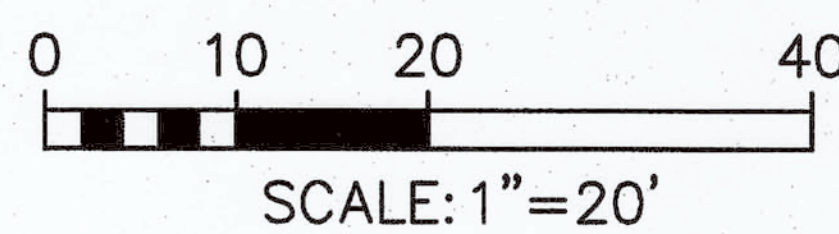


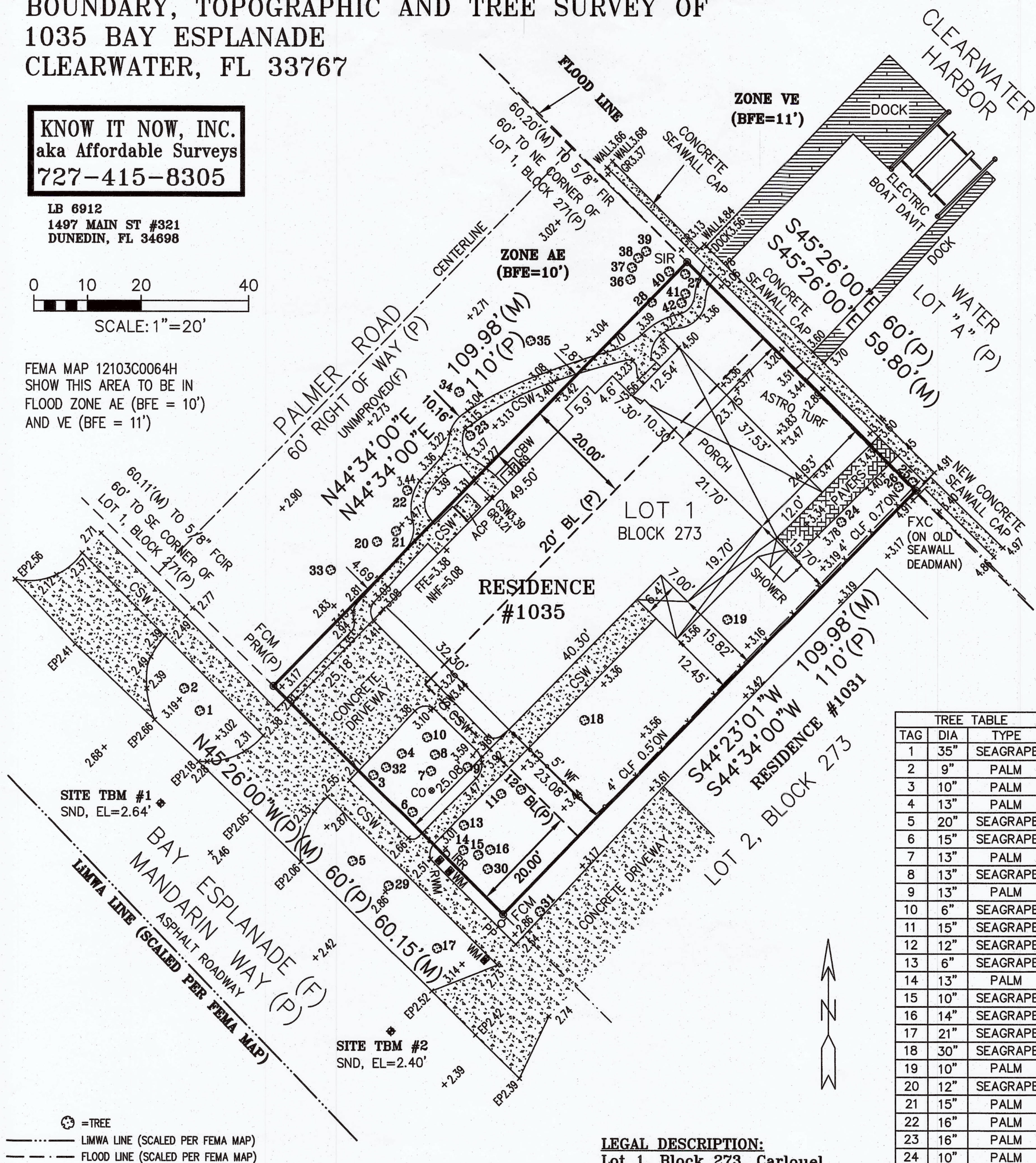
BOUNDARY, TOPOGRAPHIC AND TREE SURVEY OF 1035 BAY ESPLANADE CLEARWATER, FL 33767

KNOW IT NOW, INC.
aka Affordable Surveys
727-415-8305

LB 6912
1497 MAIN ST #321
DUNEDIN, FL 34698



FEMA MAP 12103C0064H
SHOW THIS AREA TO BE IN
FLOOD ZONE AE (BFE = 10')
AND VE (BFE = 11')



TREE TABLE		
TAG	DIA	TYPE
1	35"	SEAGRAPE
2	9"	PALM
3	10"	PALM
4	13"	PALM
5	20"	SEAGRAPE
6	15"	SEAGRAPE
7	13"	PALM
8	13"	SEAGRAPE
9	13"	PALM
10	6"	SEAGRAPE
11	15"	SEAGRAPE
12	12"	SEAGRAPE
13	6"	SEAGRAPE
14	13"	PALM
15	10"	SEAGRAPE
16	14"	SEAGRAPE
17	21"	SEAGRAPE
18	30"	SEAGRAPE
19	10"	PALM
20	12"	SEAGRAPE
21	15"	PALM
22	16"	PALM
23	16"	PALM
24	10"	PALM
25	10"	SEAGRAPE
26	19"	SEAGRAPE
27	18"	SEAGRAPE
28	18"	SEAGRAPE
29	9"	PALM
30	6"	SEAGRAPE
31	14"	PALM
32	6"	SEAGRAPE
33	10"	PALM
34	15"	PALM
35	14"	PALM
36	9"	PALM
37	20"	SEAGRAPE
38	14"	SEAGRAPE
39	10"	PALM
40	7"	SEAGRAPE
41	8"	PALM
42	10"	PALM

- ACP AIR CONDITIONER ON-CONCRETE PAD
BFE BASE FLOOD ELEVATION
BL BUILDING LINE
(C) CALCULATED
CBW CONCRETE BLOCK WALL
CLF CHAIN LINK FENCE
CO SEWER LINE CLEANOUT
CONC CONCRETE
CSW CONCRETE SIDEWALK
DIA DIAMETER
EL ELEVATION
EP EDGE OF PAVEMENT
(F) FIELD
- FCIR FIR CAPPED
FCM FOUND CONC MONUMENT
FFE FINISHED FLOOR ELEVATION
FIR FOUND IRON ROD
FXC FOUND X CUT
GA GUY ANCHOR
GR GROUND
IRR IRRIGATION CONTROLS
LB LICENSE BUSINESS
LIMWA LIMITS OF MODERATE-WAVE ACTION
LS LICENSE SURVEYOR
(M) MEASURED
- NHF NEXT HIGHER FLOOR
(P) PLAT
PP POWER POLE
PRM PERMANENT REFERENCE MONUMENT
R/W RIGHT OF WAY
RWM RECLAIMED WATER METER
SIR SET 1/2" IRON ROD WITH-CAP LB 6912
SND SET NAIL AND DISK LB 6912
TBM TEMPORARY BENCH MARK
WF WOOD FENCE
WM WATER METER

LEGAL DESCRIPTION:
Lot 1, Block 273, Carouel Subdivision, according to the map or plat thereof, as recorded in Plat Book 20, Page(s) 60 through 62, inclusive, of the Public Records of Pinellas County, Florida.

NOTE: CONCRETE WALKWAY ENCROACHES NORTHWESTERLY LOT LINE AS SHOWN HEREON.

SURVEY WAS MADE OF THE R/W AND PARCEL MARKERS SHOWN AND MATCHES THE ADDRESS AND LOCATION PER TAX INFORMATION AND LEGAL PROVIDED US. PARCEL BOUNDARY LINES SHOWN PER PLAT OR LEGAL DESCRIPTION WITH THE IMPROVEMENTS FIELD LOCATED BY HAND MEASUREMENTS OR FIELD EQUIPMENT. FIELD MEASUREMENTS SURVEY CLOSURE BETTER THAN 1:10000 FEET. FLORIDA ADMINISTRATIVE CODE STATES IF LOCATION OF EASEMENTS OR RIGHTS OF WAY OF RECORD, OTHER THAN THOSE ON RECORD PLATS IS REQUIRED, THIS INFORMATION MUST BE FURNISHED TO THE SURVEYOR - IF FENCES ARE SHOWN, DISTANCES INDICATE APPROXIMATE DISTANCE ON OR OFF PROPERTY - OVERHANGS AND UNDERGROUND FOUNDATIONS OR UTILITIES HAVE NOT BEEN LOCATED AS PART OF THIS SURVEY. BASIS OF BEARINGS IS R/W LINE (USING PLAT BEARING OR ASSUMED) UNLESS NOTED OTHERWISE. IF ELEVATIONS ARE SHOWN, THEY ARE ON NAVD 1988 DATUM, USING GPS EQUIPMENT ON SITE. SURVEY CAN BE USED FOR ALL NEEDS. IF TREES ARE SHOWN, DIMENSIONS ARE 4.5 FEET ABOVE GROUND.

CERTIFIED EXCLUSIVELY TO:
Legacy Real Estate DL LLC
Chicago Title Insurance Company
Bryan J. Stanley, P.A.
Thomas Lee, Esq.
Carey Rowan and Pamela Rowan
Fairbridge Credit LLC, a Delaware limited liability company
Braunstein Turkish LLP

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS MAP OF SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF SAID SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 6J-17 FLORIDA ADMINISTRATIVE CODE. FURTHER THIS DOCUMENT IS ELECTRONICALLY SIGNED AND SEALED PURSUANT TO SECTION 472.025 OF THE FLORIDA STATUTES.

DATE OF FIELD SURVEY: 3/5/2025

SURVEYOR'S NAME: BILL H. HYATT LS 4636
EMAIL: FLORIDASURVEYOR@AOL.COM

BILL H. HYATT
2025.03.08
07:40:02 -05'00'

1 SIGNED SURVEY REPORT
A-001

EDITION: 1
DEVELOPMENT: 1
SURVEY REPORT

A-001

PROJECT NO: 24.025

ISSUE DATE: 07/27/2025

PROJECT NO: 24.025

ISSUE DATE: 07/27/2025

PROJECT NO: 24.025

ISSUE DATE: 07/27/2025

LEE RESIDENCE
RESIDENTIAL INFILL DETACHED DWELLING
1035 BAY ESPLANADE,
CLEARWATER, FLORIDA 33756

STYAL, PETERANECZ
ARCHITECTURE | INTERIORS

2430 TERMINAL DRIVE SOUTH | ST. PETERSBURG, FLORIDA 33712
(727) 800-5300 | ARCHITECTUREBP.COM | AA26001704 IB26001074

BeharPeteranecz
ARCHITECTURE | INTERIORS
2430 TERMINAL DRIVE SOUTH | ST. PETERSBURG, FLORIDA 33712
(727) 800-5300 | ARCHITECTUREBP.COM | AA26001704 IB26001074

h
P

Prepared by: Alan Mayberry, Consulting Arborist Alan Mayberry 8/7/2025
ISA Certified Arborist #SO-0305

The former house was demolished, and a new house will be constructed. The focus of the Tree Preservation Plan will be to protect the trunks, branches, and roots of the trees/palms to be preserved while maintaining the existing grade within the tree barricades. The Tree Status Sheet will list the trees/palms to be removed and preserved. The Tree Preservation site plan will delineate the location for the placement of tree barricades.

