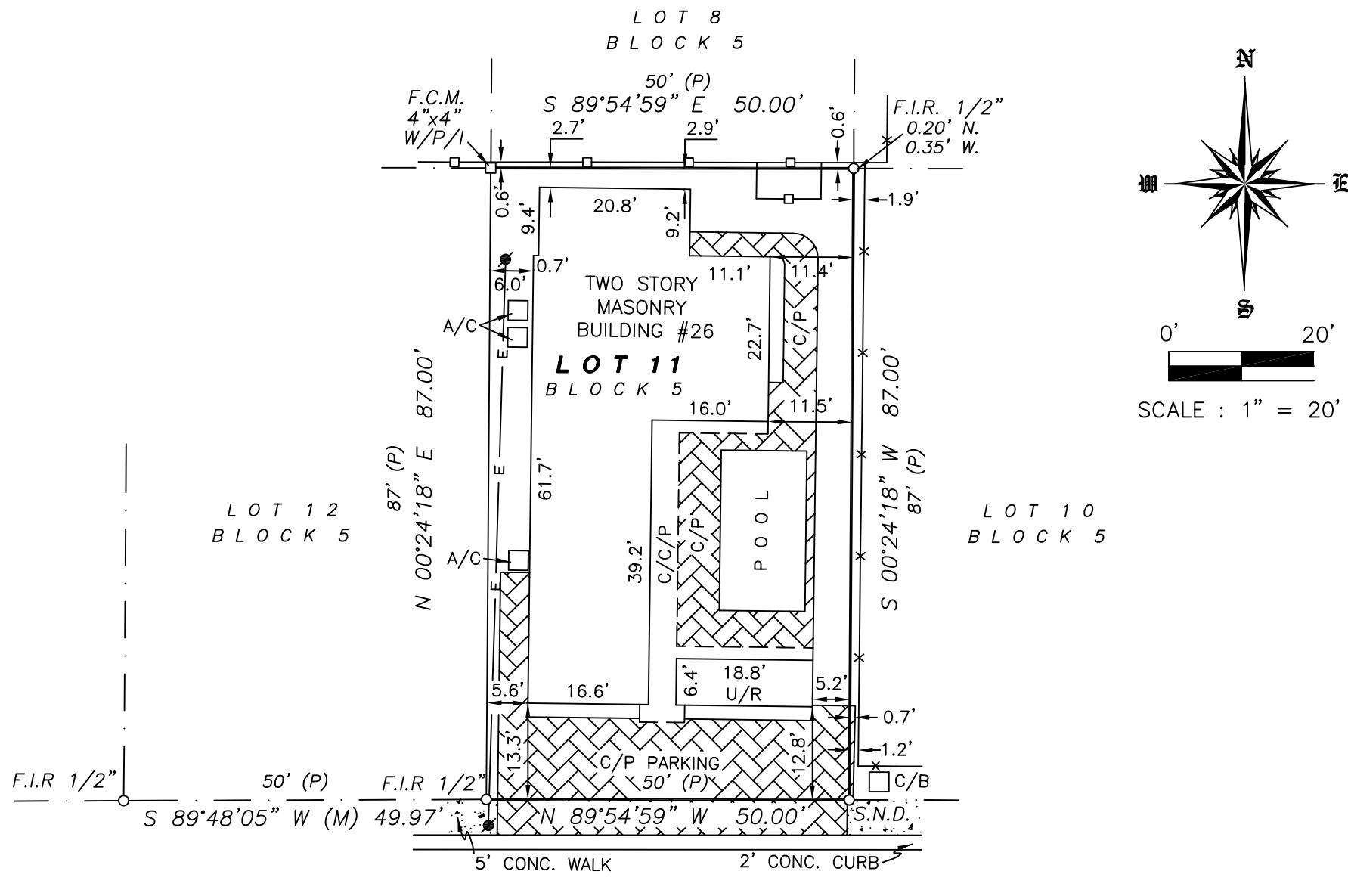




# DON ARMSTRONG LAND SURVEYING, LLC

2187 NORTH GREEN RIDGE PLACE – PALM HARBOR, FL 34683  
OFFICE: (727) 772-8134 – EMAIL: SKYDOGG55@GMAIL.COM  
FLORIDA CERTIFICATE OF AUTHORIZATION #7609

SEC. 05, TWP. 29 S., RGE. 15 E.  
Pinellas County, Florida  
DRAWING #22024A  
FILE #22014A  
JOB #22024A



0' 20'  
SCALE : 1" = 20'

#### LEGEND:

- 6' VINYL FENCE
- ×— 6' METAL FENCE
- E— OVERHEAD UTILITY WIRES
- WOOD UTILITY POLE

CERTIFIED TO: CLEARWATER BEACH INVESTMENTS, LLC

#### Legal Description:

Lot 11, Block 5, REVISED MAP OF CLEARWATER BEACH, according to the map or plat thereof as recorded in Plat Book 11, Page 5 of the Public Records of Pinellas County, Florida.

#### SURVEYOR'S REPORT:

- Horizontal Datum shown on this Map of Survey has been measured to an estimated positional accuracy of 0.10 Feet unless otherwise shown hereon.
- Horizontal Datum shown on this Map of Survey is based upon the Northerly R/W of Heilwood Street being N 89°54'59" W (Assumed).
- This Map of Boundary Survey was completed without the benefit of a Commitment for Title Insurance and may be subject to additional Easements, and/or other matters of Title that may be found in the Public Records of Pinellas County, Florida.
- Property may be subject to unrecorded Easements and/or matters of Title not shown in the Public Records of Pinellas County, Florida.
- No Instruments of Record reflecting Easements and/or other matters of Title were provided to Surveyor unless otherwise shown hereon.
- The Legal Description shown on this Map of Boundary Survey was provided in the Official Records of Pinellas County, Florida, Book 20766, Page 1267.
- No underground improvements, foundations, structures, sprinklers, and/or utilities have been located and/or shown unless otherwise indicated hereon.
- No above ground utilities have been located and/or shown unless otherwise indicated hereon.
- The residence shown hereon appears to fall in Zone AE, as shown on the Federal Emergency Management Agency (F.E.M.A.), National Flood Insurance Rate Map (F.I.R.M.), Community #125096, Map #12103C0102H, Panel #0102-H, Map Dated 8/24/21, Index Dated 8/24/21, Base Flood Elevation = 9 feet.
- Improvements lying close to property lines are not all drawn to scale for graphic clarity.
- Fences shown hereon were located to the approximate center of posts.
- All found property corners have no designation unless otherwise indicated hereon.
- Additions or deletions to this Map of Survey or Surveyor's Report by other than the signing Surveyor is prohibited without the written consent of the signing Surveyor.
- Use of this Map of Survey by anyone other than those Certified To will be at the re-users sole risk without Liability to this Surveyor.

