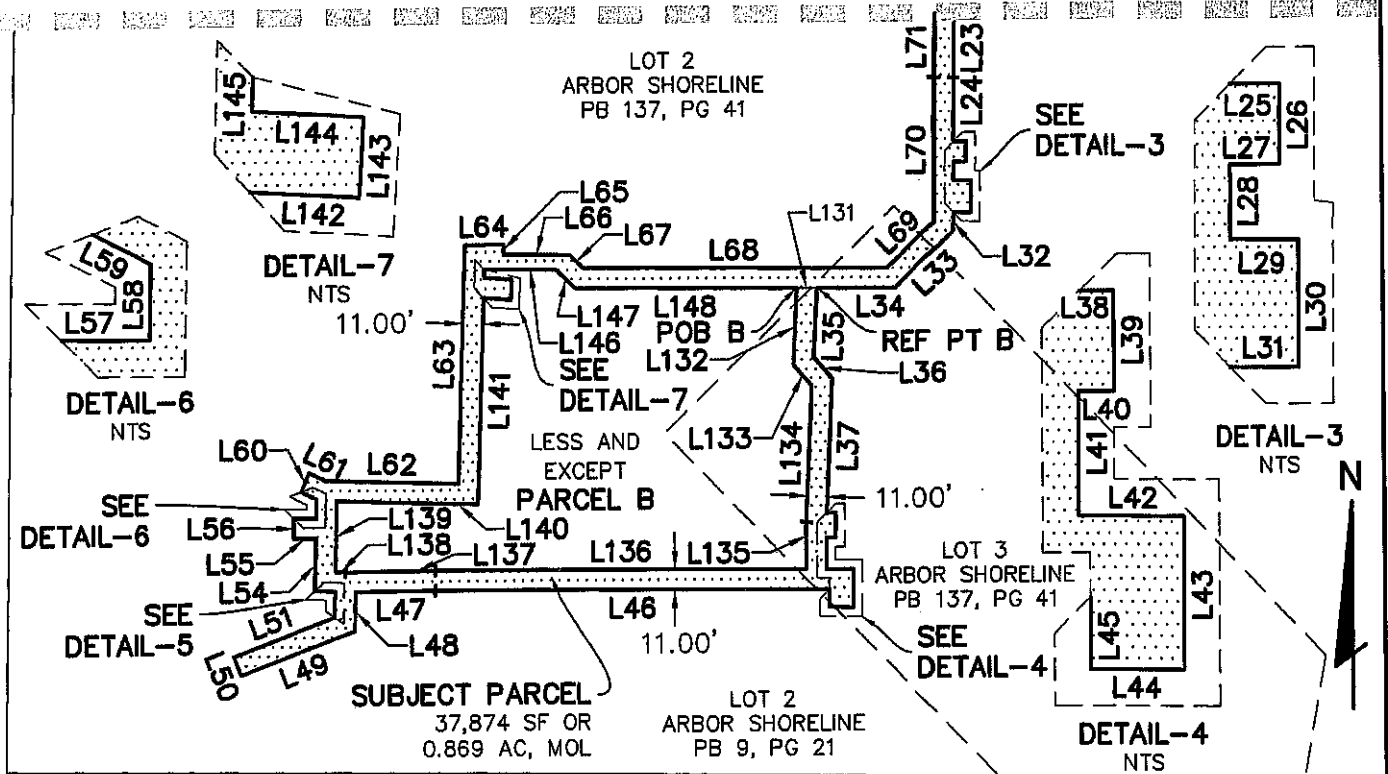
**THIS IS NOT A SURVEY**

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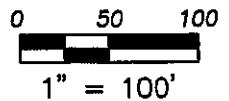
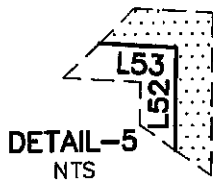
THIS LEGAL DESCRIPTION AND SKETCH WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH REPORT.

BEARINGS ARE BASED UPON: SEE THE LEGAL DESCRIPTION AND SKETCH

**MATCH LINE - SEE SHEET 7 OF 8**



UNPLATTED



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PREPARED FOR:

**BAINBRIDGE**

SHEET DESCRIPTION:

**EXHIBIT B - WATER EASEMENT - LEGAL DESCRIPTION AND SKETCH**

SCALE: 1" = 100'	DATE: 12-20-2018	DRAWN: DES	CALCD: BGD	CHECKED: BGD
JOB No.: 2014-0013	EPN: 335	SECTION: 20	TOWNSHIP: 29 S	RANGE: 16 E

SEE SHEET 1-3 FOR LEGAL DESCRIPTION  
SEE SHEET 4 KEY SHEET AND LEGEND  
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REVISION 1: 04-24-2019

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