- The location for tree barricades is delineated on the Tree Preservation Site Plan.
- Install tree barricades per the City of Clearwater detail for tree barricades depicted herein and at the locations delineated on the site plan.
- Call the City of Clearwater for a tree barricade inspection.
- Remove trees marked with an X.

- Barricades shall remain erected in place throughout the construction process unless approved for removal by the City of Clearwater Land Development Arborist.
- The area within the tree barricades shall be kept free of debris, construction material, concrete wash etc., throughout the construction process.
- No personnel or equipment shall enter the areas inside the tree barricades.
- The existing grade shall be maintained within the tree barricades.

NOTE: Do not trench silt screen with the dripline of site trees. Silt screen shall be rolled under for a minimum of 6" and anchored with fill material.

- Mike Quinzi, Land Development Arborist, City of Clearwater: (727) 444-8770
- Danny McDonnell, Land Development Arborist, City of Clearwater: (727) 444-8765
- Robert Robicheau, Land Development Arborist, City of Clearwater: (727) 444-7961
- Alan Mayberry, Project Arborist (727) 735-5521



RESIDENCE #1031
LOT 2, BLOCK 273

Tree #	Size	Species	Rating
1.	5", 10", 13", 14"	sea grape (<i>Coccoloba uvifera</i>)	3.5
Status:	In the right of way of Bay Esplanade, barricade at the location shown on the TPP.		
2.	22' CT	sabal palm (<i>Sabal palmetto</i>)	4.0
Status:	In the right of way of Bay Esplanade, barricade at the location shown on the TPP.		
3.	18' CT	sabal palm (<i>Sabal palmetto</i>)	4.0
Status:	Preserve and barricade at the location shown on the TPP.		
4.	20' CT	sabal palm (<i>Sabal palmetto</i>)	4.0
Status:	Preserve and barricade at the location shown on the TPP.		
5.	17"	sea grape (<i>Coccoloba uvifera</i>)	3.5
Status:	In the right of way of Bay Esplanade, barricade at the location shown on the TPP.		
6.	18"	sea grape (<i>Coccoloba uvifera</i>)	3.0
Status:	Preserve and barricade at the location shown on the TPP.		
7.	19' CT	sabal palm (<i>Sabal palmetto</i>)	4.5
Status:	Remove due to construction impacts.		
8.	12"	sea grape (<i>Coccoloba uvifera</i>)	2.5
Status:	Remove due to construction impacts.		
9.	18' CT	sabal palm (<i>Sabal palmetto</i>)	4.5
Status:	Remove due to construction impacts.		
10.	6"	sea grape (<i>Coccoloba uvifera</i>)	2.0
Status:	Remove due to construction impacts.		
11.	5", 5", 9"	sea grape (<i>Coccoloba uvifera</i>)	2.5
Status:	Remove due to construction impacts.		
12.	8"	sea grape (<i>Coccoloba uvifera</i>)	2.5
Status:	Remove due to construction impacts.		
13.	5"	sea grape (<i>Coccoloba uvifera</i>)	2.0
Status:	Preserve and barricade at the location shown on the TPP.		
14.	18' CT	sabal palm (<i>Sabal palmetto</i>)	4.0
Status:	Preserve and barricade at the location shown on the TPP.		
15.	5"	sea grape (<i>Coccoloba uvifera</i>)	3.0
Status:	Preserve and barricade at the location shown on the TPP.		
16.	10"	sea grape (<i>Coccoloba uvifera</i>)	2.0
Status:	Preserve and barricade at the location shown on the TPP.		
17.	17"	sea grape (<i>Coccoloba uvifera</i>)	2.5
Status:	In the right of way of Bay Esplanade, barricade at the location shown on the TPP.		
18.	6", 6", 21"	sea grape (<i>Coccoloba uvifera</i>)	2.5
Status:	Remove due to construction impacts.		
19.	21' CT	foxtail palm (<i>Wodyetia bifurcata</i>)	4.0
Status:	Remove due to construction impacts.		
20.	17' CT	sabal palm (<i>Sabal palmetto</i>)	4.0
Status:	Off-site palm; barricade at the location shown on the TPP.		
21.	19' CT	sabal palm (<i>Sabal palmetto</i>)	N/A
Status:	Off-site palm, barricade at the location shown on the TPP.		
22.	18' CT	sabal palm (<i>Sabal palmetto</i>)	N/A
Status:	Off-site palm, barricade at the location shown on the TPP.		
23.	21' CT	sabal palm (<i>Sabal palmetto</i>)	N/A
Status:	Off-site palm, barricade at the location shown on the TPP.		
24.	22' CT	sabal palm (<i>Sabal palmetto</i>)	3.5
Status:	Preserve and barricade at the location shown on the TPP.		
25.	6", 6", 7"	sea grape (<i>Coccoloba uvifera</i>)	2.5
Status:	Preserve and barricade at the location shown on the TPP.		
26.	5"	sea grape (<i>Coccoloba uvifera</i>)	2.0
Status:	Preserve and barricade at the location shown on the TPP.		
27.	4", 6", 9"	sea grape (<i>Coccoloba uvifera</i>)	2.0
Status:	Preserve and barricade at the location shown on the TPP.		
28.	3", 3", 9"	sea grape (<i>Coccoloba uvifera</i>)	3.0
Status:	Preserve and barricade at the location shown on the TPP.		
29.	16' CT	sabal palm (<i>Sabal palmetto</i>)	3.5
Status:	In the right of way of Bay Esplanade, barricade at the location shown on the TPP.		
30.	7"	sea grape (<i>Coccoloba uvifera</i>)	2.0
Status:	Preserve and barricade at the location shown on the TPP.		
31.	22' CT	sabal palm (<i>Sabal palmetto</i>)	N/A
Status:	Off-site palm, barricade at the location shown on the TPP.		
32.	5"	sea grape (<i>Coccoloba uvifera</i>)	2.0
Status:	Preserve and barricade at the location shown on the TPP.		
33.	8"	silver buttonwood (<i>Conocarpus erectus</i> var. <i>sericeus</i>)	2.5
Status:	Off-site tree, barricade at the location shown on the TPP.		
34.	20' CT	sabal palm (<i>Sabal palmetto</i>)	N/A
Status:	Off-site palm, barricade at the location shown on the TPP.		
35.	24' CT	sabal palm (<i>Sabal palmetto</i>)	N/A
Status:	Off-site palm, barricade at the location shown on the TPP.		
36.	14' CT	sabal palm (<i>Sabal palmetto</i>)	4.0
Status:	Off-site palm, barricade at the location shown on the TPP.		
37.	4", 6", 8"	sea grape (<i>Coccoloba uvifera</i>)	N/A
Status:	Off-site tree, barricade at the location shown on the TPP.		
38.	2", 4"	sea grape (<i>Coccoloba uvifera</i>)	N/A
Status:	Off-site tree, barricade at the location shown on the TPP.		
39.	20' CT	sabal palm (<i>Sabal palmetto</i>)	N/A
Status:	Off-site palm, barricade at the location shown on the TPP.		
40.	4", 6"	sea grape (<i>Coccoloba uvifera</i>)	N/A
Status:	Off-site tree, barricade at the location shown on the TPP.		

BeharPeteranecz
ARCHITECTURE | INTERIORS
242430 TERMINAL DRIVE SOUTH | ST. PETERSBURG, FLORIDA 33712
(727) 800-5300 | ARCHITECTUREBP.COM | AA26001704 | B26001074

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ISTVAN L. PETERANECZ
AR94533
FLORIDA

LEE RESIDENCE

1035 BAY ESPLANADE,
CLEARWATER FLORIDA 33756

ISSUED DRAWING LOG:

PROJECT NO: _____

ISSUE DATE:

DRAWING TITLE:

LANDSCAPE PLAN

SHEET NUMBER: _____

A-00.