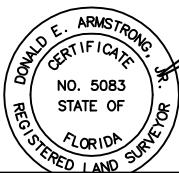
#### ABBREVIATION LEGEND:

F.I.R. FOUND IRON ROD, SIZE INDICATED	SEC. SECTION
S.I.R. SET IRON ROD, 1/2" P.L.S.#5083	TWP. TOWNSHIP
F.O.P. FOUND OPEN IRON PIPE, SIZE INDICATED	RGE. RANGE
F.P.P. FOUND PINCHED IRON PIPE, SIZE INDICATED	(D) DESCRIPTION
F.N.D. FOUND NAIL AND DISK	(P) PLAT
S.N.D. SET NAIL AND DISK, P.L.S.#5083	(M) MEASURED
F.C.M. FOUND CONCRETE MONUMENT	(C) CALCULATED
P.R.M. PERMANENT REFERENCE MONUMENT	CONC. CONCRETE
P.C.P. PERMANENT CONTROL POINT	U/R UTILITY ROOM
P.O.C. POINT OF COMMENCEMENT	ASPH. ASPHALT
P.O.B. POINT OF BEGINNING	PVMT. PAVEMENT
R.L.S. REGISTERED LAND SURVEYOR	R/W RIGHT-OF-WAY
P.L.S. PROFESSIONAL LAND SURVEYOR	C/B CONC. BOLLARD
P.S.M. PROFESSIONAL SURVEYOR & MAPPER	C/P CONC. PAVERS
M/S METAL SHED	C/C/P COVERED CONC. PAVERS
W/P/I WITH PIN IN CENTER	A/C AIR CONDITIONER ON CONC.

This certifies that this Map of Boundary Survey meets all applicable requirements of the Florida Standards of Practice Practice as contained in Chapter 5J-17, Florida Administrative Code.

Note: Map of Survey and Surveyor's Report are not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper or an Electronic Digital Signature

February 15, 2022  
Original Field Survey Date



Donald E. Armstrong, Jr.  
Date: 2025.07.11  
Florida Surveyor's Registration #5083  
10:27:44 -04'00'

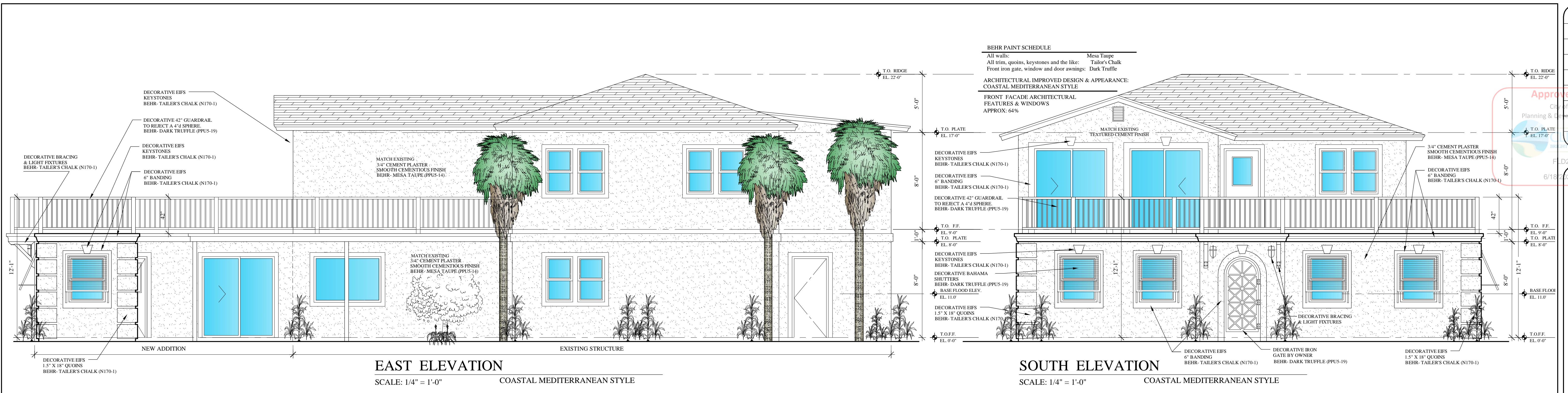
Digital signature  
by Donald E  
Armstrong, Jr

# Plans Index Sheet

26 Heilwood St  
FLD Application  
3-2-20



	Page
1. Survey, including surveyed existing tree locations.....	S-1, S-2
2. Civil Plans .....	C-1
a. Existing site plan	
b. Proposed site plan	
c. Site Data Table	
d. Elevation certificate	
e. Tree barricade detail	
f. Sediment barrier detail	
g. General architectural, design criteria and carpentry requirements	
3. Architectural Plans .....	A-1
a. Proposed addition floor plan	
b. Proposed upper lever deck plan	
c. Elevation drawings	
d. Rendered elevations .....	A-2 through A-10
4. Landscape Plan .....	L-1
a. Plant data table	
i. Plant common names and species	
ii. Grades and standards	
iii. Height and size at planting	
iv. Full growth size	
v. Height and size of remaining trees	
b. General landscaping standard notes	
c. Location of existing trees	
d. Identification of the three palms to be removed	
e. Location and size of the three palms to be planted as replacements	



Revisions	Date	By
<b>ed Site Plan</b>		
Clearwater		
Development Department		
<b>EARWATER</b>		

