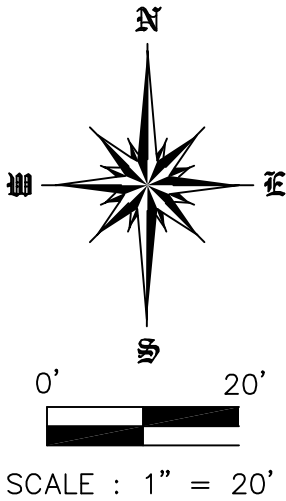
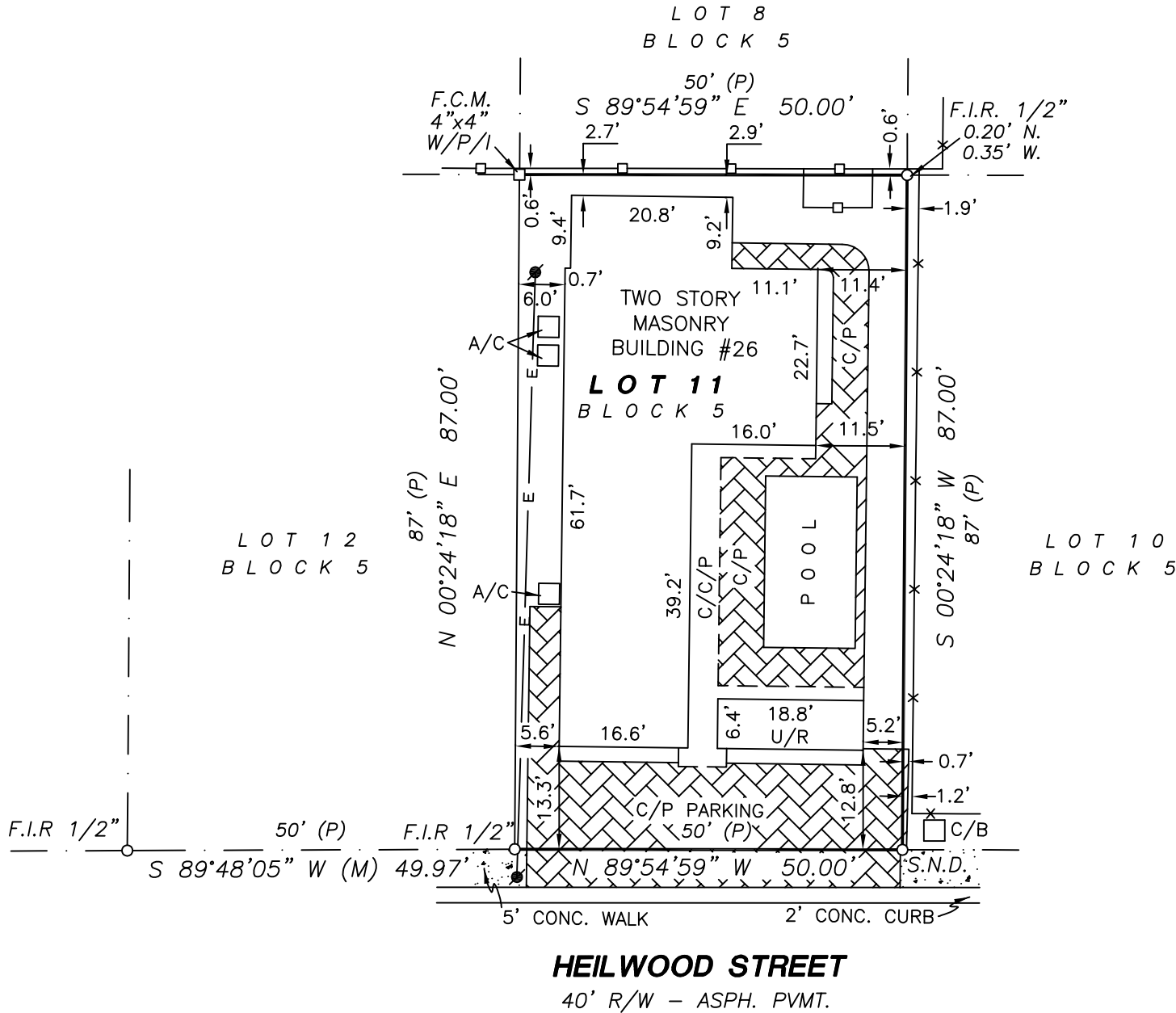


DON ARMSTRONG LAND SURVEYING, LLC

2187 NORTH GREEN RIDGE PLACE – PALM HARBOR, FL 34683
OFFICE: (727) 772-8134 – EMAIL: SKYDOGG55@GMAIL.COM
FLORIDA CERTIFICATE OF AUTHORIZATION #7609

SEC. 05, TWP. 29 S., RGE. 15 E.
Pinellas County, Florida
DRAWING #22024A
FILE #22014A
JOB #22024A



LEGEND:

- 6' VINYL FENCE
- 6' METAL FENCE
- OVERHEAD UTILITY WIRES
- WOOD UTILITY POLE

CERTIFIED TO: CLEARWATER BEACH INVESTMENTS, LLC

Legal Description:

Lot 11, Block 5, REVISED MAP OF CLEARWATER BEACH, according to the map or plat thereof as recorded in Plat Book 11, Page 5 of the Public Records of Pinellas County, Florida.

SURVEYOR'S REPORT:

- Horizontal Datum shown on this Map of Survey has been measured to an estimated positional accuracy of 0.10 Feet unless otherwise shown hereon.
- Horizontal Datum shown on this Map of Survey is based upon the Northerly R/W of Heilwood Street being N 89°54'59" W (Assumed).
- This Map of Boundary Survey was completed without the benefit of a Commitment for Title Insurance and may be subject to additional Easements, and/or other matters of Title that may be found in the Public Records of Pinellas County, Florida.
- Property may be subject to unrecorded Easements and/or matters of Title not shown in the Public Records of Pinellas County, Florida.
- No Instruments of Record reflecting Easements and/or other matters of Title were provided to Surveyor unless otherwise shown hereon.
- The Legal Description shown on this Map of Boundary Survey was provided in the Official Records of Pinellas County, Florida, Book 20766, Page 1267.
- No underground improvements, foundations, structures, sprinklers, and/or utilities have been located and/or shown unless otherwise indicated hereon.
- No above ground utilities have been located and/or shown unless otherwise indicated hereon.
- The residence shown hereon appears to fall in Zone AE, as shown on the Federal Emergency Management Agency (F.E.M.A.), National Flood Insurance Rate Map (F.I.R.M.), Community #125096, Map #12103C0102H, Panel #0102-H, Map Dated 8/24/21, Index Dated 8/24/21, Base Flood Elevation = 9 feet.
- Improvements lying close to property lines are not all drawn to scale for graphic clarity.
- Fences shown hereon were located to the approximate center of posts.
- All found property corners have no designation unless otherwise indicated hereon.
- Additions or deletions to this Map of Survey or Surveyor's Report by other than the signing Surveyor is prohibited without the written consent of the signing Surveyor.
- Use of this Map of Survey by anyone other than those Certified To will be at the re-users sole risk without Liability to this Surveyor.

