





| FLOOR # | # OF PARKING SPACES |
|--------------------------|---------------------|
| 1 st (Ground) | 30 |
| 2 nd Floor | 13 |
| 3 rd Floor | 13 |
| 4 th Floor | 13 |
| 5 th Floor | 15 |
| TOTAL | 84 |

| USE | CODE REQUIRED PARKING | REQUIRED PARKING SPACES | PARKING SPACES PROVIDED |
|-----------------------|-----------------------|-------------------------|-------------------------|
| 18 PUBLIC BOAT SLIPS | 1 PER 2 SLIPS | 9 | 9 |
| 10 PRIVATE BOAT SLIPS | N/A | 0 | -- |
| 60 HOTEL UNITS | 1.2 PER UNIT | 72 | 72 |
| EXCESS PARKING | N/A | 0 | 3 |
| TOTAL | | 81 | 84 |

ADDED SPACES

C:\Users\William F\PROJECTS\2022\2201 CHART HOUSE\3 AF 1st FLOOR
 8/11/2022 12:10 PM
 8/11/2022 REVISIONS: CLOUDED
 12/5/2022 5:48 PM
 4/11/2023
 5/26/2023
 9/6/2024

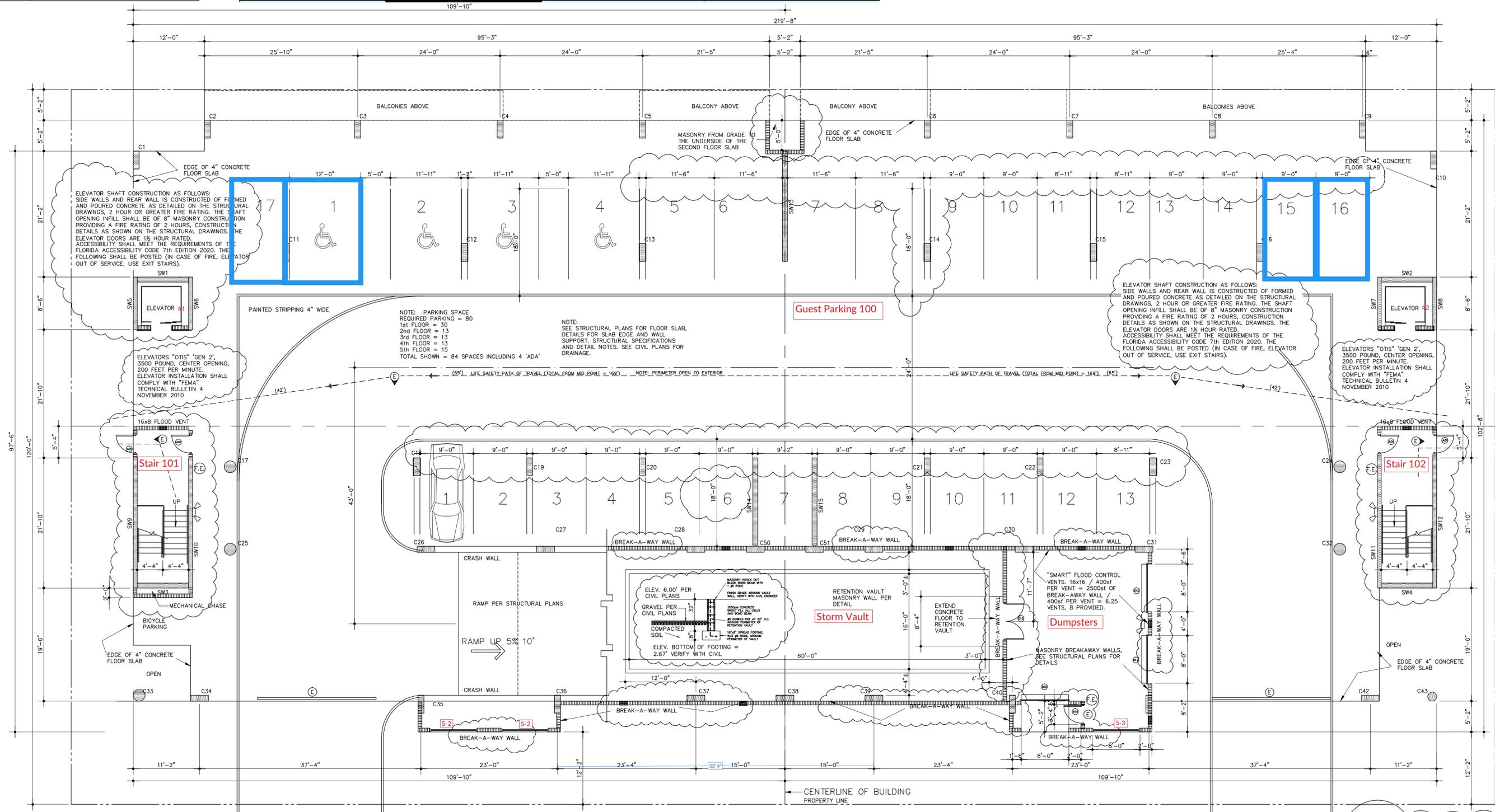


CHART HOUSE HOTEL
 850 BAYWAY BOULEVARD
 CLEARWATER, FLORIDA

WILLIAM F. MILLS II - ARCHITECT
 7929-98th STREET NORTH
 SEMINOLE, FLORIDA 33777



NOTE: ELEVATORS SHALL MEET THE REQUIREMENTS OF FBC BUILDING 2018, CHAPTER 30, SECTION 3002 HOISTWAY ENCLOSURES SECTIONS 712 AND 73. ELEVATORS SHALL MEET ASME A17.1CSA B44, ASME A17.6, ASME A17.7 CSA B44.7

NOTE: STREET ADDRESS NUMBERS SHALL BE PROVIDED AND INSTALLED PER THE REQUIREMENTS OF "NFPA" 11 2018 EDITION, SECTION 10.11.1

NOTE: BREAK-A-WAY WALLS TO MEET THE REQUIREMENTS OF "ASCE 24-14 SECTION 2.7"

(E) EXIT LIGHT
 (E) EXIT LIGHT WITH DIRECTIONAL ARROW
 (F) EMERGENCY LIGHT
 (F.E) FIRE EXTINGUISHER
 SEE ELECTRICAL FOR EXIT AND EMERGENCY LIGHTS

NOTES:
 1. REFER TO STRUCTURAL DRAWING FOR THE INSTALLATION OF MASONRY WALLS AND HEADERS ABOVE DOORS AND WINDOWS.
 2. REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATION FOR THE GROUND FLOOR CONCRETE SLABS.
 3. REFER TO THE CIVIL DRAWINGS ADDITIONAL ITEMS ON THE GROUND FLOOR.
 4. PER NFPA 1, SECTION 10.11.1, STREET ADDRESS NUMBERS SHALL BE PLACED ON THE STREET ELEVATION, TO BE CLEARLY VISIBLE, MINIMUM HEIGHT OF 4" WITH STROKE WIDTH IF 1/2", HEIGHT FOR THIS PROJECT TO MINIMUM OF 8".

5/26/2023 FLOOD CONTROL VENTS ADDED TO BREAK-A-WAY WALL IN THE UNDER RAMP AREA AND BOTH STAIRWELL END WALL. 16x8 VENTS (200sf) AND (16x16) VENTS (400sf)

NOTE: THE CONSTRUCTION OF THIS PARKING FOR THIS PROJECT SHALL MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE SEVENTH EDITION 2020, SECTION 406. SECTION 420
 2. THE CONSTRUCTION OF THE HOTEL PORTION OF THIS PROJECT SHALL MEET THE PROVISIONS OF THE FLORIDA BUILDING CODE, SEVENTH EDITION 2020, SECTION 420.
 3. THE SWIMMING POOL SHALL MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, SEVENTH EDITION 2020, SECTION 454. THESE PROVISIONS SHALL BE COVERED BY THE SWIMMING POOL ENGINEER AND HIS CONSTRUCTION DOCUMENTS.

BUILDING FLOOR PLAN - FIRST FLOOR

SCALE: 1/8" = 1'-0"

8/11/2022 11:48 AM
8/11/2022
REVISIONS: CLOUDED
2 4/24/2023 4:43 PM
3 5/25/2023
3 7/7/2023
8/22/2024
11/24/2024
2/22/2025

VERIFIED THAT NO FOUR BURNER COOK TOPS, TWO BURNER ONLY

MODIFIED RESTROOMS / REMOVED 51 WINDOWS
added balcony on unit type "A" modified window to include door

Inserted grid revise east half of plan at columns along grid line (3)