EDITION:
FLEXIBLE STANDARD
DEVELOPMENT LEVEL 2

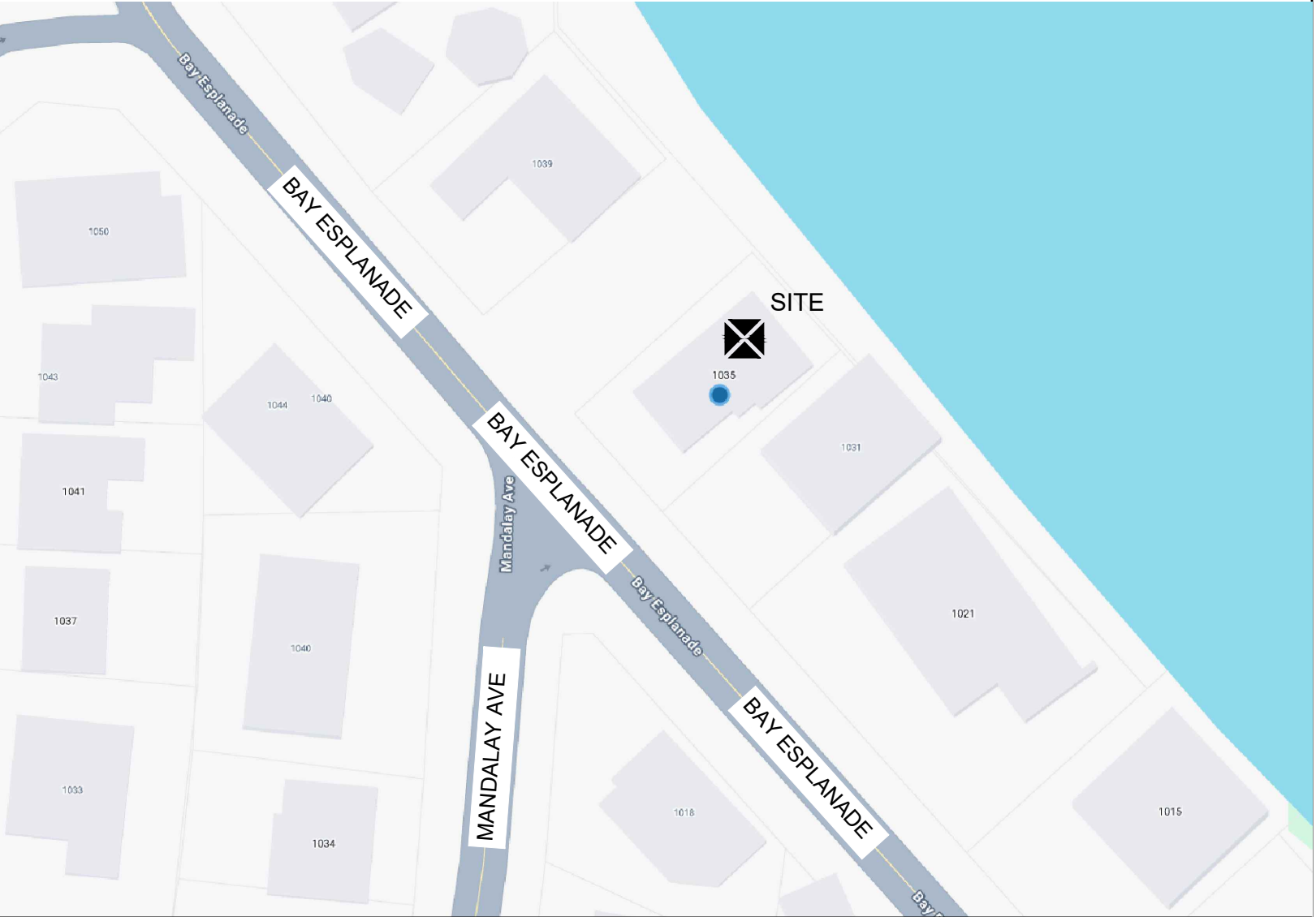
LEE RESIDENCE

EXHIBIT A

1035 BAY ESPLANADE CLEARWATER BEACH. FL



LOCATION MAP



PROJECT INFORMATION

ADDRESS: 1035 BAY ESPLANADE, CLEARWATER, FLORIDA 33756

LEGAL DESCRIPTION: LOT 1, BLOCK 273, CARLOUEL SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 20, PAGE(S) 60 THROUGH 62, INCLUSIVE, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

FLOOD ZONE: PER FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), THE SITE IS LOCATED WITHIN FLOOD ZONE "AE (10') - VULNERABILITY MAP 12'5", **DESIGN FLOOD LEVEL EL 14'5" NAVD88.**

PROPOSED BUILDING HEIGHT:
30' 0" TO MID POINT OF PRIMARY ROOF MEASURED FROM DESIGN FLOOD LEVEL.

IMPERVIOUS SURFACE AREA RATIO (ISR) – MAX ALLOWED BY CODE: 65%

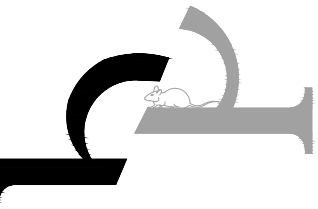
AREA DESCRIPTION	AREA VALUES
PLOT AREA: MAX PERMITTED (0.65) PROPOSED NEW CONSTRUCTION PROPOSED DRIVEWAY PROPOSED POOL AREA TOTAL IMPERVIOUS SURFACE AREA: PROPOSED ISR:	6691.00 SQ. FT. 4349.15 SQ. FT. 2987.00 SQ. FT. 870.00 SQ. FT. 375.00 SQ. FT. 4232.00 SQ. FT. 4232.00 SQ.FT. 6691.00 SQ.FT. = .632 = 63% ISR - COMPLIANT WITH CODE

DRAWING INDEX

GENERAL DRAWINGS			
A-000	COVER SHEET	A-103	SECOND FLOOR PLAN
A-001	SURVEY REPORT	A-104	ROOF PLAN
A-002	DEMOLITION PLAN	A-201	EXTERIOR ELEVATIONS
A-003	SITE PLAN	A-202	EXTERIOR ELEVATIONS
A-004	DRAINAGE PLAN	A-203	EXTERIOR ELEVATIONS
A-005	LANDSCAPE PLAN	A-204	EXTERIOR ELEVATIONS
A-101	GROUND FLOOR PLAN	A-301	CHARACTER MAP - PRIMARY SETBACK
A-102	FIRST FLOOR PLAN	A-302	CHARACTER MAP - SECONDARY SETBACK

REFERENCE SYMBOLS

 TOP OF SLAB 16.67 NAVD		NORTH		
FINISH ELEVATION	FINISH SPOT ELEVATION	JOB NORTH	REVISION ADDENDUM	KEYED DRAWING NOTES
ROOM-NAME Y'-Y" X'Y'-Y"	 ADDENDUM ASI	 REFERENCE NO. SHEET NO.		SECTION (BLDG, WALL, OR DETAIL) MARK
ROOM DESIGNATION	CHANGE DESIGNATION	EXTERIOR ELEVATION		



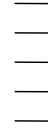
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ISTVAN L. PETERANECZ
AR94533
FLORIDA

LEE RESIDENCE
RESIDENTIAL INFILL DETACHED DWELLING
1035 BAY ESPLANADE,
CLEARWATER, FLORIDA 33756

ISSUED DRAWING LOG:



PROJECT NO: 04-025

ISSUE DATE:

07.27.2023

DRAWING TITLE:

COVER PAGE

SHEET NUMBER: _____

A-000

DITION:
FLEXIBLE STANDARD
DEVELOPMENT LEVEL 2



ISTVAN L. PETERANECZ
AR94533
FLORIDA

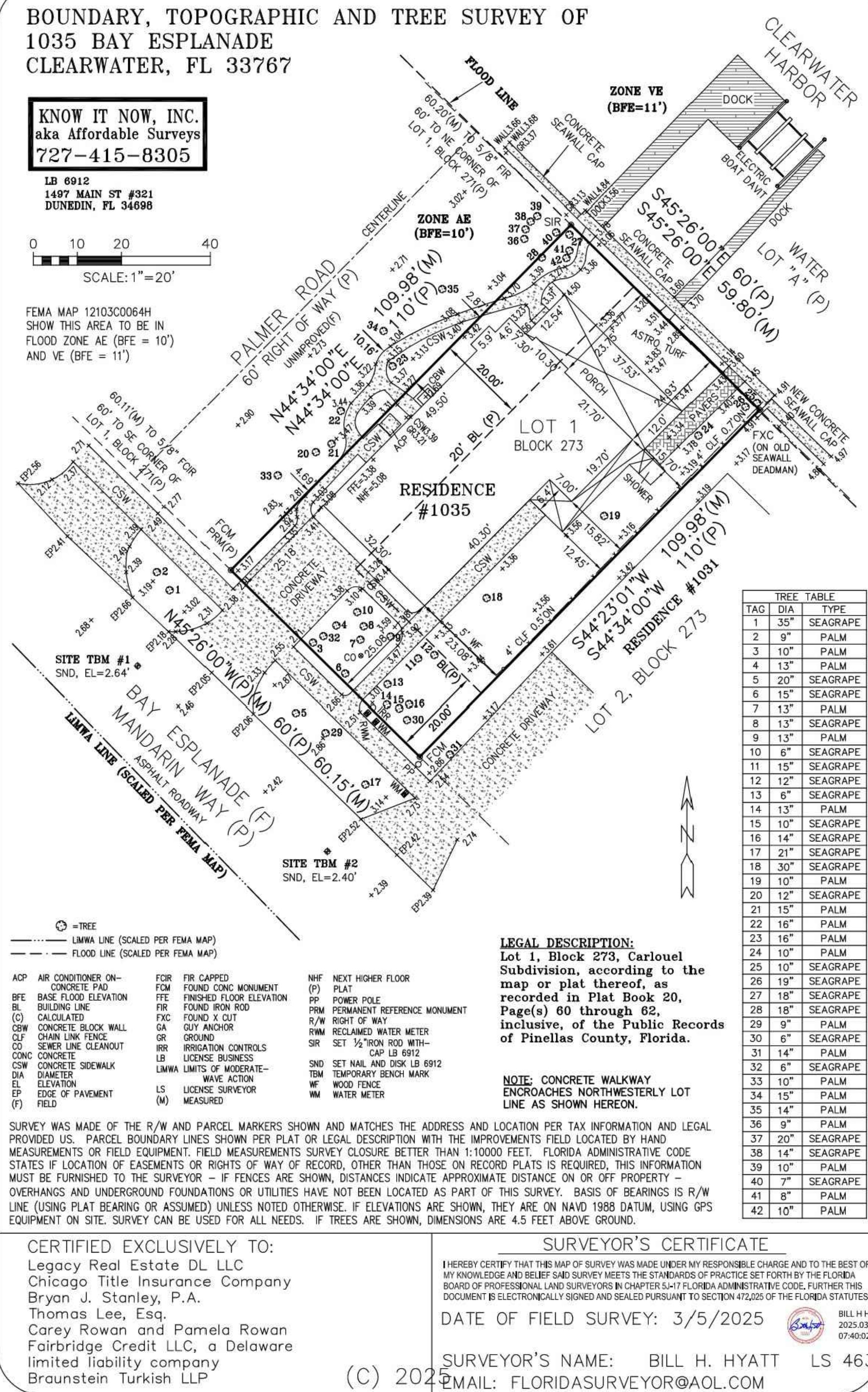
LEE RESIDENCE
RESIDENTIAL INFILL DETACHED DWELLING

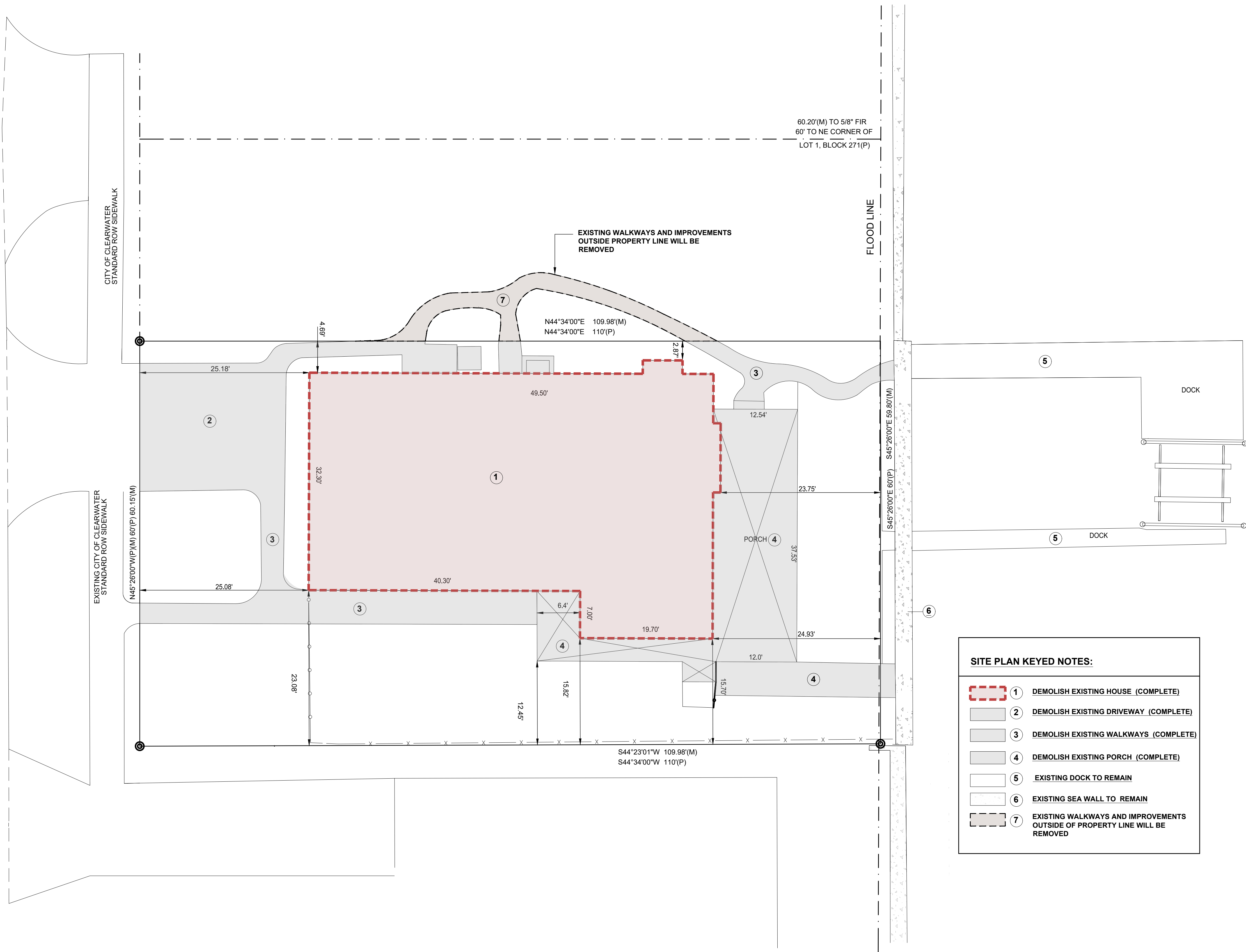
1035 BAY ESPLANADE,
CLEARWATER, FLORIDA 33756

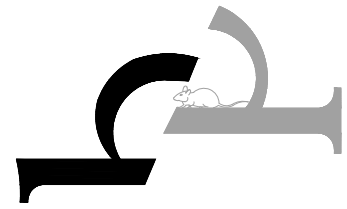
DRAWING TITLE:

A-001

EDITION:
FLEXIBLE STANDARD
DEVELOPMENT LEVEL 2







LEE RESIDENCE
RESIDENTIAL INFILL DETACHED DWELLING
1035 BAY ESPLANADE,
CLEARWATER, FLORIDA 33756

ISSUED DRAWING LOG:

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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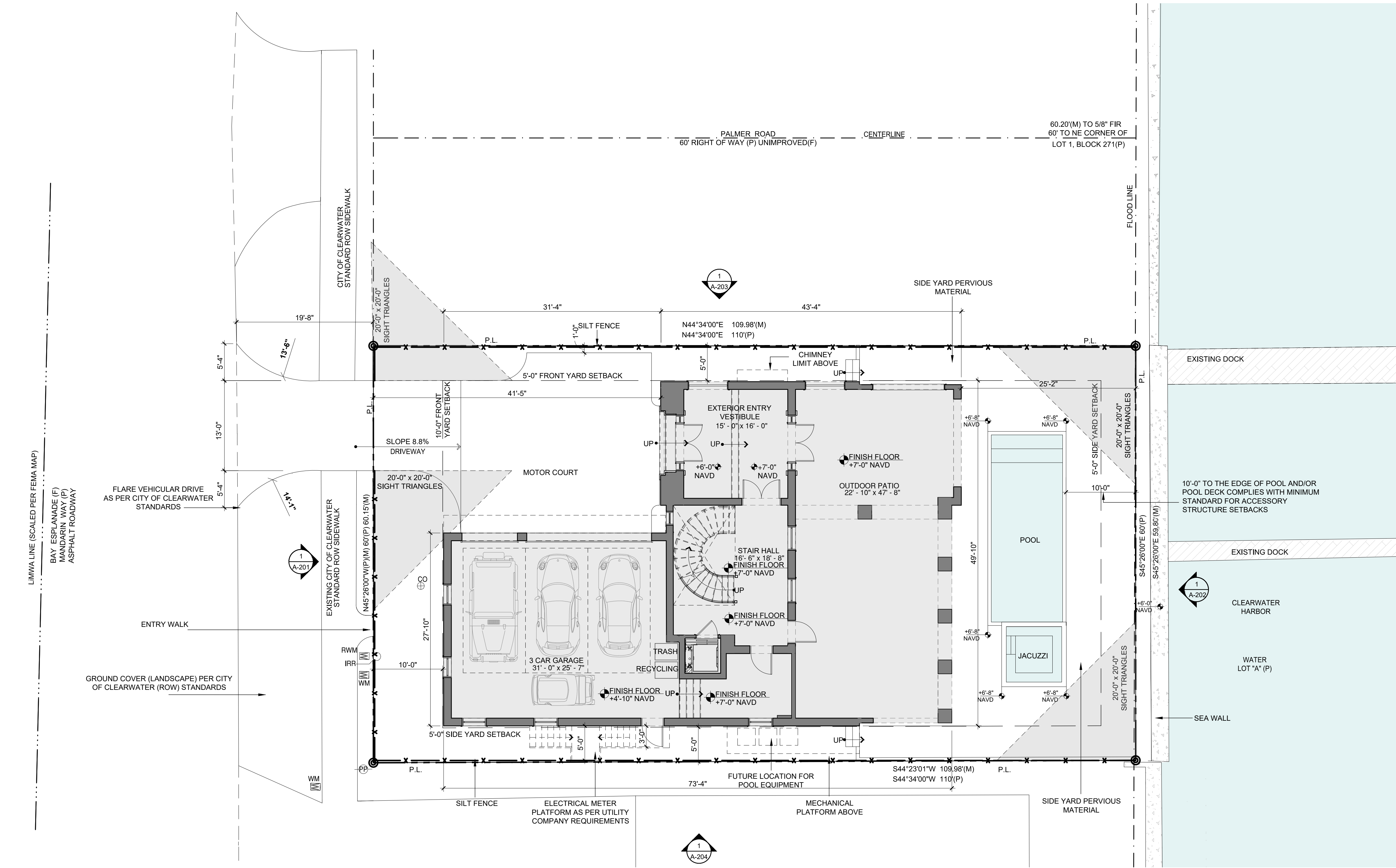
PROJECT NO: 24.025

ISSUE DATE: 07.27.2025

DRAWING TITLE: SITE PLAN

SHEET NUMBER: A-003

EDITION: FLEXIBLE STANDARD
DEVELOPMENT LEVEL 2



AREA CALCULATIONS:					
FLOOR	CONDITIONED SPACE (SF)	PATIO / BALCONY (SF)	GARAGE (SF)	STORAGE/ MECHANICAL (SF)	TOTAL AREA (SF)
GROUND FLOOR	397.60	1504.9	1084.50	-	2987.00
FIRST FLOOR	2155.55	677.70	-	-	2833.25
SECOND FLOOR	2057.80	272.10	-	73.50	2403.40
TOTAL AREA	4610.95	2454.70	1084.50	73.50	8223.65

ABBREVIATION LEGEND

PL	PROPERTY LINE
CO	SEWER LINE CLEANOUT
PP	POWER POLE
RWM	RECLAIMED WATER METER
WM	WATER METER
IRR	IRRIGATION CONTROLS
X	SILT FENCE

GENERAL NOTES

- ALL DIMENSIONS, EXISTING UTILITY CONNECTIONS, AND PROPERTY BOUNDARIES ARE BASED ON THE SURVEY PREPARED BY BILL H. HYATT, LS 4636, DATED MARCH 5, 2025.
- THE EXISTING UTILITY CONNECTIONS SERVING THE PREVIOUS RESIDENCE WILL REMAIN IN PLACE AND BE REUSED FOR THE NEW DWELLING.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER UPON PROJECT COMPLETION.

EROSION CONTROL NOTES (CITY OF CLEARWATER REQUIREMENTS):

- EROSION CONTROL REQUIRED. CITY OF CLEARWATER LAND DEVELOPMENT CODE SECTION 3-702 REQUIRES EROSION CONTROL ON ALL LAND DEVELOPMENT PROJECTS.
- EROSION CONTROL MUST BE IN PLACE AND MAINTAINED THROUGHOUT THE JOB. FAILURE TO DO SO MAY RESULT IN ADDITIONAL COSTS AND TIME DELAYS TO THE PERMIT HOLDER.
- SINGLE ROW OF STRAWBALES OR SILT FENCE TO BE PLACED PRIOR TO THE START OF ROUGH GRADING.
- MAINTENANCE: ALL EROSION AND SILTATION CONTROL DEVICES SHALL BE CHECKED REGULARLY, ESPECIALLY AFTER EACH RAINFALL, AND WILL BE CLEANED OUT AND/OR REPAIRED AS REQUIRED.



ISTVAN L. PETERANECZ
AR94533
FLORIDA

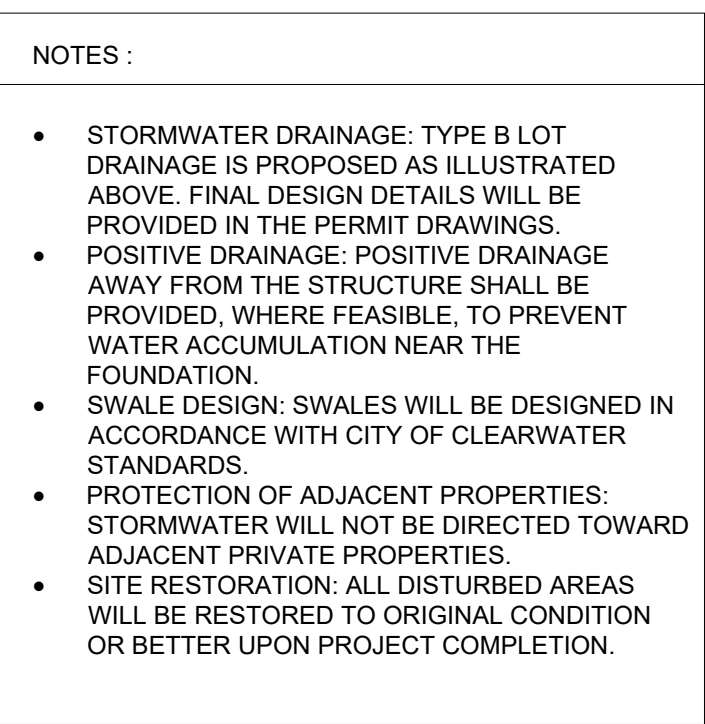
1035 BAY ESPLANADE,
CLEARWATER, FLORIDA 33756