2020-03-03  
20 9:15:14 AM

**B.P. & ASSOCIATES DESIGN &  
PROJECT MANAGEMENT SERVICES**

**1016 SAN PEDRO DRIVE  
Dunedin, Florida 34698**

**727-452-1109      brucepolandtampa@gmail.com**

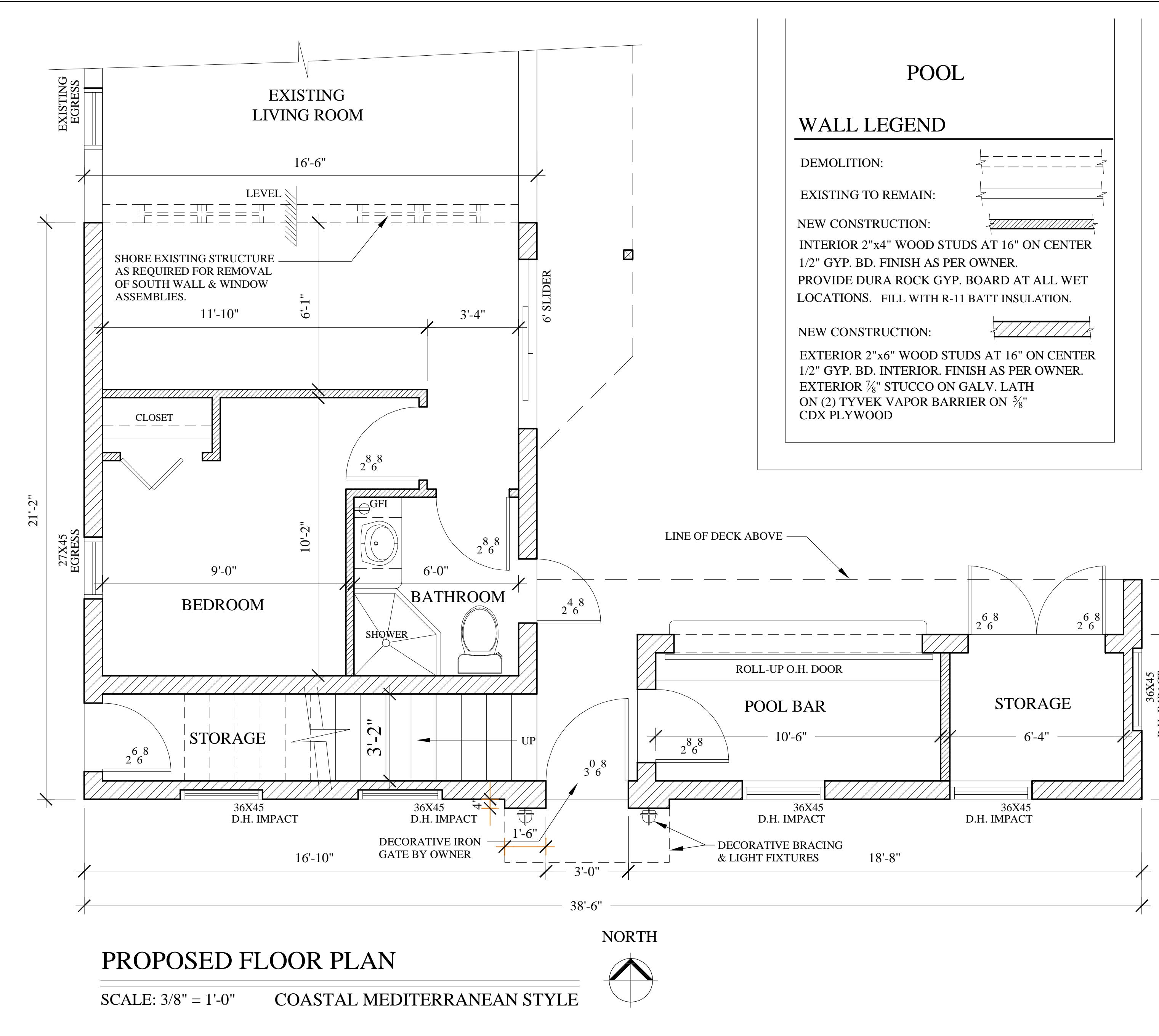
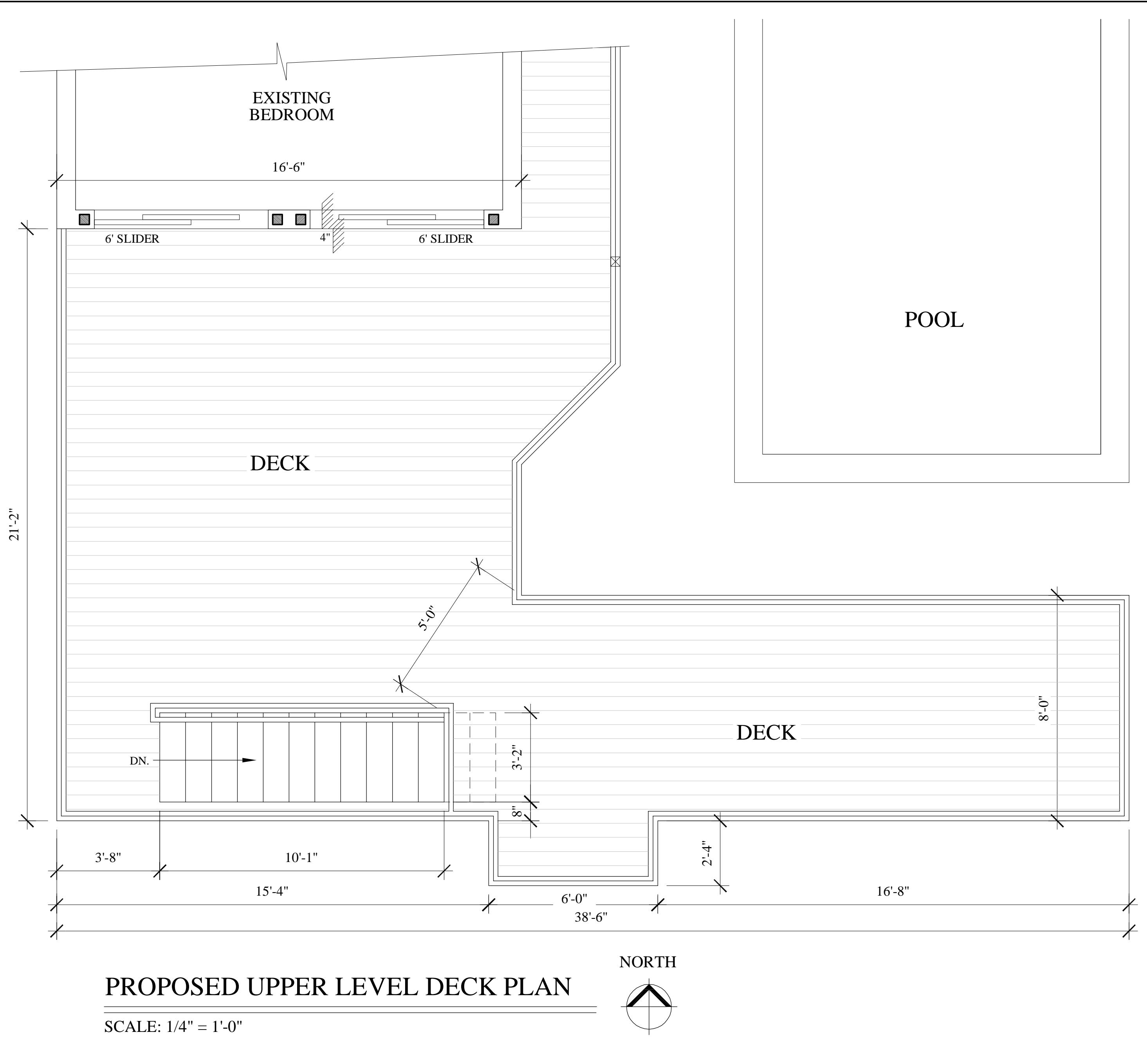
<p><b>CERTIFICATION</b></p> <p>TO THE BEST OF MY KNOWLEDGE, THE ATTACHED PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES.</p> <p><b>BRUCE W. LIPPER</b> AR 0013315</p>
---