2/22/2025

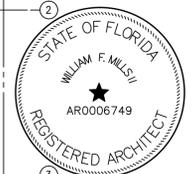
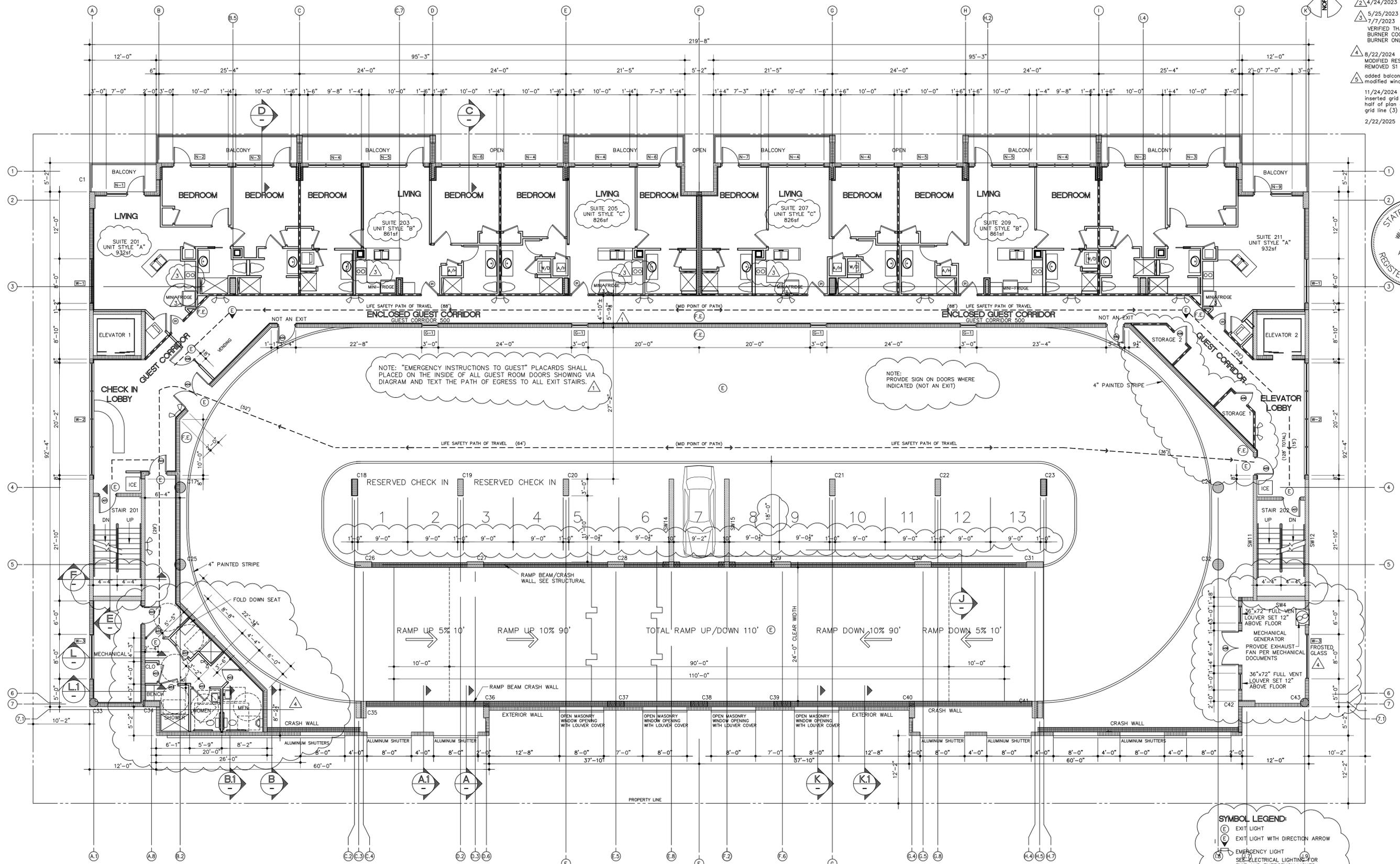


