

ORDINANCE NO. 8898-16

AN ORDINANCE OF THE CITY OF CLEARWATER, FLORIDA, AMENDING THE FUTURE LAND USE PLAN ELEMENT OF THE COMPREHENSIVE PLAN OF THE CITY, TO DESIGNATE THE LAND USE FOR CERTAIN REAL PROPERTY LOCATED ON THE WEST SIDE OF GROVE DRIVE, APPROXIMATELY 330 FEET NORTH OF STATE ROAD 590, WHOSE POST OFFICE ADDRESS IS 1712 GROVE DRIVE, CLEARWATER, FLORIDA 33759, UPON ANNEXATION INTO THE CITY OF CLEARWATER, AS RESIDENTIAL LOW (RL); PROVIDING AN EFFECTIVE DATE.

WHEREAS, the amendment to the future land use plan element of the comprehensive plan of the City as set forth in this ordinance is found to be reasonable, proper and appropriate, and is consistent with the City's comprehensive plan; now, therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CLEARWATER, FLORIDA:

Section 1. The future land use plan element of the comprehensive plan of the City of Clearwater is amended by designating the land use category for the hereinafter described property, upon annexation into the City of Clearwater, as follows:

<u>Property</u>	<u>Land Use Category</u>
Lot 4, Block 4, Virginia Grove Terrace First Addition, according to the map or plat thereof, as recorded in the Plat Book 37, Page 62, Public Records of Pinellas County, Florida.	Residential Low (RL)

(ANX2014-10021)

The map attached as Exhibit A is hereby incorporated by reference.

Section 2. The City Council does hereby certify that this ordinance is consistent with the City's comprehensive plan.

Section 3. This ordinance shall take effect immediately upon adoption, contingent upon and subject to the adoption of Ordinance No. 8897-16.

PASSED ON FIRST READING
(AS ORDINANCE NO. 8628-15)

PASSED ON SECOND READING

PASSED ON THIRD AND FINAL
READING AND ADOPTED

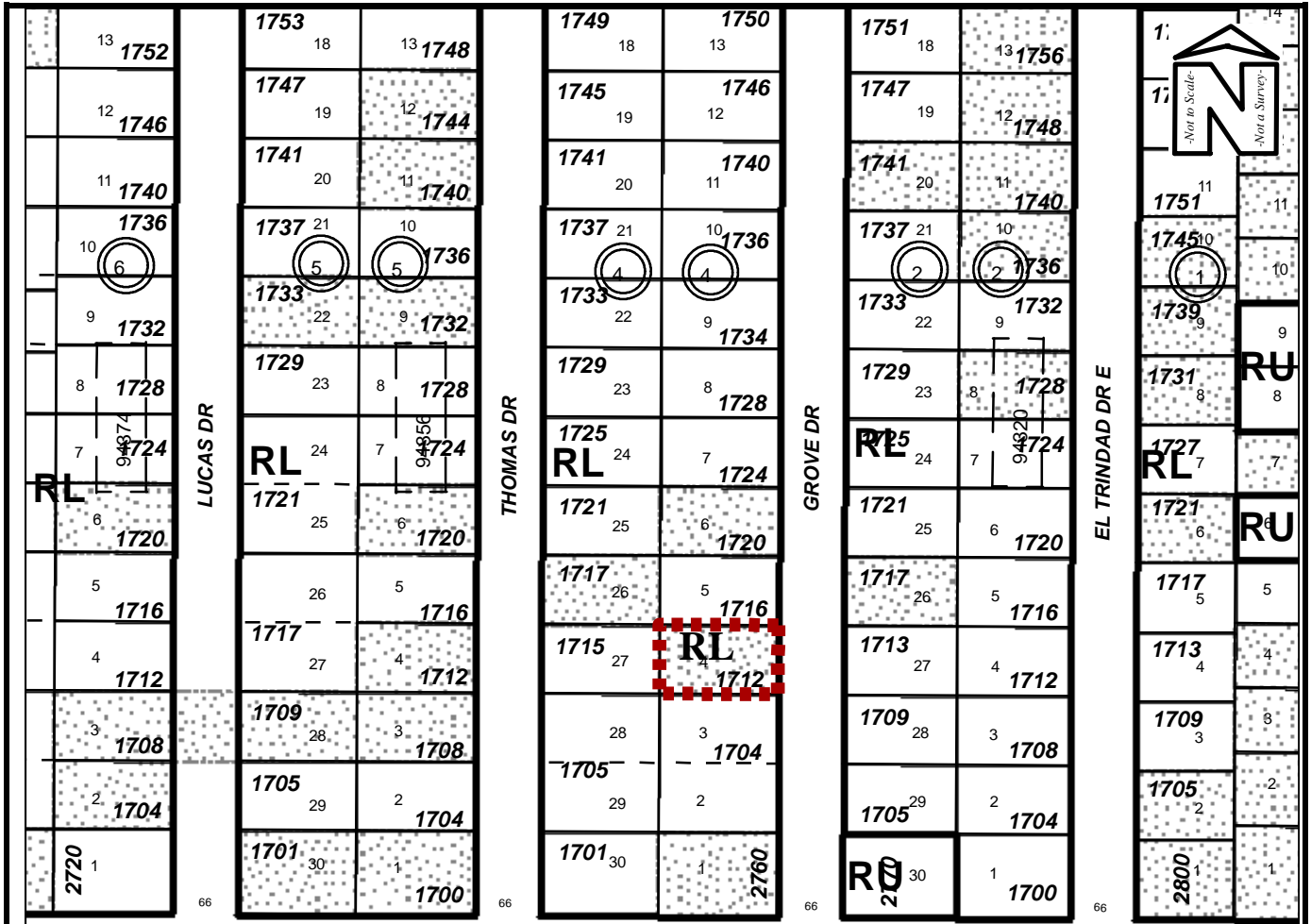
George N. Cretekos
Mayor

Approved as to form:

Attest:

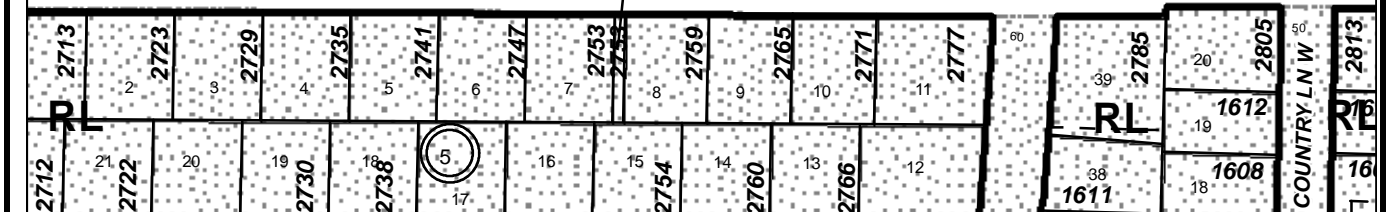
Camilo A. Soto
Assistant City Attorney

Rosemarie Call
City Clerk



SR 590

TRACT A



Future Land Use Map

Owner(s): Mike and Kathryn Lohmeyer	Case:	ANX2014-10021
Site: 1712 Grove Drive	Property Size (Acres): ROW Size (Acres):	0.19
Land Use	Zoning	PIN: 05-29-16-94338-004-0040
From : RL	R-3	
To: RL	LMDR	Atlas Page: 264A