26 HEILWOOD STREET  
CLEARWATER, FLORIDA

RESIDENTIAL DUPLEX ADDITION

Design	B.P.
Check	B.L.
Date	3/31/20
Scale	AS NOTED
Job No	BP20-00549

Sheet:



## 3D Renderings

The following eight pages contain 3D renderings of the proposed finished project. These renderings are intended to offer 3D perspectives that cannot otherwise be visualized by the architecturally prepared site plans, floor plans and 2D renderings submitted with this FLD application.

These renderings are not intended to accurately reflect elements such as:

1. Landscaping design
2. Color detail
3. Neighboring property structures and landscaping
4. Delineated dimensions
5. Other design details

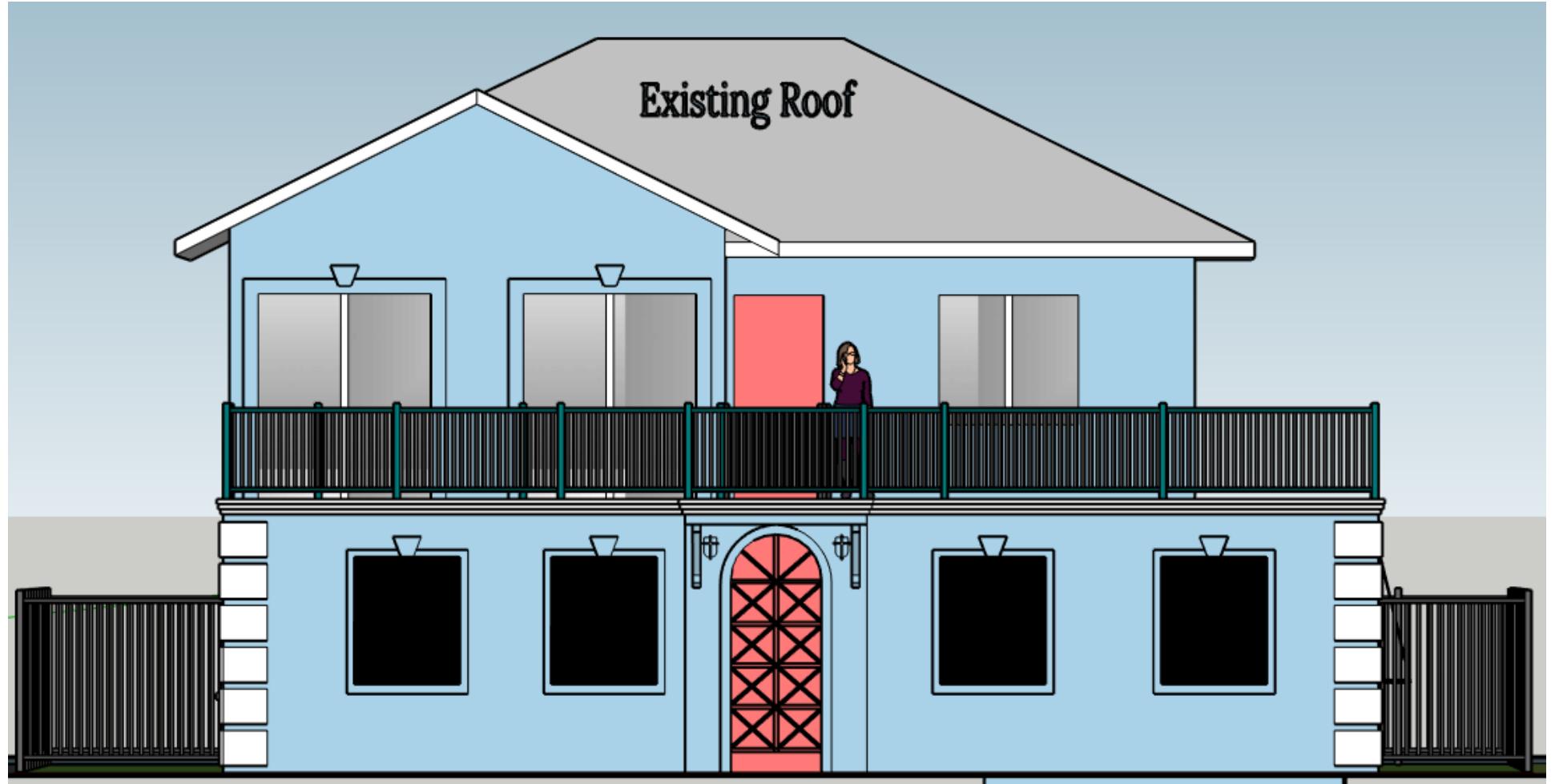
All of which are detailed at great length in the architectural drawings, questionnaires and narratives submitted with this FLD application. If any conflict that exists between the 3D drawings and the architectural drawings, the architectural drawings are to be utilized as the controlling documents.