PROJECT NO: 24.025

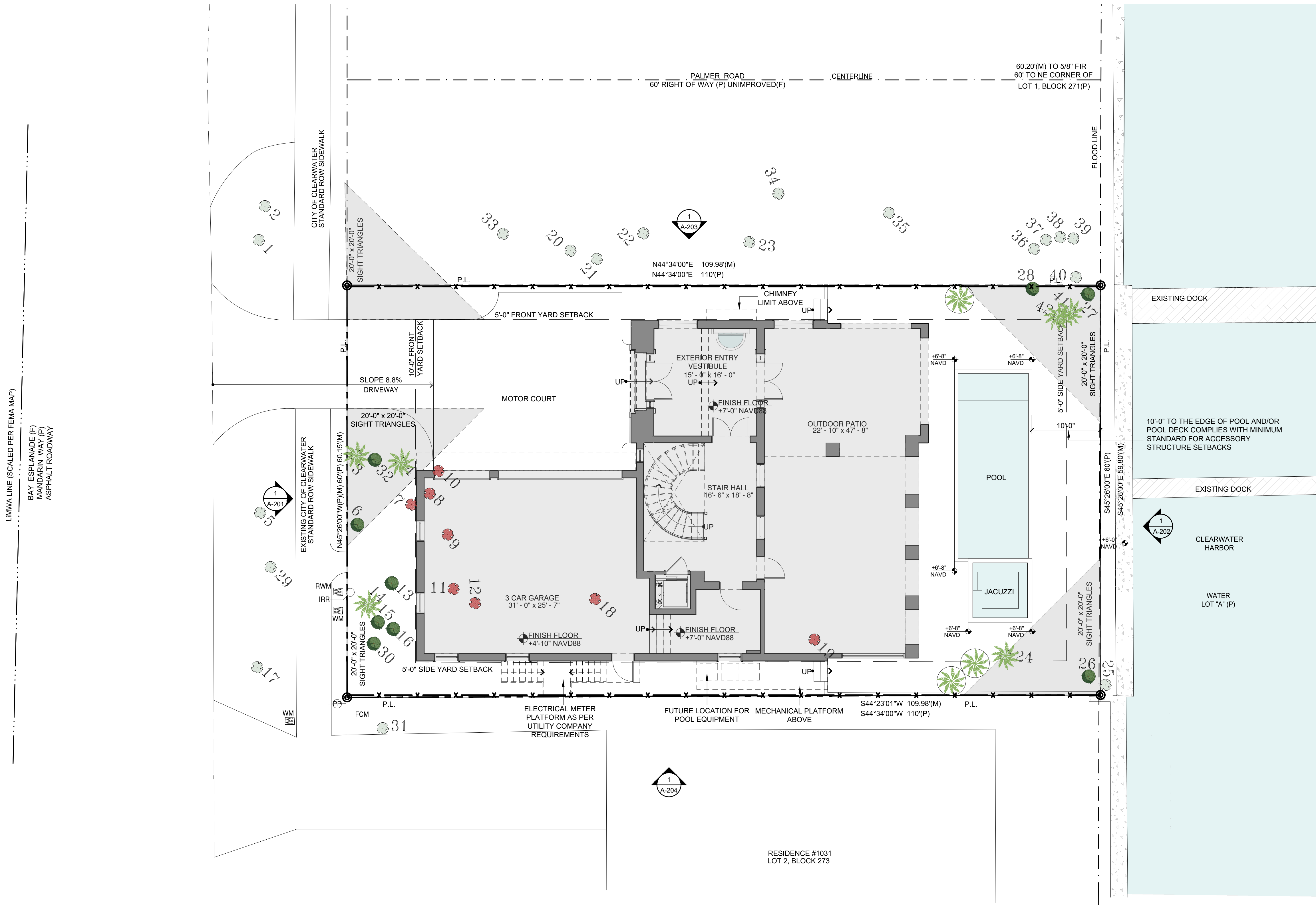
ISSUE DATE: 07.27.2025

DRAWING TITLE: DRAINAGE PLAN

EDITION:
FLEXIBLE STANDARD
DEVELOPMENT LEVEL 2



1 DRAINAGE PLAN
A-004 1/8" = 1' - 0"



NEW PALM TREES
3 TREES EQUALS 1 SHADE TREES,
25% OF REQUIRED TREES

EXISTING PALM TREES - 6 TO BE
PRESERVED, EQUALS 2 SHADE
TREES 50% OF REQUIRED TREES

EXISTING ACCENT TREE
25% OF TREE REQUIREMENT.

EXISTING TREE - TO BE RELOCATED

EXISTING TREE - OUTSIDE
PROPERTY LIMIT

NOTE : TREE INFORMATION SHOWN WAS PROVIDED BY
BILL H HYATT, SURVEYOR — DATED 3/5/2025 REF TO
DRAWING A-001

TREE TABLE

TAG	DIA	TYPE	
1	35"	SEAGRAPE	
2	9"	PALM	PRESERVED
3	10"	PALM	RELOCATED
4	13"	PALM	PRESERVED
5	20"	SEAGRAPE	
6	15"	SEAGRAPE	
7	13"	PALM	
8	13"	SEAGRAPE	
9	13"	PALM	
10	6"	SEAGRAPE	
11	15"	SEAGRAPE	
12	12"	SEAGRAPE	
13	6"	SEAGRAPE	
14	13"	PALM	
15	10"	SEAGRAPE	
16	14"	SEAGRAPE	
17	21"	SEAGRAPE	
18	30"	SEAGRAPE	
19	10"	PALM	
20	12"	SEAGRAPE	
21	15"	PALM	
22	16"	PALM	
23	16"	PALM	
24	10"	PALM	PRESERVED
25	10"	SEAGRAPE	
26	19"	SEAGRAPE	
27	18"	SEAGRAPE	
28	18"	SEAGRAPE	
29	9"	PALM	
30	6"	SEAGRAPE	
31	14"	PALM	
32	6"	SEAGRAPE	
33	10"	PALM	
34	15"	PALM	
35	14"	PALM	
36	9"	PALM	
37	20"	SEAGRAPE	
38	14"	SEAGRAPE	
39	10"	PALM	
40	7"	SEAGRAPE	
41	8"	PALM	PRESERVED
42	10"	PALM	PRESERVED

NOTE :

ALL LANDSCAPED AREAS MUST BE COVERED
WITH SHRUBS, GROUND COVER, NATURAL
TURF, THREE INCHES OF ORGANIC MULCH,
ARTIFICIAL TURF (WHERE PERMISSIBLE), OR
OTHER SUITABLE MATERIAL WHICH PERMITS
PERCOLATION.
1. WHERE MULCH IS USED, IT MUST BE PROTECTED
FROM WASHING OUT OF THE PLANTING BED.
2. LANDSCAPE ROCK WITH A MINIMUM SIZE OR ¾
INCH TO ONE INCH IN DIAMETER SHALL BE USED TO
REDIRECT STORMWATER FROM GUTTER SYSTEMS TO
PREVENT EROSION.
3. PLASTIC SHEETS SHALL NOT BE INSTALLED UNDER
MULCHES.
4. ARTIFICIAL TURF SHALL BE INSTALLED ACCORDING
TO THE STANDARDS IN SECTION 3-1203.

1

A-005

LANDSCAPE PLAN

1/8" = 1' - 0"

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ARCHITECTURE INTERIORS

2430 TERMINAL DRIVE SOUTH | ST. PETERSBURG, FLORIDA 33712
(727) 800-5300 | ARCHITECTUREBP.COM | A-02801704-IB2601074

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FLORIDA

LEE RESIDENCE

RESIDENTIAL INFILL DETACHED DWELLING

1035 BAY ESPLANADE,
CLEARWATER, FLORIDA 33756

ISSUED DRAWING LOG:

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PROJECT NO:

24.025

ISSUE DATE:

07.27.2025

DRAWING TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

A-005

EDITION:

FLEXIBLE STANDARD
DEVELOPMENT LEVEL 2



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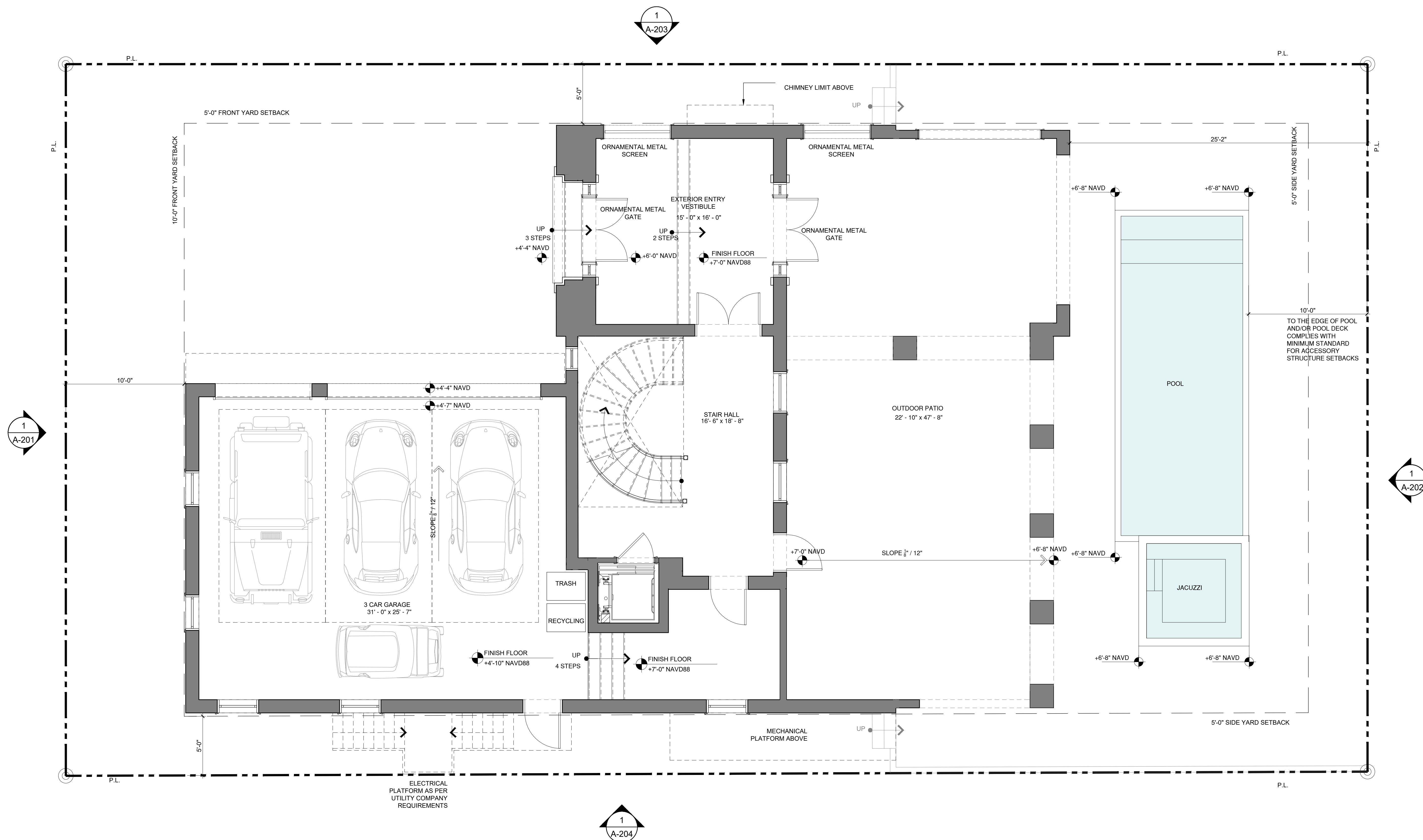
LEE RESIDENCE
RESIDENTIAL INFILL DETACHED DWELLING