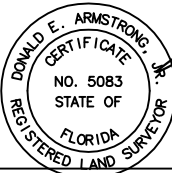
ABBREVIATION LEGEND:

| | |
|--|------------------------------|
| F.I.R. FOUND IRON ROD, SIZE INDICATED | SEC. SECTION |
| S.I.R. SET IRON ROD, 1/2" P.L.S.#5083 | TWP. TOWNSHIP |
| F.O.P. FOUND OPEN IRON PIPE, SIZE INDICATED | RGE. RANGE |
| F.P.P. FOUND PINCHED IRON PIPE, SIZE INDICATED | (D) DESCRIPTION |
| F.N.D. FOUND NAIL AND DISK | (P) PLAT |
| S.N.D. SET NAIL AND DISK, P.L.S.#5083 | (M) MEASURED |
| F.C.M. FOUND CONCRETE MONUMENT | (C) CALCULATED |
| P.R.M. PERMANENT REFERENCE MONUMENT | CONC. CONCRETE |
| P.C.P. PERMANENT CONTROL POINT | U/R UTILITY ROOM |
| P.O.C. POINT OF COMMENCEMENT | ASPH. ASPHALT |
| P.O.B. POINT OF BEGINNING | PVMT. PAVEMENT |
| R.L.S. REGISTERED LAND SURVEYOR | R/W RIGHT-OF-WAY |
| P.L.S. PROFESSIONAL LAND SURVEYOR | C/B CONC. BOLLARD |
| P.S.M. PROFESSIONAL SURVEYOR & MAPPER | C/P CONC. PAVERS |
| M/S METAL SHED | C/C/P COVERED CONC PAVERS |
| W/P/I WITH PIN IN CENTER | A/C AIR CONDITIONER ON CONC. |

This certifies that this Map of Boundary Survey meets all applicable requirements of the Florida Standards of Practice Practice as contained in Chapter 5J-17, Florida Administrative Code.

Note: Map of Survey and Surveyor's Report are not valid without the signature and the original raised seal of a Florida Licensed Surveyor on the Map or a Electronic Digital Signature

February 15, 2022
Original Field
Survey Date



Digitally signed
by Donald E
Armstrong, Jr
Date: 2025.07.11
10:27:44 -04'00'

Plans Index Sheet

26 Heilwood St
FLD Application
3-2-20



| | Page |
|---|------------------|
| 1. Survey, including surveyed existing tree locations..... | S-1, S-2 |
| 2. Civil Plans | C-1 |
| a. Existing site plan | |
| b. Proposed site plan | |
| c. Site Data Table | |
| d. Elevation certificate | |
| e. Tree barricade detail | |
| f. Sediment barrier detail | |
| g. General architectural, design criteria and carpentry requirements | |
| 3. Architectural Plans | A-1 |
| a. Proposed addition floor plan | |
| b. Proposed upper lever deck plan | |
| c. Elevation drawings | |
| d. Rendered elevations | A-2 through A-10 |
| 4. Landscape Plan | L-1 |
| a. Plant data table | |
| i. Plant common names and species | |
| ii. Grades and standards | |
| iii. Height and size at planting | |
| iv. Full growth size | |
| v. Height and size of remaining trees | |
| b. General landscaping standard notes | |
| c. Location of existing trees | |
| d. Identification of the three palms to be removed | |
| e. Location and size of the three palms to be planted as replacements | |

LD2020-03005

CE.com

3D Renderings

The following eight pages contain 3D renderings of the proposed finished project. These renderings are intended to offer 3D perspectives that cannot otherwise be visualized by the architecturally prepared site plans, floor plans and 2D renderings submitted with this FLD application.

These renderings are not intended to accurately reflect elements such as:

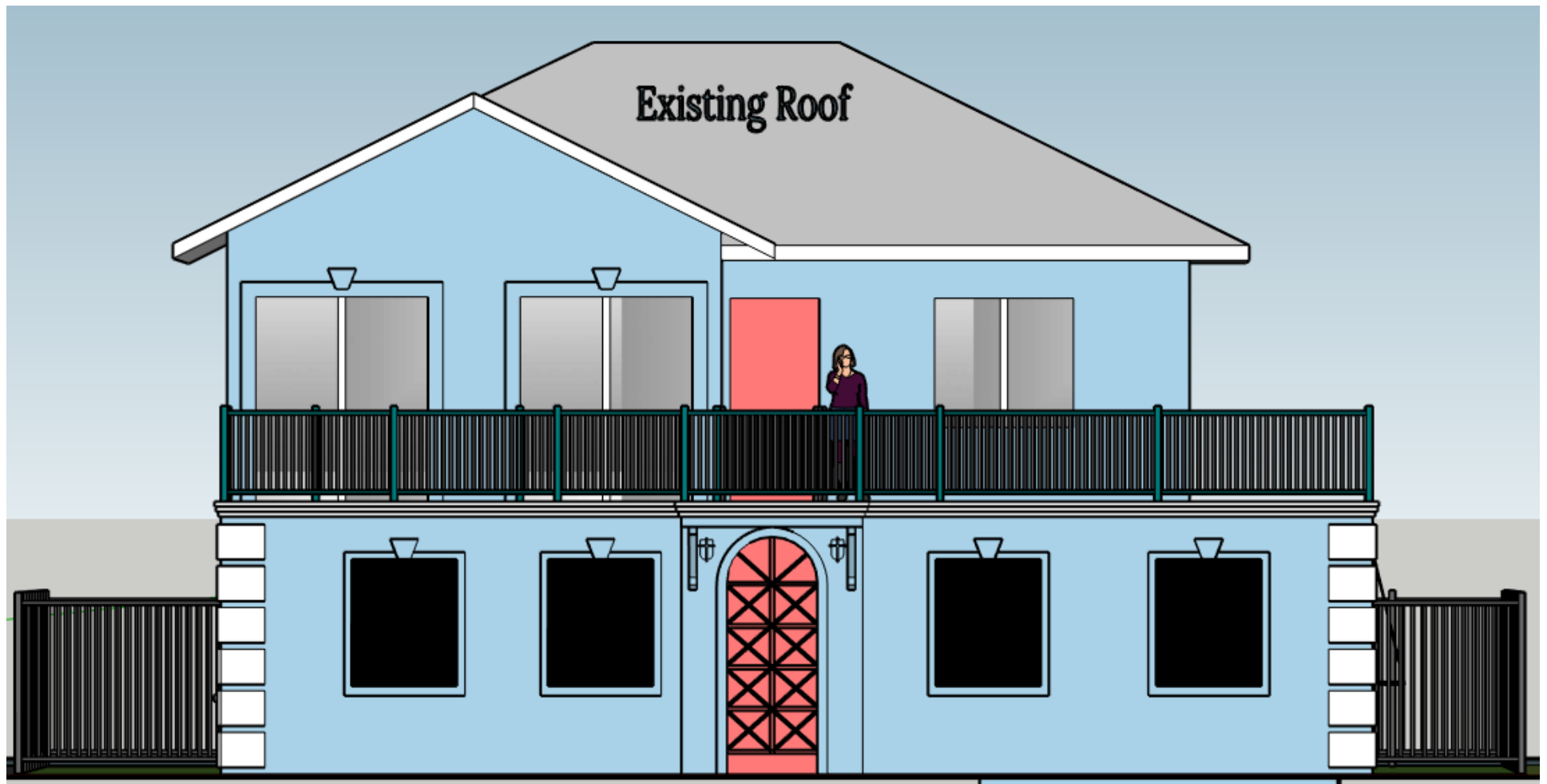
1. Landscaping design
2. Color detail
3. Neighboring property structures and landscaping
4. Delineated dimensions
5. Other design details