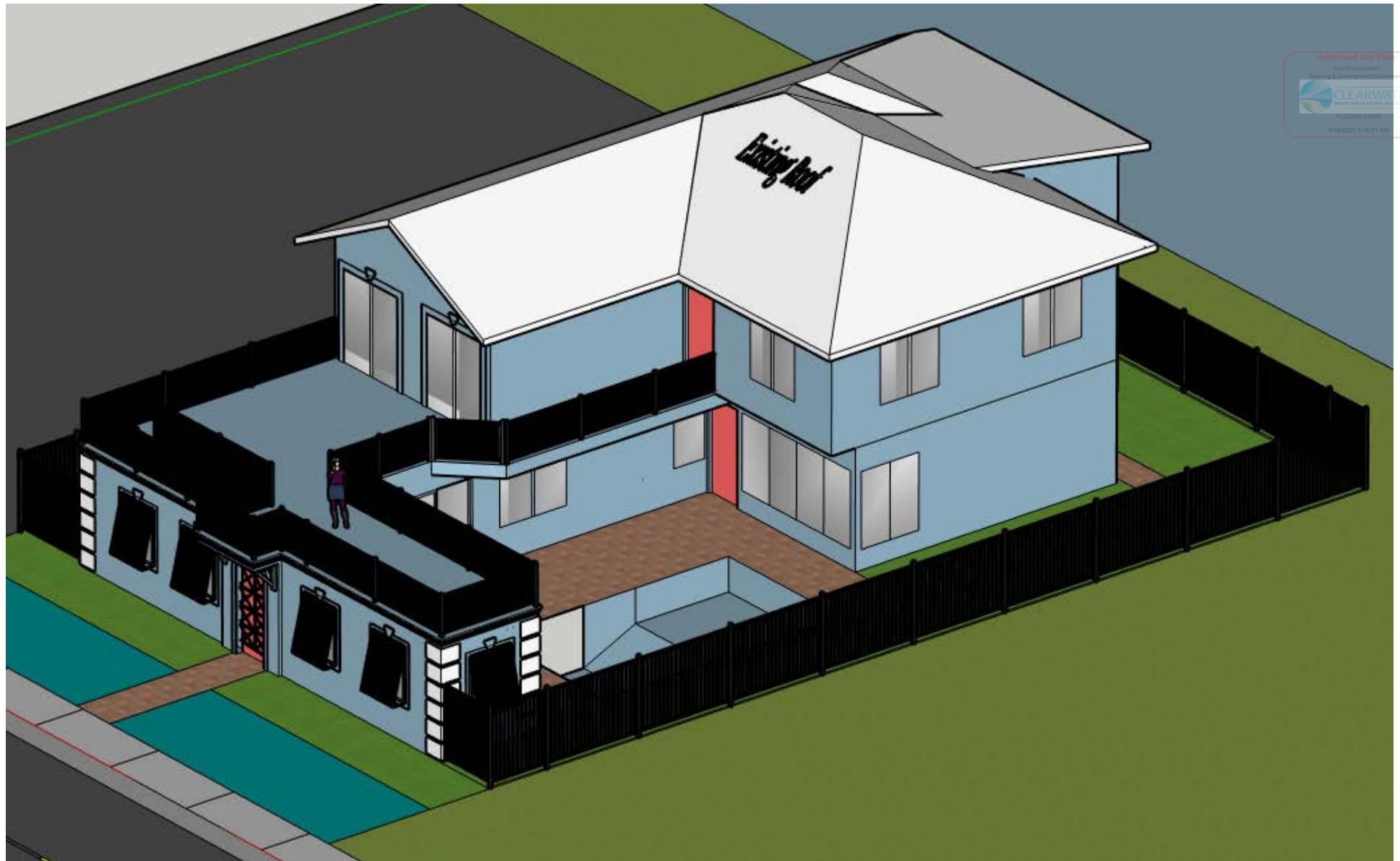


Approved Site Plan  
City of Clearwater  
Planning & Development Department  
CLEARWATER  
BRIGHT AND BEAUTIFUL - RAIN OR SHINE  
FLD2020-03005  
6/18/2020 9:15:21 AM