CHART HOUSE HOTEL
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WILLIAM F. MILLS II - ARCHITECT
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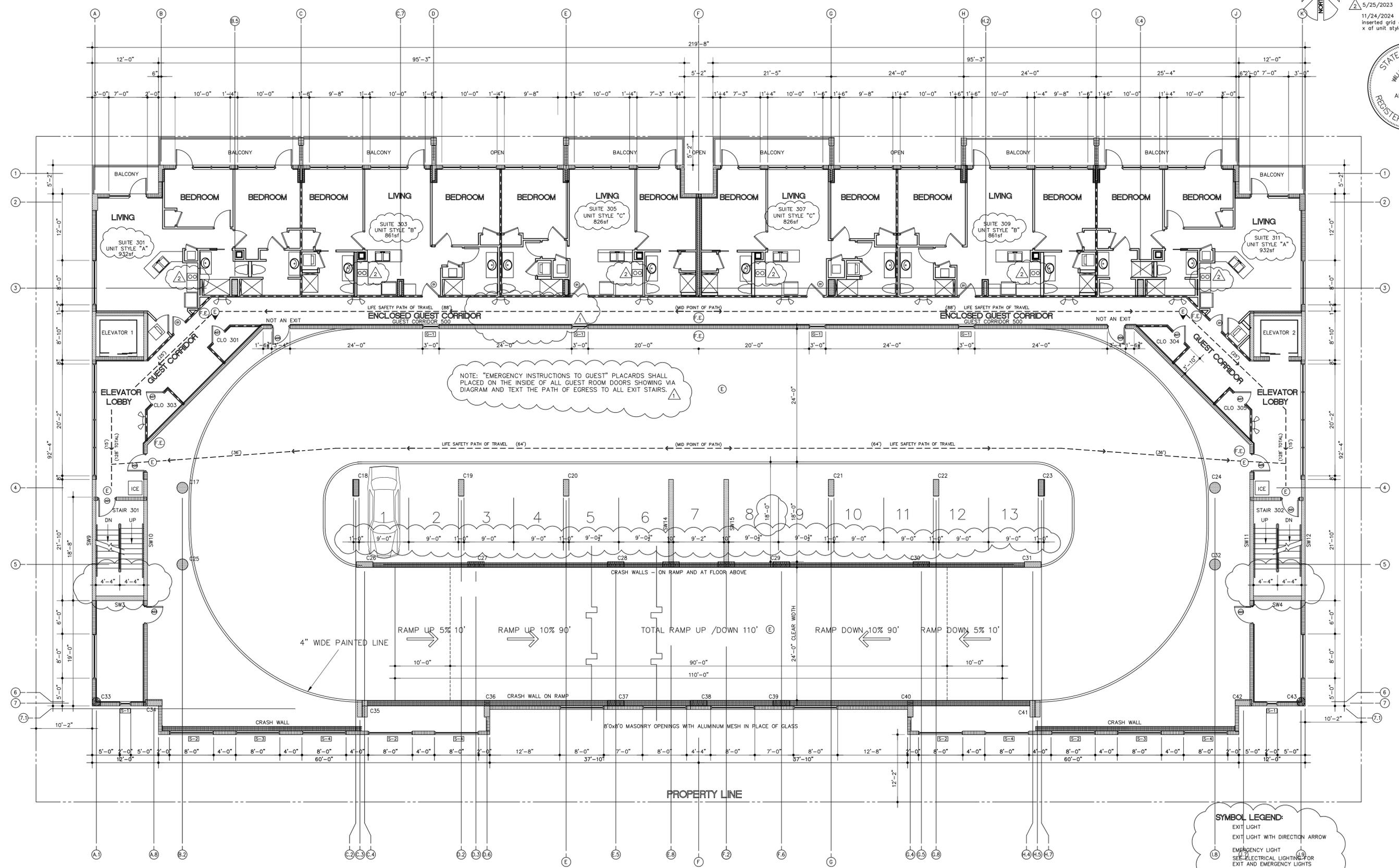
SYMBOL LEGEND:

- (E) EXIT LIGHT
- (E) EXIT LIGHT WITH DIRECTION ARROW
- (E) EMERGENCY LIGHT
- (E) SEE ELECTRICAL LIGHTING FOR EXIT AND EMERGENCY LIGHTS
- (E) FIRE EXTINGUISHER 10 ABC

BUILDING FLOOR PLAN - SECOND FLOOR
LIFE SAFETY PATH OF TRAVEL SHOWN

SCALE: 1/8" = 1'-0"

8/10/2022 3:56 PM
REVISIONS: CLOUDED
12/5/2022 4:53 PM
5/25/2023
11/24/2024
inserted grid and
x of unit styles a,b,c east



NOTE: "EMERGENCY INSTRUCTIONS TO GUEST" PLACARDS SHALL BE PLACED ON THE INSIDE OF ALL GUEST ROOM DOORS SHOWING VIA DIAGRAM AND TEXT THE PATH OF EGRESS TO ALL EXIT STAIRS.

SYMBOL LEGEND:
EXIT LIGHT
EXIT LIGHT WITH DIRECTION ARROW
EMERGENCY LIGHT
SEE ELECTRICAL LIGHTING FOR EXIT AND EMERGENCY LIGHTS
FIRE EXTINGUISHER 10 ABC