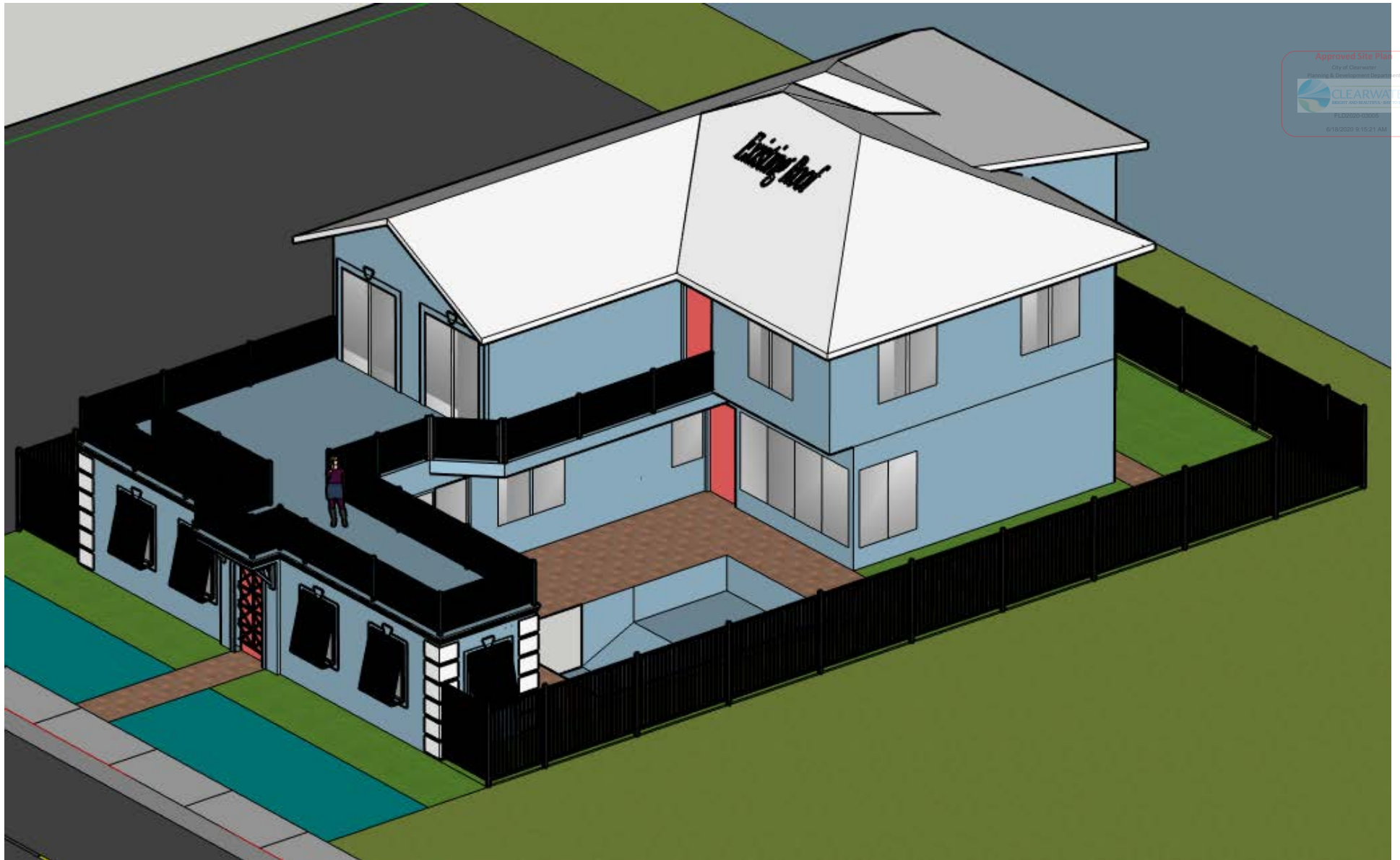
All of which are detailed at great length in the architectural drawings, questionnaires and narratives submitted with this FLD application. If any conflict that exists between the 3D drawings and the architectural drawings, the architectural drawings are to be utilized as the controlling documents.