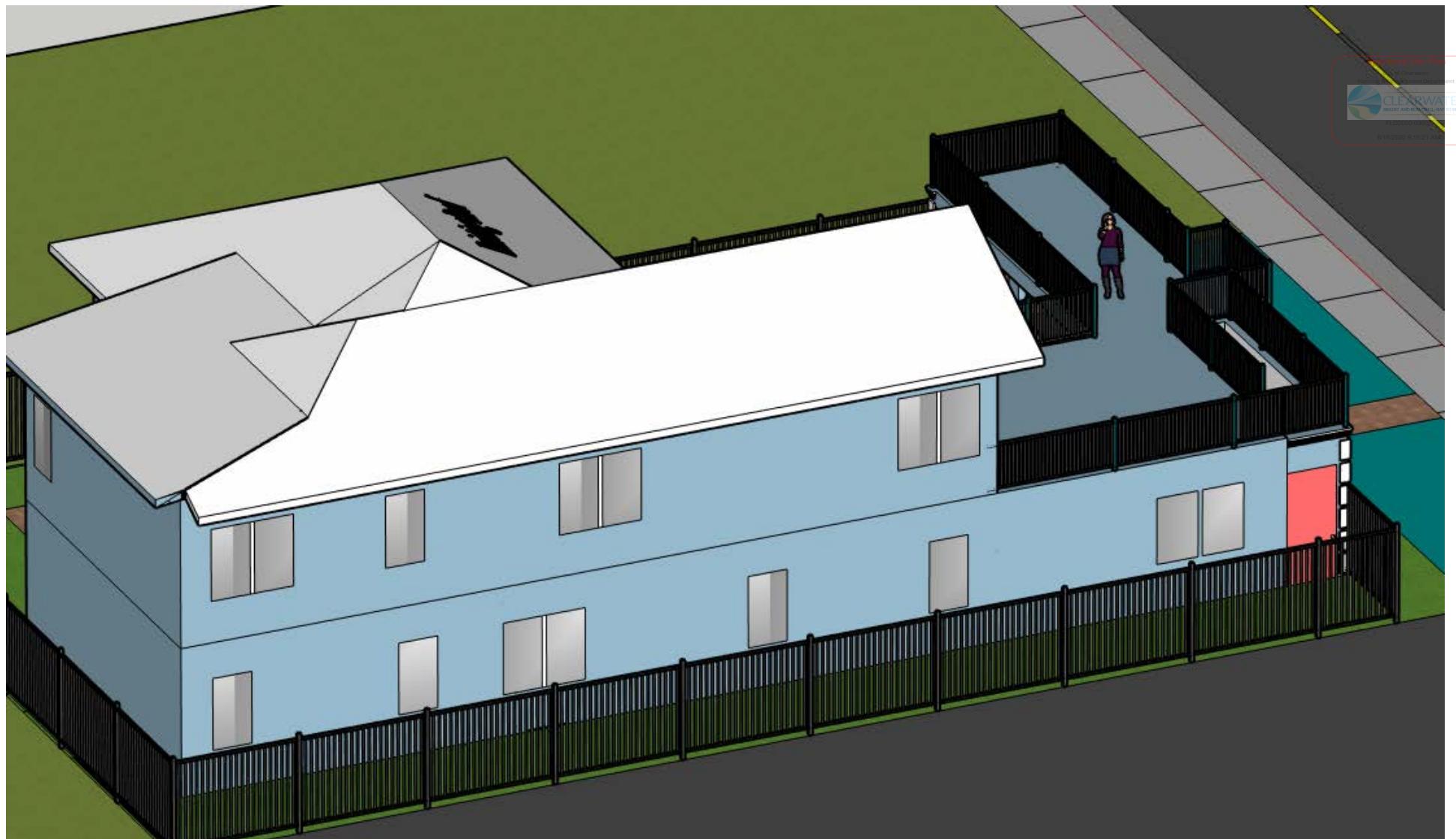




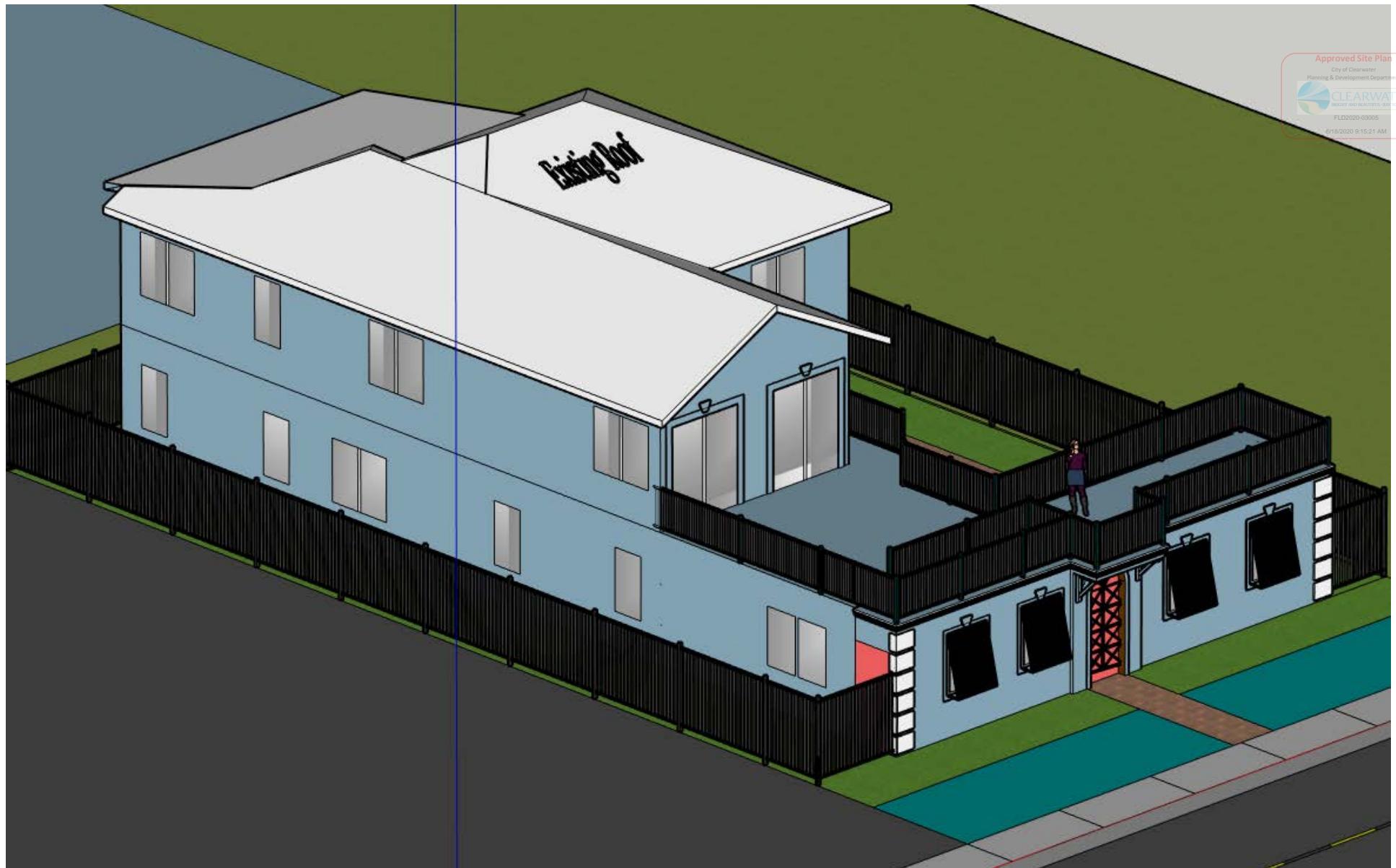
Approved Site Plan  
City of Clearwater  
Planning & Development Department  
**CLEARWATER**  
BRIGHT AND HEALTHY - BAY TO BEACH  
PL02020-030005  
6/18/2020 9:15:21 AM



Approved Site Plan  
CLEARWATER  
BRIGHT AND BEAUTIFUL BEACH  
PL202002-00009  
6/18/2020 9:15:21 AM



Architectural Site Plan  
City of Clearwater  
2018 Building Department  
CLEARWATER  
BRIGHT AND BEAUTIFUL. BAYSIDE BEACH  
6/18/2020 9:15:21 AM



Approved Site Plan  
City of Clearwater  
Planning & Development Department  
CLEARWATER  
BRIGHT AND BEAUTIFUL. BORN TO BEACH  
FLD2020-03005  
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## GENERAL REQUIREMENTS

1. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE THE SAFETY OF THE ERECTING AND COMPONENT PARTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING: THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS OR TIE-DOWNS WHICH MAY BE NECESSARY.