CHART HOUSE HOTEL
850 BAYWAY BOULEVARD
CLEARWATER, FLORIDA

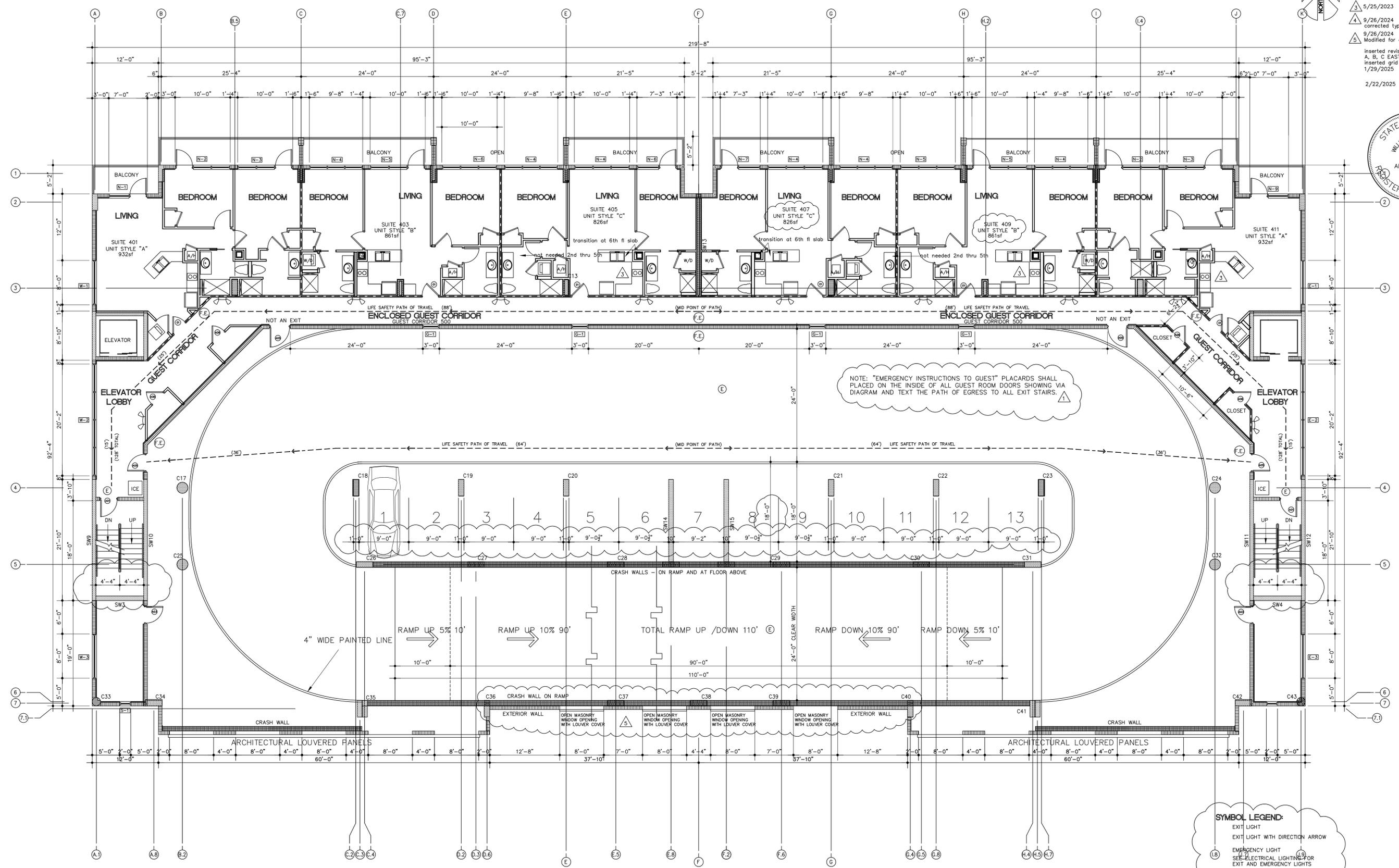
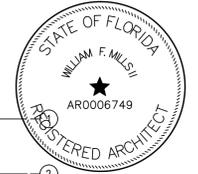
WILLIAM F. MILLS II - ARCHITECT
7929-98th STREET NORTH
SEMINOLE, FLORIDA 33777



BUILDING FLOOR PLAN - THIRD FLOOR
LIFE SAFETY PATH OF TRAVEL SHOWN

SCALE: 1/8" = 1'-0"

8/10/2022 3:34 PM
REVIEWS: CLOUDED
12/5/2022 11:33 AM
3 5/25/2023
4 9/26/2024 corrected typo
5 9/26/2024 Modified for clarity
inserted revised X UNIT STYLES
A, B, C EAST
inserted grid
1/29/2025
2/22/2025



NOTE: "EMERGENCY INSTRUCTIONS TO GUEST" PLACARDS SHALL BE PLACED ON THE INSIDE OF ALL GUEST ROOM DOORS SHOWING VIA DIAGRAM AND TEXT THE PATH OF EGRESS TO ALL EXIT STAIRS.