1035 BAY ESPLANADE,
CLEARWATER, FLORIDA 33756

DRAWING TITLE:
GROUND FLOOR
PLAN

A-101

EDITION:
FLEXIBLE STANDARD
DEVELOPMENT LEVEL 2



1 GROUND FLOOR PLAN
A-101 1/4" = 1' - 0"



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ISSUED DRAWING LOG:

PROJECT NO: _____

ISSUE DATE: 07.27.2025

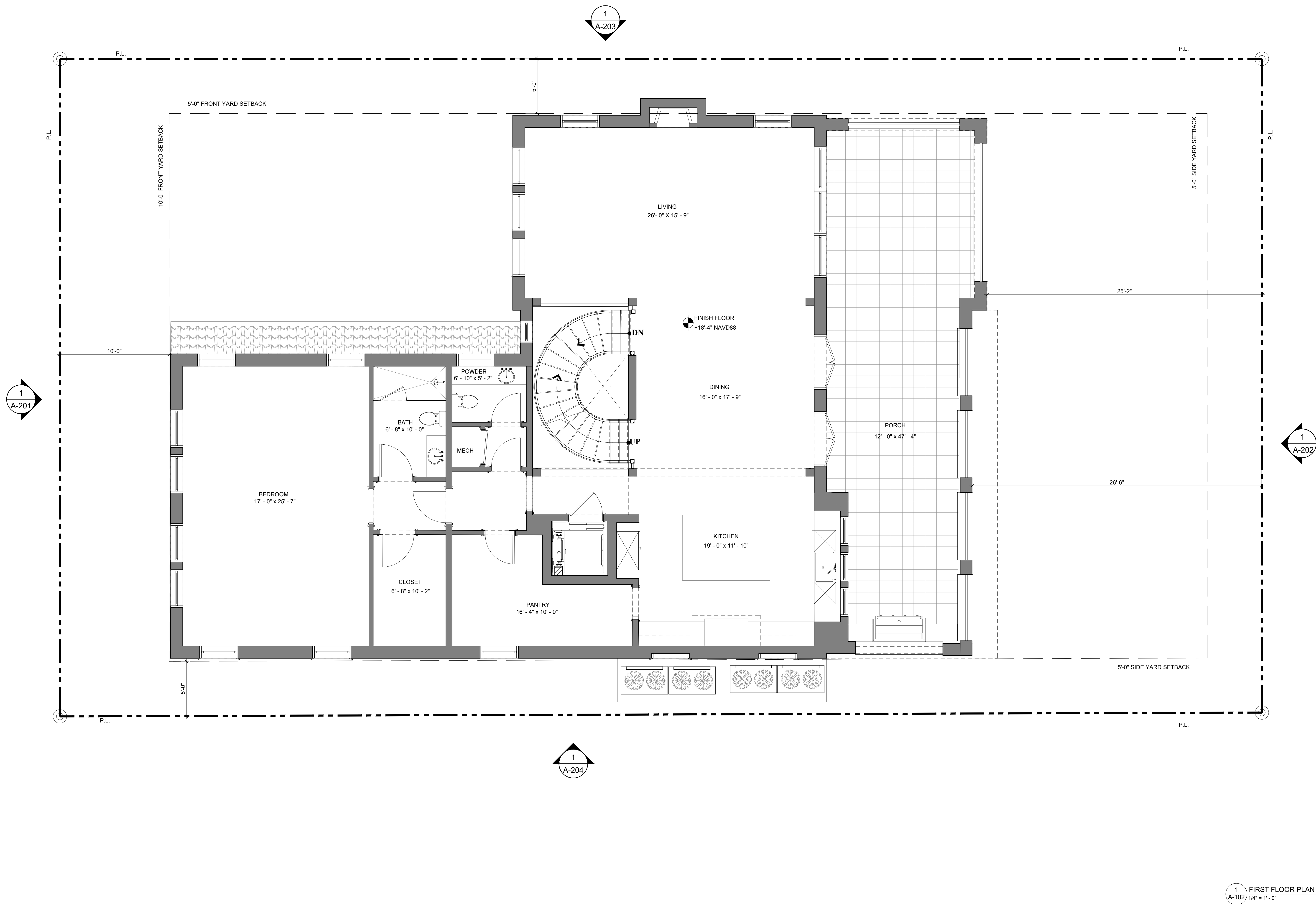
DRAWING TITLE:

FIRST FLOOR
PLAN

SHEET NUMBER: _____

A-102

EDITION:
FLEXIBLE STANDARD
DEVELOPMENT LEVEL 2





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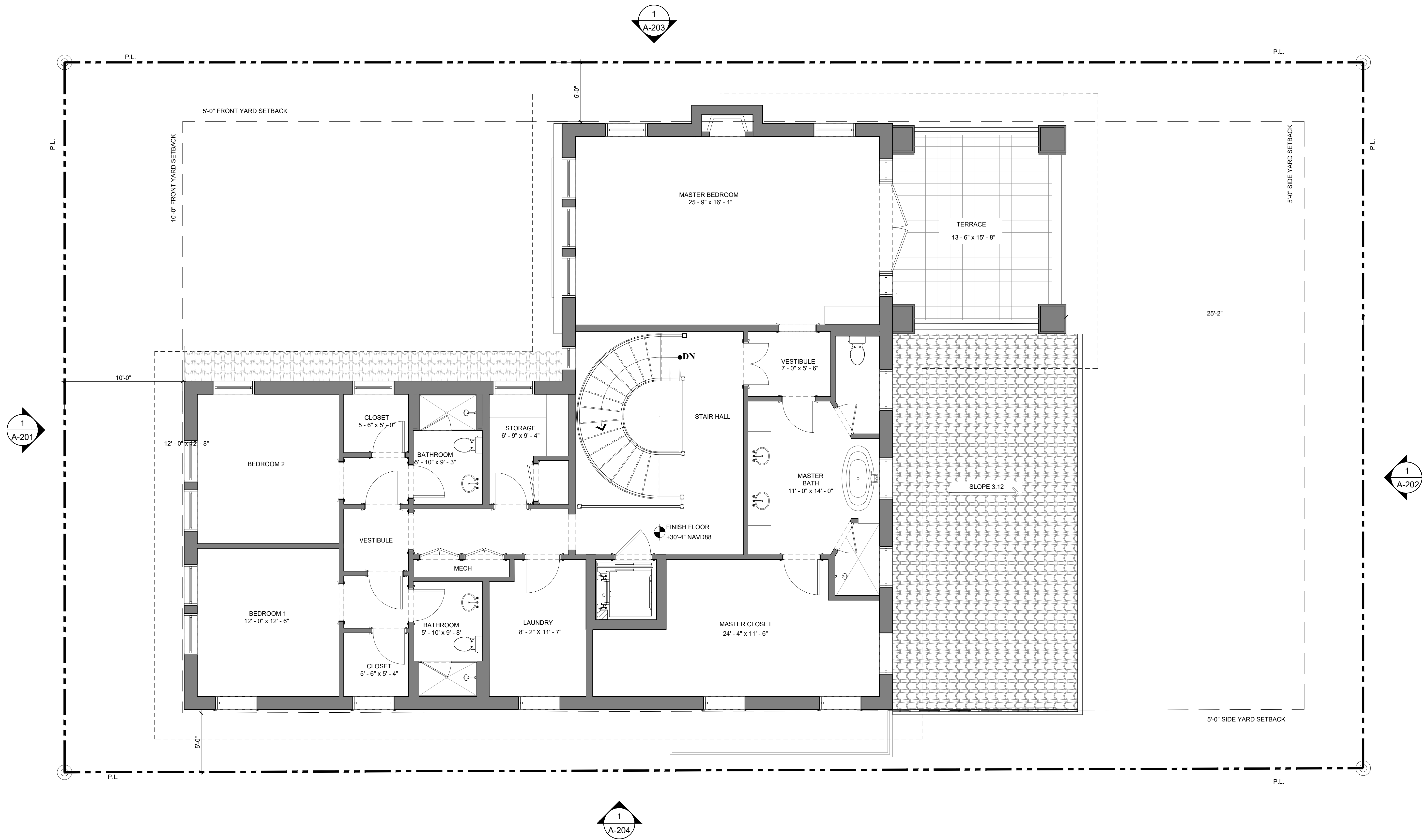
1035 BAY ESPLANADE,
CLEARWATER, FLORIDA 33756

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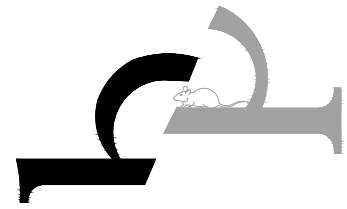
SECOND FLOOR
PLAN

A-103

EDITION:
FLEXIBLE STANDARD
DEVELOPMENT LEVEL 2



1 SECOND FLOOR PLAN
A-103 1/4" = 1' - 0"



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PROJECT NO:

24.025

ISSUE DATE:

07.27.2025

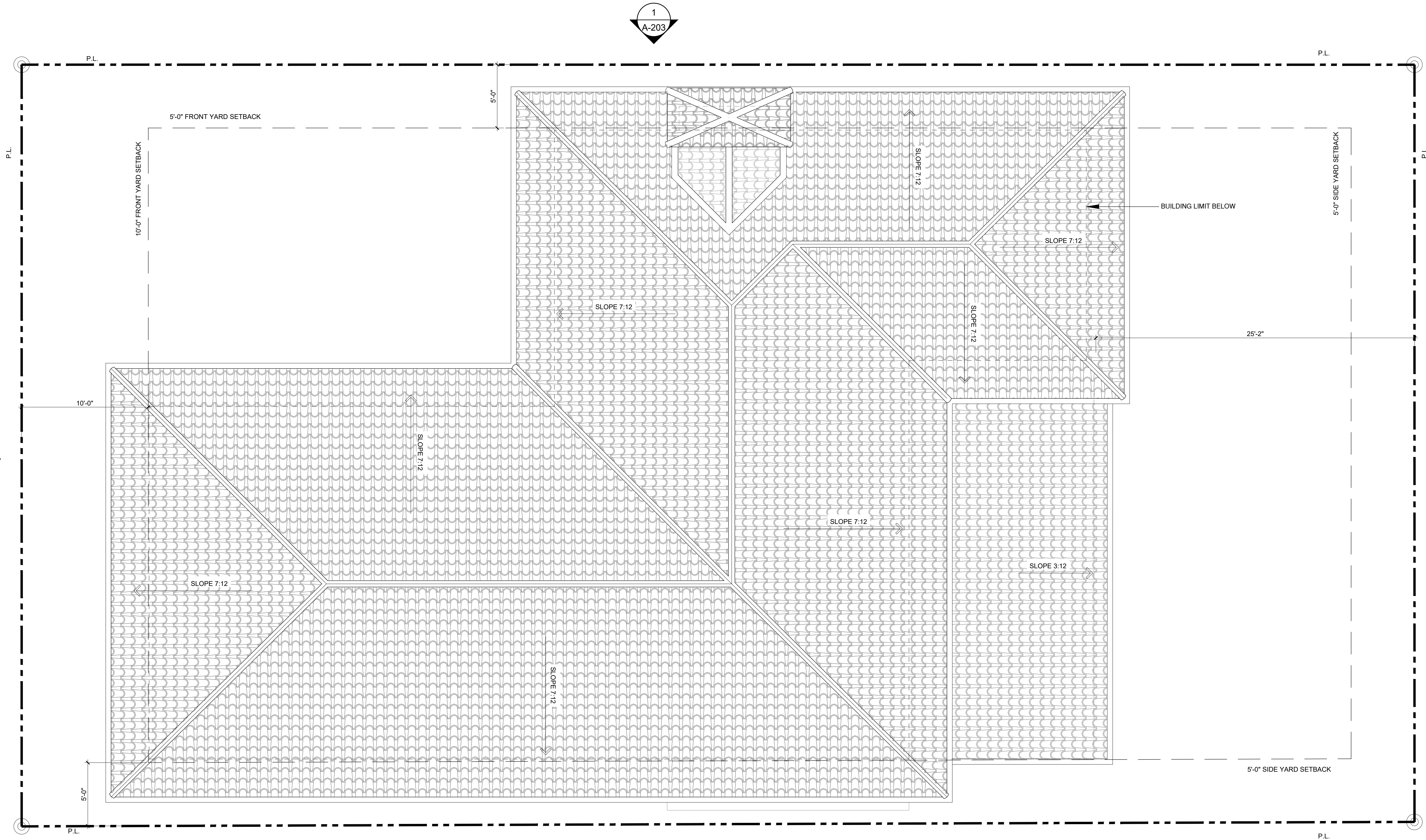
DRAWING TITLE:

ROOF PLAN

SHEET NUMBER:

A-104

EDITION:
FLEXIBLE STANDARD
DEVELOPMENT LEVEL 2



MAIN ROOF MID POINT HEIGHT IS 30'-0" ABOVE DFE

1 ROOF PLAN
A-104 1/4" = 1' - 0"





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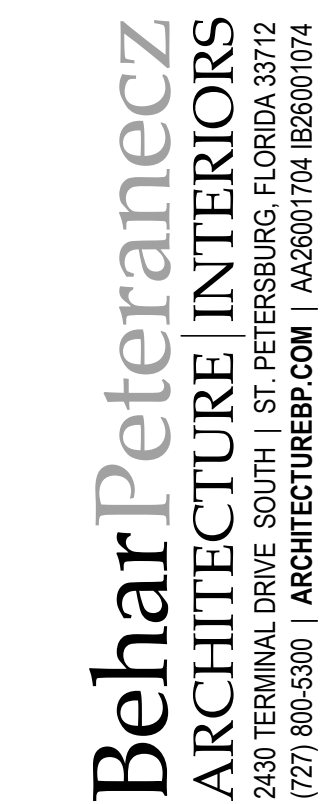
09.02.2025

A-201

EDITION:
FLEXIBLE STANDARD
DEVELOPMENT LEVEL 2



ELEVATIONS MATERIAL TAGS		ELEVATIONS KEYNOTES									
	STONE VENEER		EXISTING SEA WALL AT REAR OF PROPERTY		IMPACT RATED WINDOW SYSTEM - REFER TO PLAN FOR ADDITIONAL INFORMATION		FIREPLACE FLUE AND CHIMNEY CAP		ELECTRICAL METER PLATFORM		CAST STONE HEADER - GC TO COORDINATE FINAL SCHEDULED PROFILE WITH CAST STONE MANUFACTURER
	ROUGH STONE BASE		SLED ROOF WITH BRACKETS		OVERHEAD GARAGE DOOR - REFER TO PLAN FOR ADDITIONAL INFORMATION		PROPOSED LOCATION OF ELECTRICAL METER - COORDINATE AND INSTALL ALL EQUIPMENT ACCORDING TO LOCAL UTILITY PROVIDER'S CLEARANCE REQUIREMENTS ACCORDING TO APPLICABLE CODE REQUIREMENTS.		MECHANICAL EQUIPMENT PLATFORM		CAST STONE SILL - GC TO COORDINATE FINAL SCHEDULED PROFILE WITH CAST STONE MANUFACTURER
	DIRECT APPLIED STUCCO		4" GUTTER AND REQUIRED BRACKETS - HALF ROUND PROFILE		FLOOD VENTS INSTALLED PER MANUFACTURERS SPECIFICATIONS. GC TO TO ENSURE NEEDED OPENNESS IS ACHIEVED AS PER STRUCTURAL DRAWINGS REQUIREMENTS			ORNAMENTAL METAL GATE		CAST STONE TRIM - GC TO COORDINATE FINAL SCHEDULED PROFILE WITH CAST STONE MANUFACTURER	
	BARREL CLAY TILE		4" DOWNSPOUT - ROUND PROFILE			OWNER SELECTED LANTERN - WALL MOUNTED		ORNAMENTAL METAL SCREEN		CAST STONE INFILL PANEL - GC TO COORDINATE FINAL SCHEDULED PROFILE WITH CAST STONE MANUFACTURER	



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DRAWING TITLE:

BUILDING
ELEVATIONS

A-202

EDITION:
FLEXIBLE STANDARD
DEVELOPMENT LEVEL 2



ELEVATIONS MATERIAL TAGS		ELEVATIONS KEYNOTES									
	STONE VENEER		EXISTING SEA WALL AT REAR OF PROPERTY		IMPACT RATED WINDOW SYSTEM - REFER TO PLAN FOR ADDITIONAL INFORMATION		FIREPLACE FLUE AND CHIMNEY CAP		ELECTRICAL METER PLATFORM		CAST STONE HEADER - GC TO COORDINATE FINAL SCHEDULED PROFILE WITH CAST STONE MANUFACTURER
	ROUGH STONE BASE		SLED ROOF WITH BRACKETS		OVERHEAD GARAGE DOOR - REFER TO PLAN FOR ADDITIONAL INFORMATION		PROPOSED LOCATION OF ELECTRICAL METER - COORDINATE AND INSTALL ALL EQUIPMENT ACCORDING TO LOCAL UTILITY PROVIDER'S CLEARANCE REQUIREMENTS ACCORDING TO APPLICABLE CODE REQUIREMENTS.		MECHANICAL EQUIPMENT PLATFORM		CAST STONE SILL - GC TO COORDINATE FINAL SCHEDULED PROFILE WITH CAST STONE MANUFACTURER
	DIRECT APPLIED STUCCO		4" GUTTER AND REQUIRED BRACKETS - HALF ROUND PROFILE		FLOOD VENTS INSTALLED PER MANUFACTURERS SPECIFICATIONS. GC TO TO ENSURE NEEDED OPENNESS IS ACHIEVED AS PER STRUCTURAL DRAWINGS REQUIREMENTS			ORNAMENTAL METAL GATE		CAST STONE TRIM - GC TO COORDINATE FINAL SCHEDULED PROFILE WITH CAST STONE MANUFACTURER	
	BARREL CLAY TILE		4" DOWNSPOUT - ROUND PROFILE			OWNER SELECTED LANTERN - WALL MOUNTED		ORNAMENTAL METAL SCREEN		CAST STONE INFILL PANEL - GC TO COORDINATE FINAL SCHEDULED PROFILE WITH CAST STONE MANUFACTURER	



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1035 BAY ESPLANADE,
CLEARWATER, FLORIDA 33756

ISSUED DRAWING LOG:

[illegible]

PROJECT NO:

ISSUE DATE:

09.02.2025

BUILDING
ELEVATIONS

SHEET NUMBER: _____

A-203

EDITION:
FLEXIBLE STANDARD
DEVELOPMENT LEVEL 2

ELEVATIONS MATERIAL TAGS		ELEVATIONS KEYNOTES									
	STONE VENEER		EXISTING SEA WALL AT REAR OF PROPERTY		IMPACT RATED WINDOW SYSTEM - REFER TO PLAN FOR ADDITIONAL INFORMATION		FIREPLACE FLUE AND CHIMNEY CAP		ELECTRICAL METER PLATFORM		CAST STONE HEADER - GC TO COORDINATE FINAL SCHEDULED PROFILE WITH CAST STONE MANUFACTURER
	ROUGH STONE BASE		SHED ROOF WITH BRACKETS		OVERHEAD GARAGE DOOR - REFER TO PLAN FOR ADDITIONAL INFORMATION		PROPOSED LOCATION OF ELECTRICAL METER - COORDINATE AND INSTALL ALL EQUIPMENT ACCORDING TO LOCAL UTILITY PROVIDER'S CLEARANCE REQUIREMENTS ACCORDING TO APPLICABLE CODE REQUIREMENTS.		MECHANICAL EQUIPMENT PLATFORM		CAST STONE SILL - GC TO COORDINATE FINAL SCHEDULED PROFILE WITH CAST STONE MANUFACTURER
	DIRECT APPLIED STUCCO		4" GUTTER AND REQUIRED BRACKETS - HALF ROUND PROFILE		FLOOD VENTS INSTALLED PER MANUFACTURERS SPECIFICATIONS. GC TO ENSURE NEEDED OPENNESS IS ACHIEVED AS PER STRUCTURAL DRAWINGS REQUIREMENTS				ORNAMENTAL METAL GATE		CAST STONE TRIM - GC TO COORDINATE FINAL SCHEDULED PROFILE WITH CAST STONE MANUFACTURER
	BARREL CLAY TILE		4" DOWNSPOUT - ROUND PROFILE						OWNER SELECTED LANTERN - WALL MOUNTED		ORNAMENTAL METAL SCREEN



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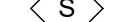
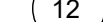
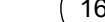
1035 BAY ESPLANADE,
CLEARWATER, FLORIDA 33756