## 2. COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS.

## 3. CONTACT THE ARCHITECT WITH ANY QUESTIONS OR DISCREPANCIES FOUND ON THE DRAWINGS.

4. SUBMIT SHOP DRAWINGS AS REQUIRED, HEREN, ALLOW FOR ONE WEEK REVIEW TIME AFTER RECEIPT BY THIS FIRM. NO FABRICATION IS TO PROCEED PRIOR TO REVIEW BY THE DESIGNER.

## DESIGN CRITERIA

Florida Building Code (FBC) Residential 2017 6th Edition  
Florida Building Code (FBC) Plumbing 2017 6th Edition  
FBC – Mechanical 2017 6th Edition  
FBC – Fuel Gas 2017 6th Edition  
Florida Accessibility Code (FACIC) 2014–NFPA 70  
National Electrical Code (NEC) 2014–NFPA 70  
Florida Fire Protection Code (FFPC) 2017 6th Edition

## 2. DESIGN LIVE LOADS:

ROOF: -80 PSF, 20" OC.  
BEDROOMS: -30 PSF  
LIVING AREA AND BATHROOMS: -40 PSF  
BALCONIES: -40 PSF  
STAIRS: -100 PSF

## 3. DESIGN WIND VELOCITY = 145 MPH

## 4. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE RESIDENTIAL, 2017 6TH EDITION.

## CARPENTRY

## 1. DIMENSION LUMBER SHALL BE DRESSED S4S, AND SHALL BEAR THE GRADE

## 2. ALL LUMBER, UNLESS OTHERWISE NOTED, SHALL BE SOUTHERN PINE NUMBER 2 GRADE OR BETTER.

$$F_b = 90 \text{ PS}$$

$$F_v = 975 \text{ PS}$$

## 3. ALL LUMBER IN CONTACT WITH MASONRY AND CONCRETE SHALL BE PRESSURE TREATED. PRESSURE TREATED LUMBER SHALL BE IMPREGNATED WITH A CCA SALT TREATMENT IN ACCORDANCE WITH T.S. TT-W-571 AND BEAR A CCA AMERICAN WOOD PRESERVES INSTITUTE QUALITY MARK LP-2.

4. PLANKWOOD SHEATHING SHALL BE OSFA CO. WITH EXTERIOR GLUE. ALL ROOF SHEATHING TO BE INSTALLED WITH PLYCUPS.

## 5. INSTALL BRIDGING IN ALL FLOOR OR ROOF JOISTS AT 8'-0"

6. ALL NAILING AND BOLTING SHALL COMPLY WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS.

7. ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONGBEAM CO.

## 8. PROVIDE A SINGLE PLATE AT THE BOTTOM AND DOUBLE PLATE AT THE TOP OF ALL STUD BEARING WALLS.

9. STUDS SHALL BE STUDDED AT ALL ANGLES AND AROUND ALL OPENINGS. STUDS SHALL BE TIEPED AT ALL CORNERS.

10. ALL OUTSIDE CORNERS SHALL BE BRACED WITH GALVANIZED HUGHES OR SIMPSON STRONGBEAM BRACES.

## 11. WOOD UNITS OVER OPENINGS SHALL BE DOUBLE 2"X6" (TWO-BY-SIX).

HEADERS FOR SPANS UP TO 3'-0" (THREE FEET ZERO INCH) AND DOUBLE 2"X8" (TWO-BY-EIGHT) HEADERS FOR 3'-0" TO 7'-0". SEE PLANS FOR SPANS GREATER THAN 7'-0".

12. ALL NAILING OF PLANKWOOD SHEATHING AT PERIMETER 4' OF ROOF AND 4' FROM EXTERIOR CORNERS OF WALLS TO BE 8d AND 4" O.C.

## SITE DATA & ELEVATION CERTIFICATE

U.S. DEPARTMENT OF HOMELAND SECURITY  
FEMA (Emergency Management Agency)

Copy of all pages of Elevation Certificate as set forth in the applicable section of the (1) community notice, (2) insurance application and (3) building owner and insurer, and (4) the applicable insurance policy.

### SECTION A - PROPERTY INFORMATION

1.1.1 Building Owner Name: SPENCE GALLAWAY

1.1.2 Building Street Address (including Apt. Unit, Suite and/or Bldg. No.) or P.O. Box and City: 26 HELIWOOD STREET, CITY: MIAMI, FL