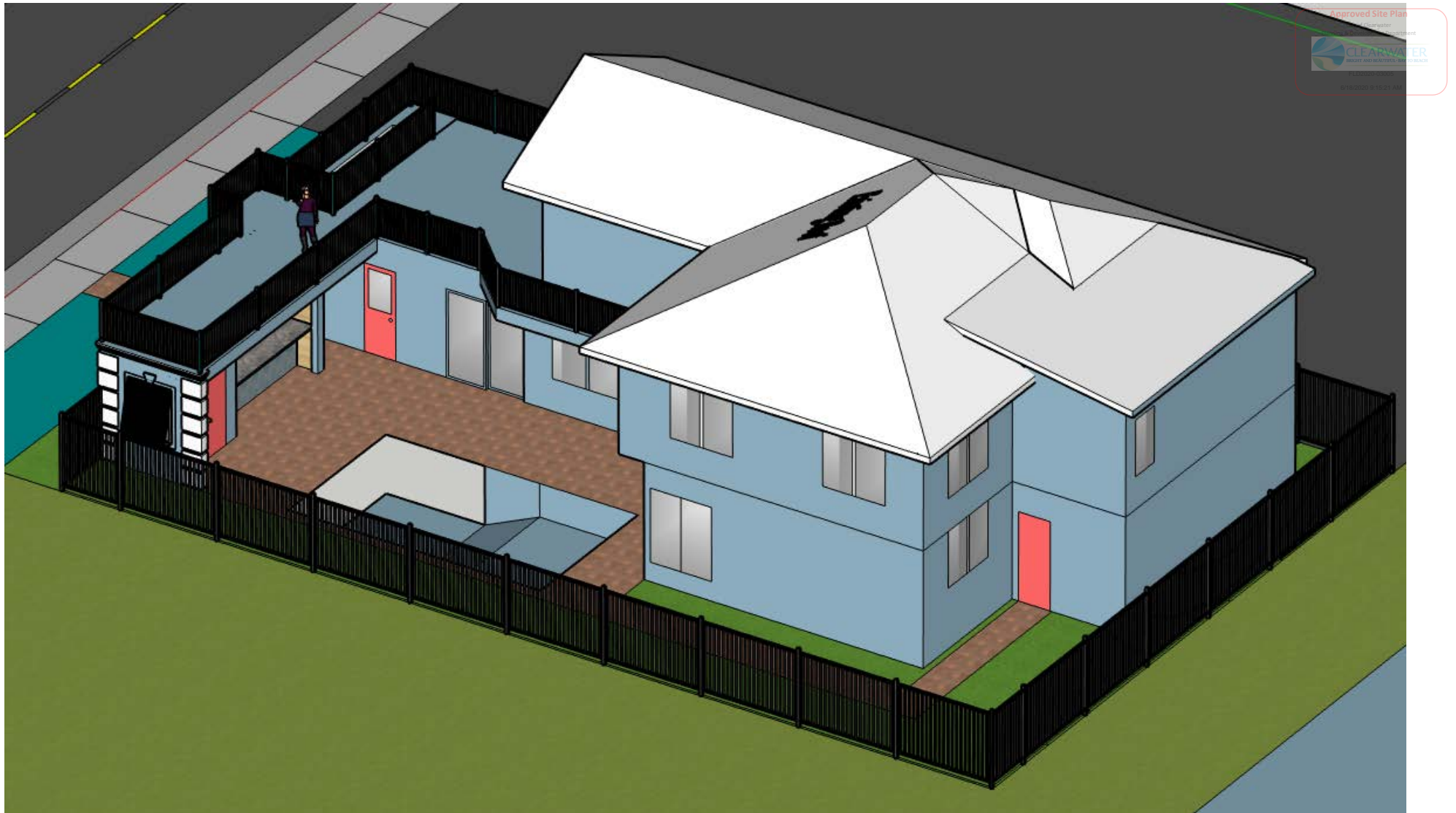


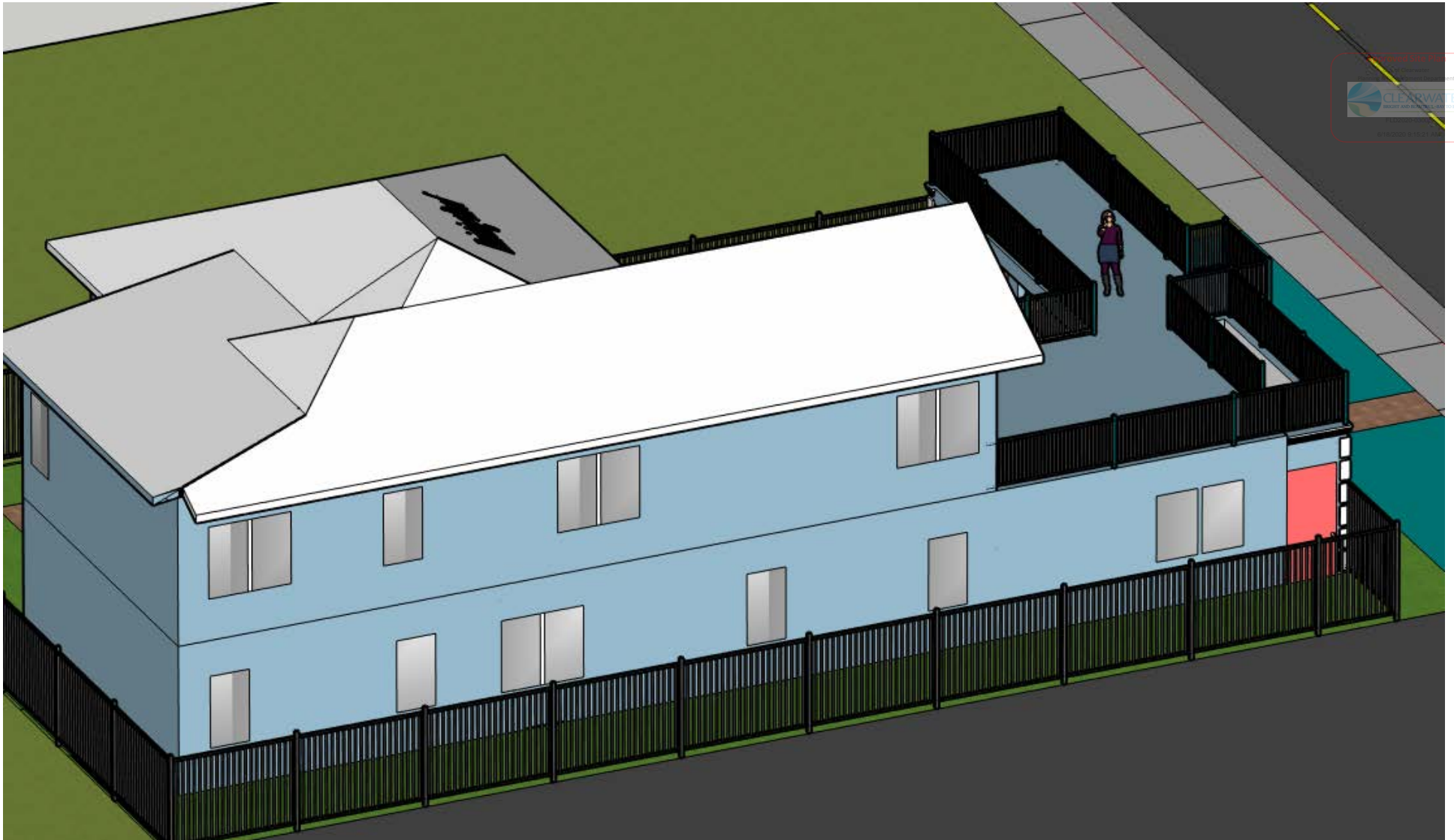


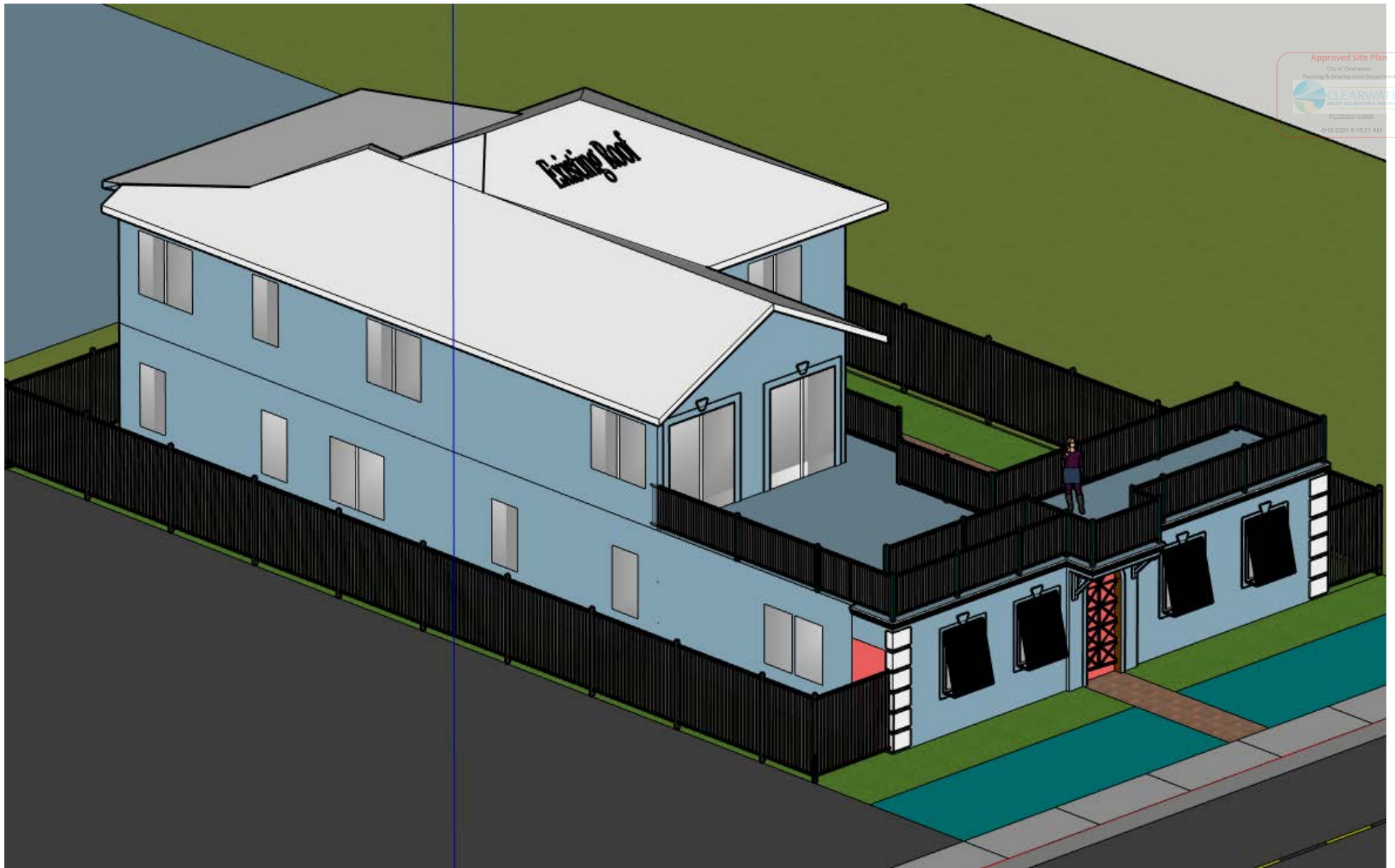












GENERAL REQUIREMENTS

1. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING: THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS OR TIE-DOWNS WHICH MAY BE NECESSARY.
2. COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS.
3. CONTACT THE ARCHITECT WITH ANY QUESTIONS OR DISCREPANCIES FOUND ON THE DRAWINGS.
4. SUBMIT SHOP DRAWINGS AS REQUIRED HEREIN. ALLOW FOR ONE WEEK REVIEW TIME AFTER RECEIPT BY THIS FIRM. NO FABRICATION IS TO PROCEED PRIOR TO REVIEW BY THE DESIGNER.

DESIGN CRITERIA

| | |
|---|--|
| Florida Building Code (FBC) Residential | 2017 6th Edition |
| Florida Building Code (FBC) | 2017 6th Edition |
| FBC - Mechanical | 2017 6th Edition |
| FBC - Electrical | 2017 6th Edition |
| FBC - Fuel Gas | 2017 6th Edition |
| Florida Accessibility Code (FACBC) | 2010 |
| ASCE | 7-10 |
| NFPA1 | 2015 |
| NFPA701 | 2015 |
| NFPA70 | 2015 |
| Florida Fire Protection Code (FFPC) | 2017 6th Edition |
| 2.0 DESIGN LIVE LOADS: | |
| ROOF | PRESSURE: -88 PSF 24" O.C. -151.75 PSF 12" O.C. |
| BEDROOMS | 30 PSF |
| LIVING AREA AND BATHROOMS | 40 PSF |
| BALCONIES | 40 PSF |
| STAIRS | 100 PSF |
| 3. DESIGN WIND VELOCITY = 145 MPH | |
| 4. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE RESIDENTIAL, 2017 6TH EDITION. | |