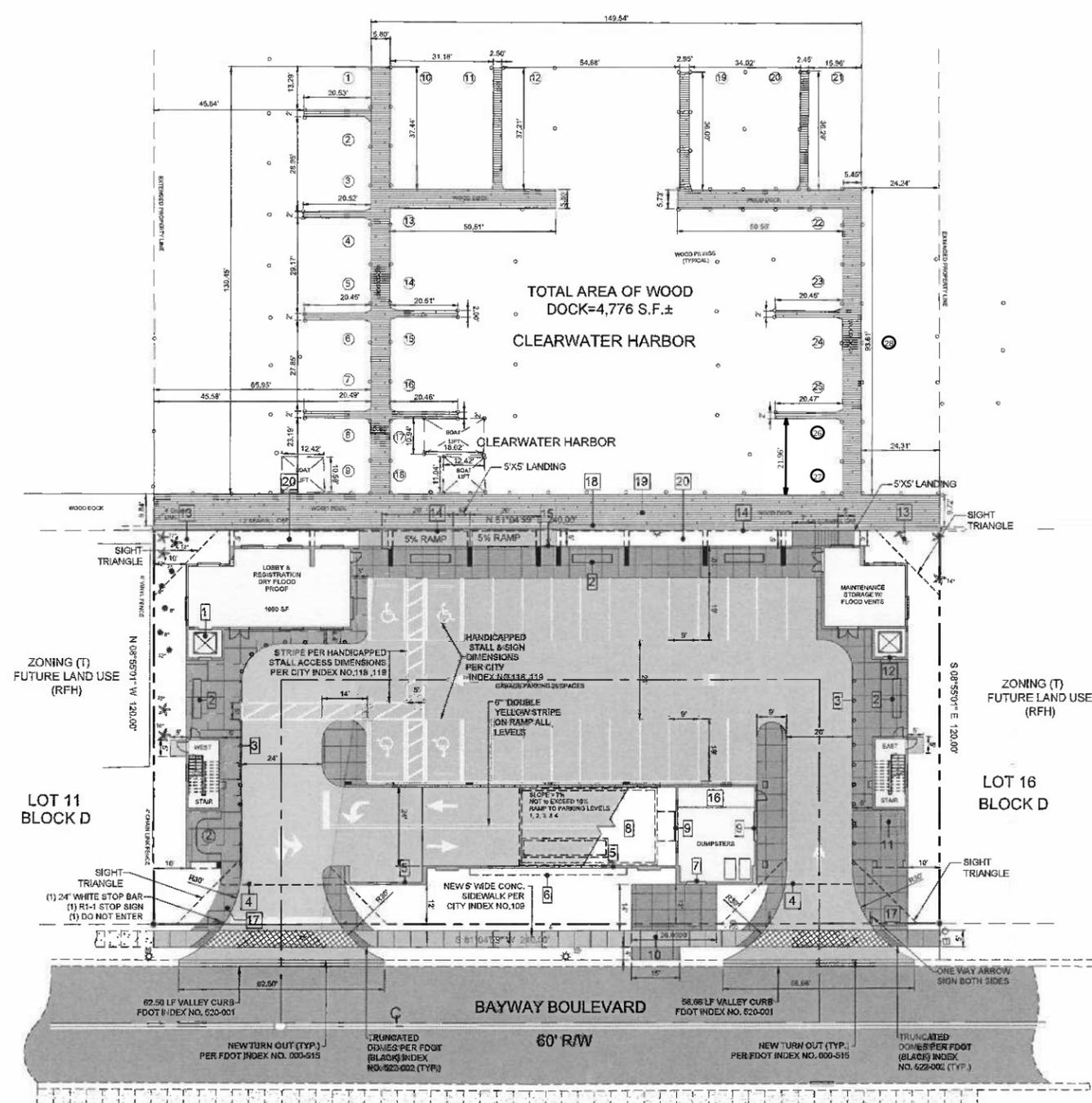
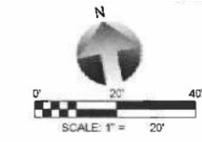
SYMBOL LEGEND:
EXIT LIGHT
EXIT LIGHT WITH DIRECTION ARROW
EMERGENCY LIGHT
SEE ELECTRICAL LIGHTING FOR EXIT AND EMERGENCY LIGHTS
FIRE EXTINGUISHER 10 ABC

CHART HOUSE HOTEL
850 BAYWAY BOULEVARD
CLEARWATER, FLORIDA

WILLIAM F. MILLS II - ARCHITECT
7929-98th STREET NORTH
SEMINOLE, FLORIDA 33777



BUILDING FLOOR PLAN - FOURTH FLOOR
LIFE SAFETY PATH OF TRAVEL SHOWN
SCALE: 1/8" = 1'-0"



CITY FIRE DEPARTMENT NOTES

- Exit stair discharge shall meet the requirements of NFPA 101 Chp 28 New Hotels - 28.2.7 Discharge from Exits.
- Docks shall be protected with Class 1 standpipes for fire fighting per NFPA 1 Chp 20.