1.1.3 Property Description (Lot and Block Number, Tax Parcel Number, Legal Description, etc.):

1.1.4 Building Use (s. Residential, Non-Residential, Action, Accessory, etc.): RESIDENTIAL

1.1.5 Land/Lot/Latitude: Lat: 25° 45' 26" Long: 80° 00' 00" HZ: NAD 1983

1.1.6 Building/Structure Number: 154

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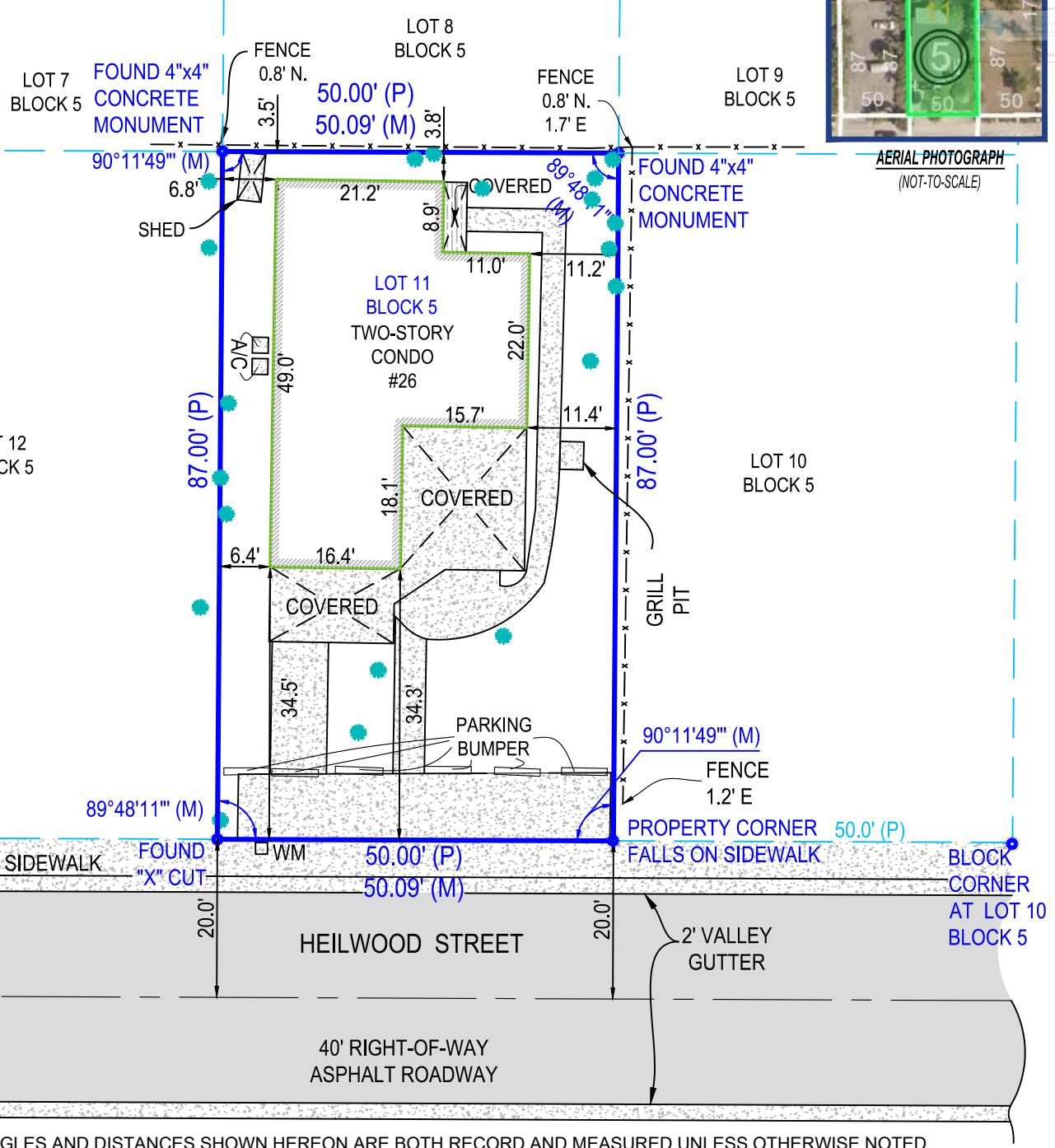
1.1.181 Building/Structure Number: 154

1.1.182 Building/Structure

# 26 HEILWOOD ST, CLEARWATER, FL. 33767



SCALE: 1"=20'



- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION, AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

The survey map & report or the copies thereof are not valid without the digital signature and seal of a Florida licensed surveyor and mapper

Date of Field Work : 01-02-2019

Drawn By: Caitlyn

Order #: 45406

Last Revision Date: 01-02-2019

Boundary Survey prepared by: LB8111

NexGen Surveying, LLC

5601 Corporate Way, Suite #103

West Palm Beach, FL 33407

561-508-6272

**NEXGEN**  
SURVEYING, LLC.



**LEGAL DESCRIPTION OF: 26 HEILWOOD ST , CLEARWATER, FL, 33767**

LOT 11, BLOCK 5, REVISED MAP OF CLEARWATER BEACH, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 11, PAGE 5, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

**CERTIFIED TO:**

**FLOOD ZONE:**

12103C0102G

ZONE: AE

ELEV. 11 FT

EFF: 9/3/2003

**SURVEY NOTES:**

FENCES RUN ALONG BOUNDARY LINES

PARKING AREA CROSSES INTO SOUTHERN BOUNDARY

**LEGEND**

A/C	-AIR CONDITIONER
WM	-WATER METER
AL	-ARC LENGTH
(C)	-CALCULATED
(M)	-MEASURED
P.O.B.	-POINT OF BEGINNING
P.O.C.	-POINT OF COMMENCEMENT
&	-AND
P.B.	-PLAT BOOK
PG	-PAGE
U.E.	-UTILITY EASEMENT
D.E.	-DRAINAGE EASEMENT
P.U.E.	-PUBLIC UTILITY EASEMENT
L.A.E.	-LIMITED ACCESS EASEMENT
L.M.E.	-LAKE MAINTENANCE EASEMENT
O.H.E	-OVERHEAD EASEMENT
R	-RADIUS
(R)	-RECORD
O.R.B.	-OFFICIAL RECORDS BOOK
Sq.Ft.	-SQUARE FEET
Ac.	-ACRES
DB	-DEED BOOK
(D)	-DEED
(P)	-PLAT
EOW	-EDGE OF WATER
TOB	-TOP OF BANK
OHL	-OVERHEAD LINE
C/O	-CLEAN OUT
ELEV	-ELEVATION
FF	-FINISHED FLOOR
LS	-LICENSED SURVEYOR
LB	-LICENSED BUSINESS
PSM	-PROFESSIONAL SURVEYOR & MAPPER
— x —	-FENCE
#	-NUMBER
±	-PLUS OR MINUS
■	-ASPHALT
■	-CONCRETE
■	-PAVER/BRINCK
■	-WOOD
◆	-LIGHT POLE
◎	-WELL
▷	-WATER VALVE
○	-CENTER LINE
□	-CATCH BASIN
○	-FIRE HYDRANT
○	-UTILITY POLE
○	-MANHOLE
XXX	-ELEVATION



SOME ITEMS IN LEGEND MAY NOT  
APPEAR ON DRAWING.

**GENERAL NOTES:**

- 1) THIS SURVEY IS BASED UPON RECORD INFORMATION BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
- 2) IF THIS SURVEY HAS BEEN PREPARED FOR THE PURPOSES OF A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO FUTURE CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT FIRST OBTAINING APPROVAL AND/OR UPDATES FROM NEXGEN SURVEYING, LLC. NEXGEN SURVEYING, LLC, ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.
- 3) ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES.
- 4) GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS.
- 5) UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN.
- 6) ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988).
- 7) ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- 8) CORNERS SHOWN AS "SET" ARE 5/8" IRON RODS IDENTIFIED WITH A PLASTIC CAP MARKED LS (LICENSED SURVEYOR)



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