CARPENTRY

1. DIMENSION LUMBER SHALL BE DRESSED S4S, AND SHALL BEAR THE GRADE STAMP OF THE MANUFACTURER'S ASSOCIATION.
2. ALL LUMBER, UNLESS OTHERWISE NOTED, SHALL BE SOUTHERN PINE NUMBER 2 GRADE OR BETTER.
 $F_b = 1,200 \text{ PSI}$
 $F_v = 90 \text{ PSI}$
 $F_c = 975 \text{ PSI}$
 $E = 1,600,000 \text{ PSI}$
18% (NINETEEN %) MAXIMUM MOISTURE CONTENT
3. ALL LUMBER IN CONTACT WITH MASONRY AND CONCRETE SHALL BE PRESSURE TREATED. PRESSURE TREATED LUMBER SHALL BE IMPREGNATED WITH A CCA SALT TREATMENT IN ACCORDANCE WITH F.S. 11-91.71 AND BEAR THE AMERICAN WOOD PRESERVES INSTITUTE QUALITY MARK LP-2.
4. ALL WOOD SHEATHING SHALL BE DPM, CD WITH EXTERIOR GLUE. ALL ROOF SHEATHING TO BE INSTALLED WITH PLYCLIPS.
5. INSTALL BRIDGING IN ALL FLOOR OR ROOF JOISTS AT 8'-0" (EIGHT-FOOT-ZERO-INCH) O.C. MAXIMUM.
6. ALL NAILING AND BOLTING SHALL COMPLY WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS.
7. ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SMITHSON STRONGTIE CO.
8. PROVIDE A SINGLE PLATE AT THE BOTTOM AND DOUBLE PLATE AT THE TOP OF ALL STUD BEARING WALLS.
9. STUDS SHALL BE DOUBLED AT ALL CORNERS AND AROUND ALL OPENINGS.
10. ALL OUTSIDE CORNERS SHALL BE BRACED WITH GALVANIZED HUGHES OR SMITHSON STRONGTIE DIAGONAL BRACES.
11. WOOD JOISTS OVER OPENINGS SHALL BE DOUBLED 2"x6" (TWO-BY-SIX) HEADERS FOR SPANS UP TO 3'-0" (THREE-FOOT-ZERO-INCH) AND DOUBLE 2"x8" (TWO-BY-EIGHT) HEADERS FOR 3'-0" TO 7'-0". SEE PLANS FOR SPANS GREATER THAN 7'-0".
12. ALL NAILING OF PLYWOOD SHEATHING AT PERIMETER 4" OF ROOF AND 4" FROM EXTERIOR CORNERS OF WALLS TO BE 8d AND 4" O.C.

SITE DATA & ELEVATION CERTIFICATE

U.S. DEPARTMENT OF HOMELAND SECURITY
Federal Emergency Management Agency
National Flood Insurance Program

OMB No. 1601-0028
Expiration Date: November 30, 2018

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-4.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/approver, and (3) building owner.

SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name: _____

A2. Building Owner's Address (including Apt., Unit, Suite, and/or Bldg. No.): _____

A3. Building Owner's City: _____

A4. Building Owner's State: _____

A5. Building Owner's Zip Code: _____

A6. Building Owner's Phone Number: _____

A7. Building Owner's Email Address: _____

A8. Building Owner's Signature: _____

A9. Building Owner's Title: _____

A10. Building Owner's Date: _____

A11. Building Owner's Signature: _____

A12. Building Owner's Title: _____

A13. Building Owner's Date: _____

A14. Building Owner's Signature: _____

A15. Building Owner's Title: _____

A16. Building Owner's Date: _____

A17. Building Owner's Signature: _____

A18. Building Owner's Title: _____

A19. Building Owner's Date: _____

A20. Building Owner's Signature: _____

A21. Building Owner's Title: _____

A22. Building Owner's Date: _____

A23. Building Owner's Signature: _____

A24. Building Owner's Title: _____

A25. Building Owner's Date: _____

A26. Building Owner's Signature: _____

A27. Building Owner's Title: _____

A28. Building Owner's Date: _____

A29. Building Owner's Signature: _____

A30. Building Owner's Title: _____

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A32. Building Owner's Signature: _____

A33. Building Owner's Title: _____

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A36. Building Owner's Title: _____

A37. Building Owner's Date: _____

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A40. Building Owner's Date: _____

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A63. Building Owner's Title: _____

A64. Building Owner's Date: _____

A65. Building Owner's Signature: _____

A66. Building Owner's Title: _____

A67. Building Owner's Date: _____

A68. Building Owner's Signature: _____

A69. Building Owner's Title: _____

A70. Building Owner's Date: _____

A71. Building Owner's Signature: _____

A72. Building Owner's Title: _____

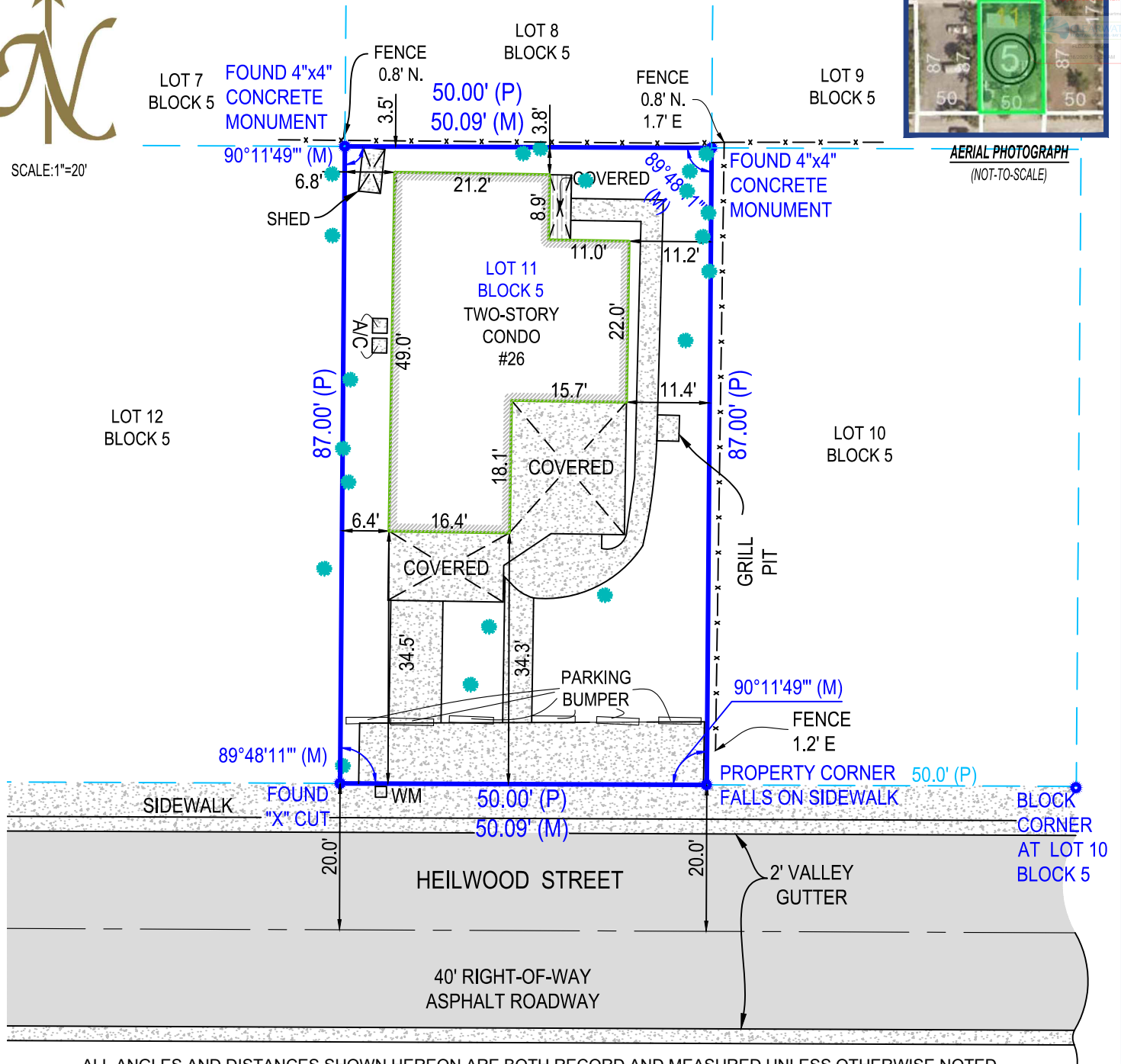
26 HEILWOOD ST, CLEARWATER, FL. 33767



SCALE: 1"=20'