BUILDING
ELEVATION

A-204

EDITION:
FLEXIBLE STANDARD
DEVELOPMENT LEVEL 2



ELEVATIONS MATERIAL TAGS		ELEVATIONS KEYNOTES									
	STONE VENEER		EXISTING SEA WALL AT REAR OF PROPERTY		IMPACT RATED WINDOW SYSTEM - REFER TO PLAN FOR ADDITIONAL INFORMATION		FIREPLACE FLUE AND CHIMNEY CAP		ELECTRICAL METER PLATFORM		CAST STONE HEADER - GC TO COORDINATE FINAL SCHEDULED PROFILE WITH CAST STONE MANUFACTURER
	ROUGH STONE BASE		SHED ROOF WITH BRACKETS		OVERHEAD GARAGE DOOR - REFER TO PLAN FOR ADDITIONAL INFORMATION		PROPOSED LOCATION OF ELECTRICAL METER - COORDINATE AND INSTALL ALL EQUIPMENT ACCORDING TO LOCAL UTILITY PROVIDER'S CLEARANCE REQUIREMENTS ACCORDING TO APPLICABLE CODE REQUIREMENTS.		MECHANICAL EQUIPMENT PLATFORM		CAST STONE SILL - GC TO COORDINATE FINAL SCHEDULED PROFILE WITH CAST STONE MANUFACTURER
	DIRECT APPLIED STUCCO		4" GUTTER AND REQUIRED BRACKETS - HALF ROUND PROFILE		FLOOD VENTS INSTALLED PER MANUFACTURERS SPECIFICATIONS. GC TO TO ENSURE NEEDED OPENNESS IS ACHIEVED AS PER STRUCTURAL DRAWINGS REQUIREMENTS				ORNAMENTAL METAL GATE		CAST STONE TRIM - GC TO COORDINATE FINAL SCHEDULED PROFILE WITH CAST STONE MANUFACTURER
	BARREL CLAY TILE		4" DOWNSPOUT - ROUND PROFILE				OWNER SELECTED LANTERN - WALL MOUNTED		ORNAMENTAL METAL SCREEN		CAST STONE INFILL PANEL - GC TO COORDINATE FINAL SCHEDULED PROFILE WITH CAST STONE MANUFACTURER



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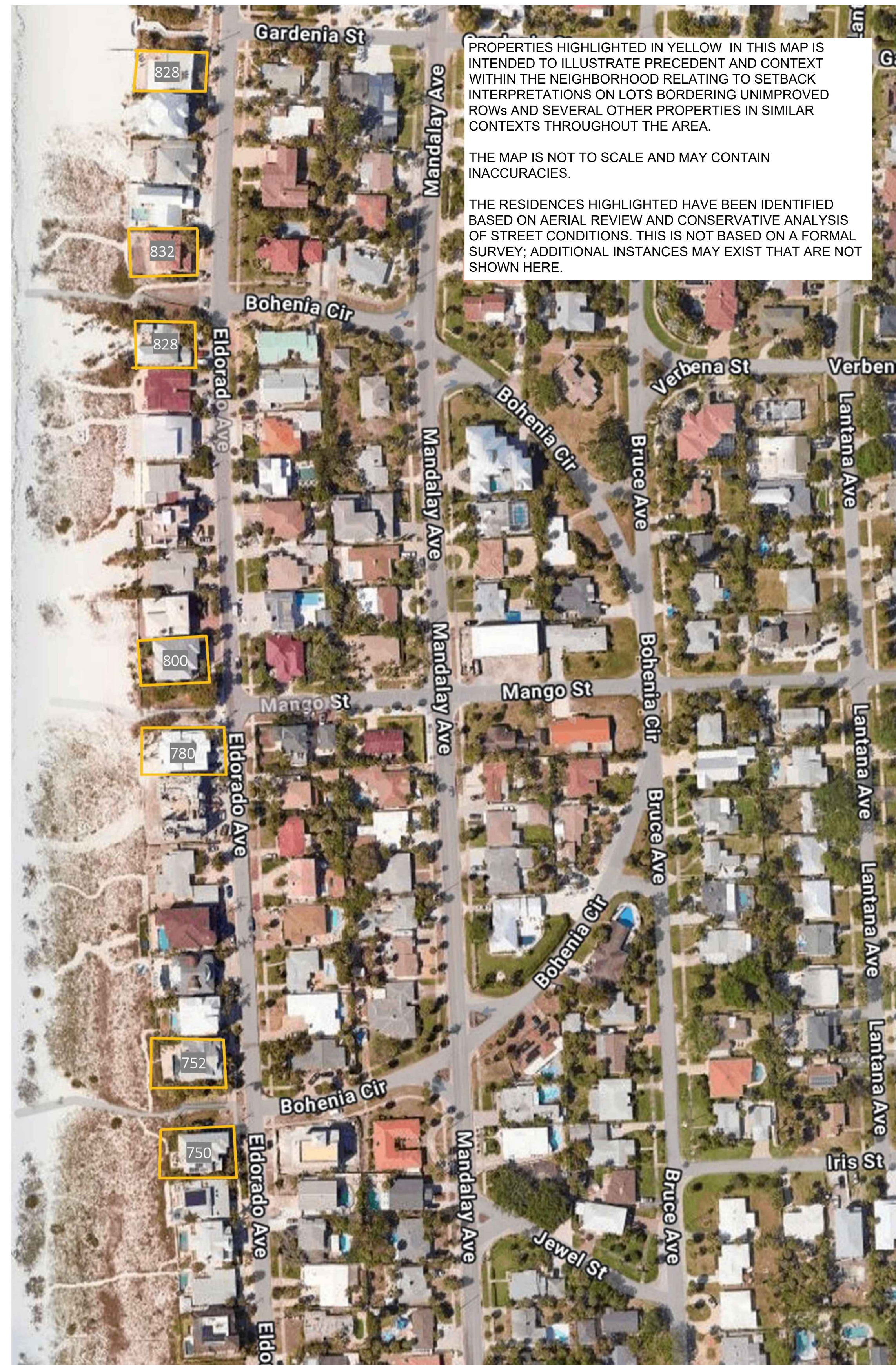
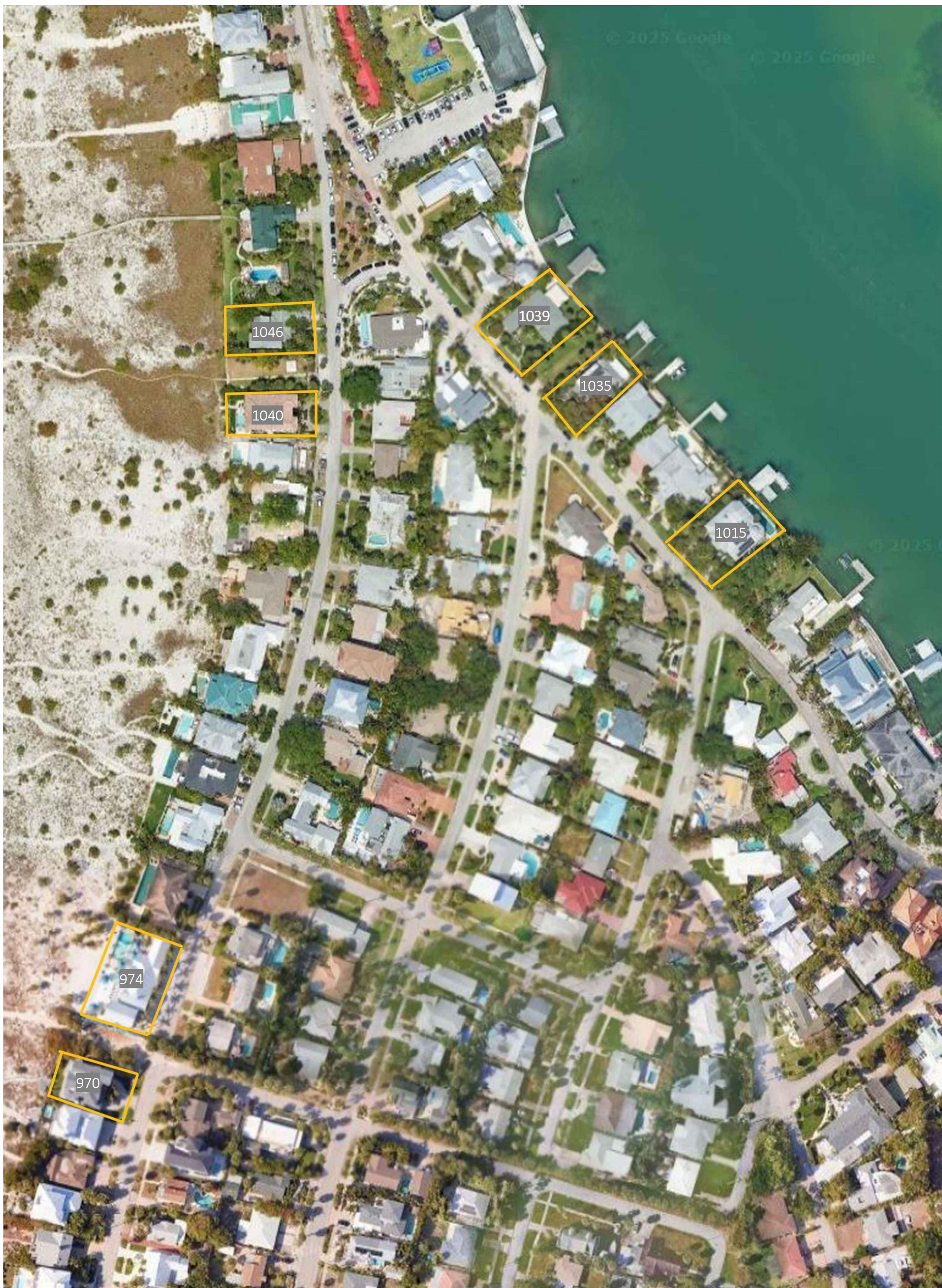
CHARACTER
MAP

A-301

EDITION:
FLEXIBLE STANDARD
DEVELOPMENT LEVEL 2



- THE RESIDENCES HIGHLIGHTED HAVE BEEN DETERMINED TO BE WITHIN THE FRONT YARD SETBACK AND CONSERVATIVELY ANALYZING THE STREET AND NOT BY ACTUAL SURVEY. AN ACTUAL SURVEY MAY SHOW MORE RESIDENCES ENCRANCHING THAT ARE NOT INDICATED HERE.



PROPERTIES HIGHLIGHTED IN YELLOW IN THIS MAP IS INTENDED TO ILLUSTRATE PRECEDENT AND CONTEXT WITHIN THE NEIGHBORHOOD RELATING TO SETBACK INTERPRETATIONS ON LOTS BORDERING UNIMPROVED ROWS AND SEVERAL OTHER PROPERTIES IN SIMILAR CONTEXTS THROUGHOUT THE AREA.

THE MAP IS NOT TO SCALE AND MAY CONTAIN INACCURACIES.

THE RESIDENCES HIGHLIGHTED HAVE BEEN IDENTIFIED BASED ON AERIAL REVIEW AND CONSERVATIVE ANALYSIS OF STREET CONDITIONS. THIS IS NOT BASED ON A FORMAL SURVEY; ADDITIONAL INSTANCES MAY EXIST THAT ARE NOT SHOWN HERE.

LEE RESIDENCE

RESIDENTIAL INFILL DETACHED DWELLING

RESIDENTIAL INFILL DETACHED DWELLING

1035 BAY ESPLANADE,
CLEARWATER, FLORIDA 33756

ISSUED DRAWING LOG:

[illegible]

PROJECT NO:

24.025

ISSUE DATE:

07.27.2025

DRAFTING TITLE

CHARACTER MAP

SHEET NUMBER:

A-302

EDITION:
FLEXIBLE STANDARD
DEVELOPMENT LEVEL 2