- KEYNOTE LEGEND**
- ELEVATOR TO ENCLOSED LOBBIES & CORRIDOR ON LEVELS 1 - 7 ABOVE: SEE EXHIBIT "B" HDA SHEETS 13, 14, 15
 - BENCH SEATING
 - TRAFFIC BOLLARDS
 - LINE OF BUILDING AT LEVEL 1 ABOVE GARAGE
 - TYPICAL OPENING WITH ARCHITECTURAL GRILLWORK TO SCREEN GARAGE RAMP: SEE ELEVATION, EXHIBIT "B" TO HDA, SHEET 6
 - LINE OF OVERHANGING PLANTERS ABOVE: SEE ELEVATION, EXHIBIT "B" TO HDA, SHEET 6
 - 7' WIDE O.H. DOOR FOR ROLL-OUT DUMPSTERS TO BAYWAY BLVD
 - 35' x 15' STORMWATER VAULT UNDER RAMP WITH CLEAR HEADROOM
 - 8' WIDE O.H. DOORS FOR ACCESS TO DUMPSTERS & VAULT MAINTENANCE
 - CURBSIDE ROLL-OUT DUMPSTER PAD,
 - TRANSFORMER, WITH FEED TO MAIN ELEC. ROOM ABOVE DFE, ALL EXPOSED CONDUIT ETC. PAINTED TO MATCH BUILDING COLOR.
 - ELEVATOR TO ENCLOSED LOBBIES ABOVE ON LEVELS 1 - 7 ABOVE GARAGE.
 - 20' x 20' SITE VISIBILITY TRIANGLES.
 - LINE OF BALCONY OVERHANGS ABOVE, LEVELS 1 - 7, 4'-5" DEEP.
 - 5' x 5' BREAK IN HORIZONTAL PLANE, CONTINUOUS VERTICAL BREAK TO ROOF: SEE NORTH ELEVATION, EXHIBIT "B" TO HDA, SHEET 8.
 - STORM PANEL STORAGE
 - PEDESTRIAN ACCESS TO HOTEL LOBBY FROM SIDEWALK AT BAYWAY
 - TOP OF EXISTING SEAWALL
 - EXISTING WOOD DOCK
 - 5' LANDSCAPED AREA FROM BUILDING TO SEAWALL

SITE LEGEND
PROPOSED

- HANDICAP PARKING
- PROPOSED DRAINAGE INLET
- YARD DRAIN
- ROADWAY CENTER LINE
- PROPOSED CURB
- BUILDING COLUMN
- EXISTING CONCRETE PAVEMENT
- PROPOSED DECORATIVE CONC. PAVEMENT AT DRIVEWAYS
- PROPOSED CONCRETE PAVEMENT SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- EXISTING ASPHALT PAVEMENT (ROADS)
- PROPOSED BUILDING TO REMAIN UNDISTURBED
- PROPOSED PRIVATE WALK WAY (SURFACE TREATMENT TO BE DETERMINED)
- CENTER BOUNDARY LINE
- CENTER LINE OF ROAD
- RIGHT-OF-WAY
- EXISTING EDGE OF PAVEMENT
- SIGHT TRIANGLE
- TYP TYPICAL
- 10 PARKING SPACES
- BOAT SLIP NUMBER
- SW SIDEWALK
- RS' 5' RADIUS
- LF LINEAR FEET
- SF SQUARE FEET
- PROPOSED TRUNCATED DOMES

CITY PLANNING NOTES

- The location and visibility of electric equipment (electric panels, boxes and meters) SHALL be reviewed, and if located exterior to the building where visible from any street frontage, be shown to be painted the same color as the portion of the building to which such features are attached. SEE ARCHITECTURAL PLAN FOR DETAILS.