AERIAL PHOTOGRAPH
(NOT-TO-SCALE)



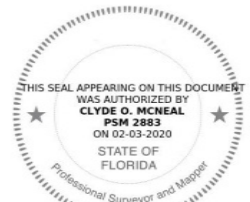
- ALL ANGLES AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED

SHEET 1 OF 2 (SKETCH OF SURVEY) - SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION, AND OTHER SURVEY RELATED DATA. SURVEY IS NOT COMPLETE WITHOUT ALL SHEETS

The survey map & report or the copies thereof are not valid without the digital signature and seal of a Florida licensed surveyor and mapper

Date of Field Work : 01-02-2019
 Drawn By: Caitlyn
 Order #: 45406
 Last Revision Date: 01-02-2019
 Boundary Survey prepared by: LB8111
 NexGen Surveying, LLC
 5601 Corporate Way, Suite #103
 West Palm Beach, FL 33407
 561-508-6272

NEXGEN
 SURVEYING, LLC.



File #:

Order #: 45406

LEGAL DESCRIPTION OF: 26 HEILWOOD ST , CLEARWATER, FL, 33767

LOT 11, BLOCK 5, REVISED MAP OF CLEARWATER BEACH, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 11, PAGE 5, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

CERTIFIED TO:

FLOOD ZONE:

12103C0102G
ZONE: AE
ELEV. 11 FT
EFF: 9/3/2003

SURVEY NOTES:

FENCES RUN ALONG BOUNDARY LINES
PARKING AREA CROSSES INTO SOUTHERN BOUNDARY

LEGEND

| | |
|--------|---------------------------------|
| A/C | -AIR CONDITIONER |
| WM | -WATER METER |
| AL | -ARC LENGTH |
| (C) | -CALCULATED |
| (M) | -MEASURED |
| P.O.B. | -POINT OF BEGINNING |
| P.O.C. | -POINT OF COMMENCEMENT |
| & | -AND |
| P.B. | -PLAT BOOK |
| PG | -PAGE |
| U.E. | -UTILITY EASEMENT |
| D.E. | -DRAINAGE EASEMENT |
| P.U.E. | -PUBLIC UTILITY EASEMENT |
| L.A.E. | -LIMITED ACCESS EASEMENT |
| L.M.E. | -LAKE MAINTENANCE EASEMENT |
| O.H.E. | -OVERHEAD EASEMENT |
| R | -RADIUS |
| (R) | -RECORD |
| O.R.B. | -OFFICIAL RECORDS BOOK |
| Sq.Ft. | -SQUARE FEET |
| Ac. | -ACRES |
| DB | -DEED BOOK |
| (D) | -DEED |
| (P) | -PLAT |
| EOW | -EDGE OF WATER |
| TOB | -TOP OF BANK |
| OHL | -OVERHEAD LINE |
| C/O | -CLEAN OUT |
| ELEV | -ELEVATION |
| FF | -FINISHED FLOOR |
| LS | -LICENSED SURVEYOR |
| LB | -LICENSED BUSINESS |
| PSM | -PROFESSIONAL SURVEYOR & MAPPER |
| — x — | -FENCE |
| # | -NUMBER |
| ± | -PLUS OR MINUS |
| ■ | -ASPHALT |
| ■ | -CONCRETE |
| ■ | -PAVER/BRINCK |
| ■ | -WOOD |
| ☼ | -LIGHT POLE |
| ⊙ | -WELL |
| ⊗ | -WATER VALVE |
| ⌒ | -CENTER LINE |
| ■ | -CATCH BASIN |
| ⊕ | -FIRE HYDRANT |
| ⊕ | -UTILITY POLE |
| ⊕ | -MANHOLE |
| xxx | -ELEVATION |



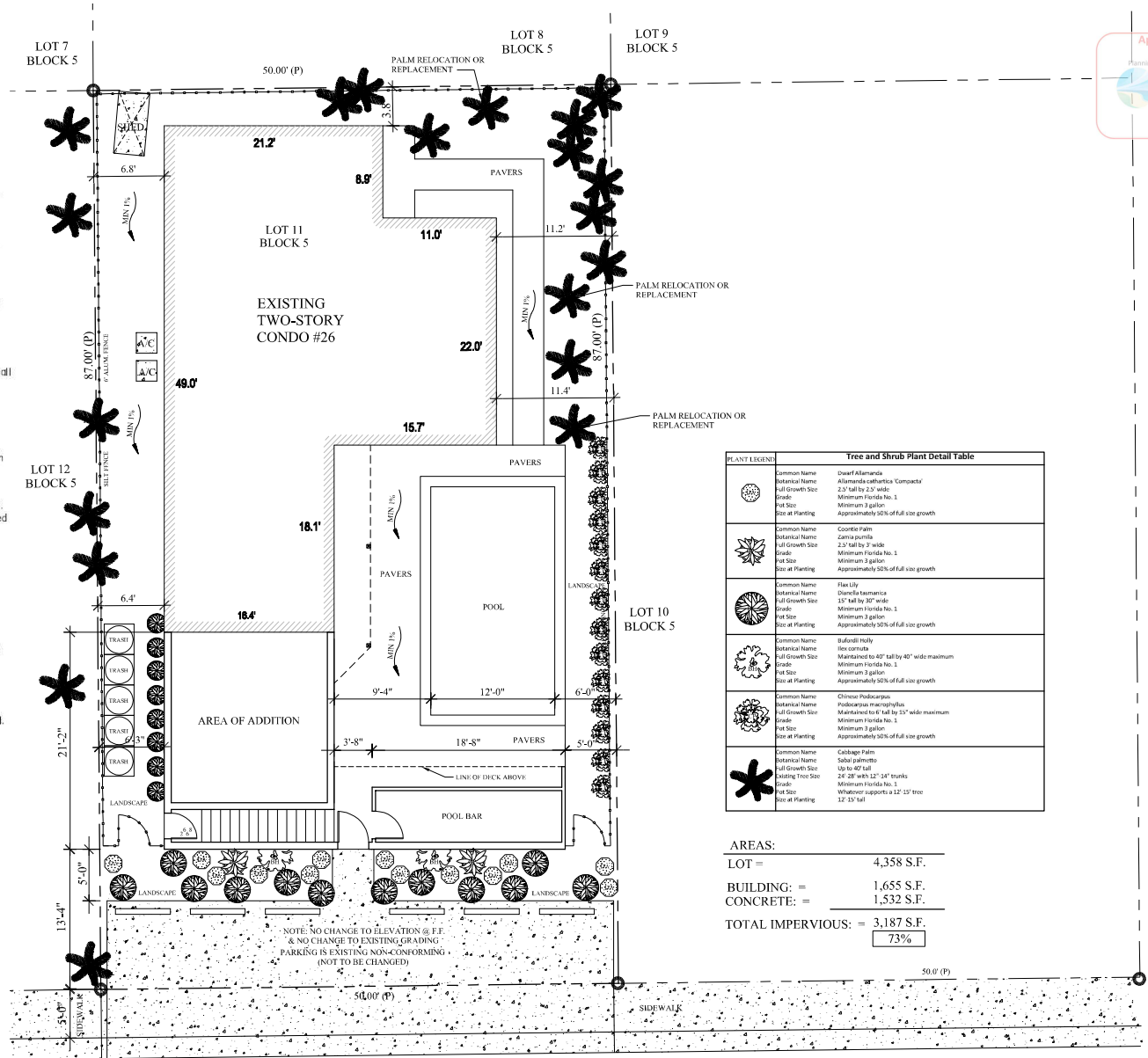
SOME ITEMS IN LEGEND MAY NOT
APPEAR ON DRAWING.

GENERAL NOTES:

1) THIS SURVEY IS BASED UPON RECORD INFORMATION BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
2) IF THIS SURVEY HAS BEEN PREPARED FOR THE PURPOSES OF A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO FUTURE CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT FIRST OBTAINING APPROVAL AND/OR UPDATES FROM NEXGEN SURVEYING, LLC. NEXGEN SURVEYING, LLC, ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE. 3) ANY FENCES SHOWN HEREON ARE ILLUSTRATIVE OF THEIR GENERAL POSITION ONLY. FENCE TIES SHOWN ARE TO GENERAL CENTERLINE OF FENCE. THIS OFFICE WILL NOT BE RESPONSIBLE FOR DAMAGES RESULTING SOLELY ON THEIR PHYSICAL RELATIONSHIP TO THE MONUMENTED BOUNDARY LINES. 4) GRAPHIC REPRESENTATIONS MAY HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE MEASURED RELATIONSHIPS - DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED POSITIONS. 5) UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED EXCEPT AS SPECIFICALLY SHOWN. 6) ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988). 7) ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE. 8) CORNERS SHOWN AS "SET" ARE 5/8" IRON RODS IDENTIFIED WITH A PLASTIC CAP MARKED LS (LICENSED SURVEYOR)

General Landscaping Standard Notes (LDC 905.2)

1. Maintenance Responsibility. The County is not responsible for maintenance of any landscaping unless approved through a County maintenance agreement. (LDC 905.2-C.1.a)
2. Clear-Sight Triangle. Where a driveway/accessway intersects a road right-of-way or where two (2) road rights-of-way intersect, vegetation, structures, and non-vegetative visual screens shall not be located so as to interfere with the clear sight triangle as defined in this Code or the Florida Department of Transportation, Manual of Uniform Minimum Standards, most recent edition (Green Book), whichever is more restrictive. (LDC 905.2-C.1.b)
3. Sustainable Practices. Landscaping shall be installed so that landscaping materials meet the concept of right material/right place. Installed trees and plants shall be grouped into zones according to water, soil, climate, and light requirements. Plant groupings based on water requirements are drought tolerant, natural, and oasis. (LDC 905.2-C.1.c)
4. Diversity. A maximum of 50 percent of the plant materials used, other than trees, may be non-drought tolerant. A minimum of 30 percent of the plant materials, other than trees and turfgrass, used to fulfill the requirements of this subsection shall be native Floridian species, suitable for growth in the county. (LDC 905.2-C.1.d)
5. Diversity. No one plant species of shrubs or ground cover plants, excluding turfgrass, shall constitute more than 25 percent coverage of the overall landscape area. (LDC 905.2-C.1.d.5)
6. Quality. All plant materials shall be Florida No. 1 grade per "Grades and Standards for Nursery Plants," Florida Department of Agriculture and Consumer Services (FDACS), which is incorporated herein by reference. (LDC 905.2-C.2.a)
7. Avoid Easements. Trees shall not be planted within any easement so as to interfere with the use of that easement, nor under any present or planned overhead utility, nor in any rights-of-way without County approval through the associated review process. (LDC 905.2-C.3.a)
8. Mulch shall be used in conjunction with living plant materials so as to cover exposed soil. Mulch shall be installed to a minimum depth of three (3) inches. The mulch should not be placed directly against the plant stem or tree trunk. Mulch shall not be required for annual beds. Stone or gravel may be used to cover a maximum of 20 percent of the landscaped area. (LDC 905.2-C.3.d)
9. Quality Practices. All landscaping shall be installed in accordance with standards and practices of the Florida Nursery, Growers, and Landscape Association and the Florida Chapter of the International Society of Arboriculture. (LDC 905.2-C.3.e)
10. All portions of a lot upon which development has commenced, but not continued for a period of 30 days, shall be planted with a grass species or ground cover to prevent erosion and encourage soil stabilization. Adequate coverage, so as to suppress fugitive dust, shall be achieved within 45 days. (LDC 905.2-C.3.g)
11. All required landscaping shall be maintained in a healthy condition in perpetuity in accordance with this Code. (LDC 905.2-E.2)
12. Ongoing maintenance to prevent the establishment of prohibited exotic species is required. (LDC 905.2-E.4)



PROPOSED LANDSCAPE PLAN

Scale: 1"= 5'



Revisions Date By

Approved Site Plan
 Clearwater
 Planning & Development Dept.

FILED 000006
 6/10/20 9:15 AM

B.P. & ASSOCIATES DESIGN & PROJECT MANAGEMENT SERVICES
 1016 SAN PEDRO DRIVE
 Dunedin, Florida 34698
 727-452-1109
 bruce@landscape@gmail.com

CERTIFICATION
 TO THE BEST OF MY KNOWLEDGE, THE ABOVE INFORMATION IS IN ACCORDANCE WITH THE SPECIFICATIONS AND REQUIREMENTS OF THE BUILDING CODES.

26 HEIL WOOD STREET
CLEARWATER, FLORIDA
RESIDENTIAL DUPLEX ADDITION

Design B.P.
 Check B.L.
 Date 3/31/20
 Scale AS NOTED
 Job No BP20-00549

Sheet:

L1