TRAFFIC NOTES

- The minimum clear height throughout the garage shall be seven feet zero inches and shall be eight feet two inches for van-accessible parking spaces including ingress and egress drive aisles to these spaces.
- Pedestrian - vehicular conflicts shall be avoided whenever possible. Where unavoidable, active warning devices such as traffic signals or flashing warning sign devices and/or physical barriers such as vehicular actuated gates shall be provided to warn the pedestrian and slow vehicular traffic.
- Lighting levels in parking garages having public access shall meet or exceed the current minimum Illuminating Engineering Society (IES) standards.
- All electrical conduits, pipes, downspouts, columns or other features that could be subject to impact from vehicular traffic shall be protected from impact damage with pipe guards or similar measures. Measures used for protection shall not encroach into any parking space.
- Maximum speed ramp slope shall not exceed 12 percent. A ten-foot long transition ramp with a slope equal to one-half of the change in slopes shall be provided at the bottom and top of all speed ramps with a slope of ten percent or greater.
- When parking spaces are provided on a ramp, the slope shall be less than 6 percent. Pedestrian - vehicular conflicts shall be avoided whenever possible. Where unavoidable, active warning devices such as traffic signals or flashing warning sign devices and/or physical barriers such as vehicular actuated gates shall be provided to warn the pedestrian and slow vehicular traffic.

CITY ENGINEERING NOTES

- Any new concrete driveway (aserc) constructed within the right-of-way shall be a minimum 6" thick fibrous concrete, a minimum 3,000 psi with 6" x 6" / 10 x 10 welded wire fabric, and 3' transition per City of Clearwater Engineering Construction Standards Index #103, page 2/2.
- Sidewalk, portion passing through driveway(s) shall be 9" thick 3,000 psi fiber mesh reinforced concrete with 6" x 6" / 10 x 10 welded wire fabric per City of Clearwater Engineering Construction Standards Index #103, page 1/5.
- Sidewalks to be constructed within three (3) days after removal and safe pedestrian traffic are to be maintained at all times. When existing sidewalk is removed, it is to be removed to the nearest expansion joint.

STRIPING NOTES

- TYPICAL PARKING SPACE SHALL BE STRIPED WITH A 4" WHITE STRIPE.
- SEE DETAILS FOR HANDICAP PARKING.
- DRIVEWAY FLARES AND RETURNS PER CITY OF CLEARWATER DETAIL INDEX NO. 107 (FOR MORE INFO REFER TO FOOT INDEX 515 SPECIFICATIONS).
- PAVEMENT MARKINGS PER FDOT INDEX 17346

SIGN LEGEND

- R1-1 STOP SIGN

UTILITY WARNING NOTE:

ABOVE GROUND OR UNDER GROUND UTILITIES MAY BE IN THE AREA OF THIS PROJECT. PROCEED WITH CAUTION. CALL "TOLL FREE ONE CALL SYSTEM" AND THE UTILITY COMPANIES BEFORE BEGINNING WORK. 1-800-422-4376, (48 HOURS IN ADVANCE)

PARKING TABULATION

| FLOOR # | # OF PARKING SPACES |
|--------------------------|---------------------|
| 1 st (Ground) | 30 |
| 2 nd Floor | 13 |
| 3 rd Floor | 13 |
| 4 th Floor | 13 |
| 5 th Floor | 15 |
| TOTAL | 84 |

PARKING REQUIREMENTS

| USE | CODE REQUIRED PARKING | REQUIRED PARKING SPACES | PARKING SPACES PROVIDED |
|-----------------------|-----------------------|-------------------------|-------------------------|
| 18 PUBLIC BOAT SLIPS | 1 PER 2 SLIPS | 9 | 9 |
| 10 PRIVATE BOAT SLIPS | N/A | 0 | -- |
| 60 HOTEL UNITS | 1.2 PER UNIT | 72 | 72 |
| EXCESS PARKING | N/A | 0 | 3 |
| TOTAL | | 81 | 84 |

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Notes:

- NOT ISSUED FOR CONSTRUCTION

ELECTRONIC COPY

Revisions

| Revisions | By | Appd. | Date |
|-----------|----|-------|------|
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Submitted

| Submitted | By | Appd. | Date |
|--------------------------|-----|-------|----------|
| CITY OF CLEARWATER (DRC) | MJP | MJP | 05-01-21 |
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Seal:



MICHAEL J. PALMER, P.E., E.C. NO. 63745
This Seal has been digitally signed and sealed by Michael J. Palmer, P.E. on 05/01/21
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Project / Client:

PROPOSED 60 UNIT HOTEL
850 Bay Way Blvd,
City of Clearwater, Florida 33767

DECADE PROPERTIES INC
13555 Bishops Ct. Ste. 345
Brookfield WI 53005-6218

HORIZONTAL CONTROL PLAN

| Project No. | Scale: | Date: |
|-------------|----------|--------------|
| 09-30-18 | AS NOTED | 04-28-2021 |
| Drawing No. | Sheet | Revision No. |
| C-03 | 3 of 6 | 0 |