

WHITEHURST GALLERY

PROJECT SUMMARY: NEW ROOF - INTERIOR AND STOREFRONT RENOVATION
OF EXISTING COMMERCIAL MASONRY BUILDING



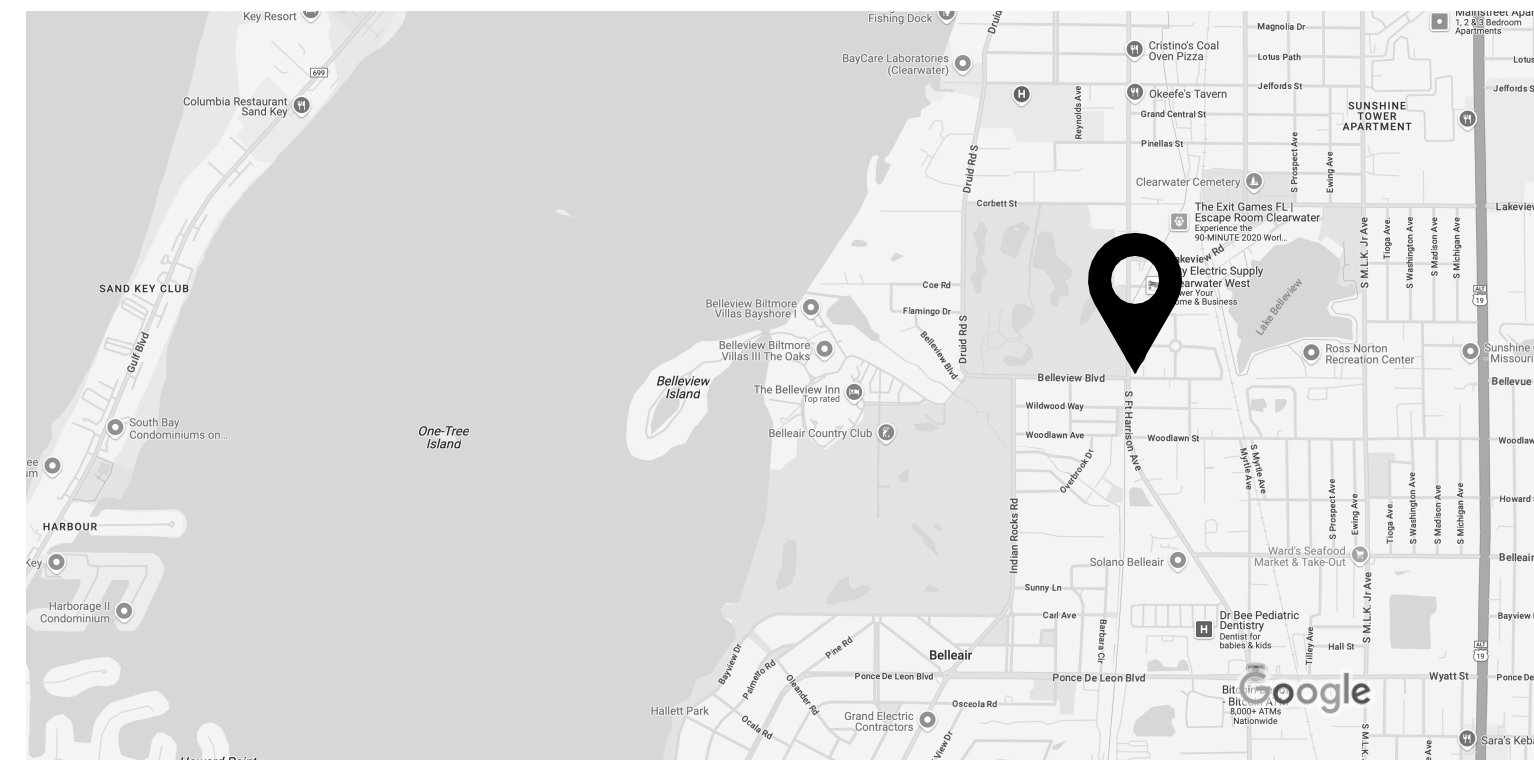
ABBREVIATION LEGEND

ABBREV.	DESCRIPTION
ADA	AMERICANS WITH DISABILITIES ACT
ALUM.	ALUMINUM
BD.	BOARD
B.F.E.	BASE FLOOD ELEVATION
BLK'G.	BLOCKING
CIP.	CAST-IN-PLACE
CASMT.	CASEMENT (WINDOW)
CL.	CLOSET
CONC.	CONCRETE
CMU	CONCRETE MASONRY UNITS
CONT.	CONTINUOUS
D.	DRYER
DBL.	DOUBLE
D.F.E.	DESIGN FLOOD ELEVATION
EXT.	EXTERIOR
F.G.	FIXED GLASS (WINDOWS)
FRM.	FRAME
FRM'G.	FRAMING
GPM.	GALLON PER MINUTES
H.B.	HOSE BIBB
HT.	HEIGHT
INT.	INTERIOR
L.	LINEN
L.B.P.	LOAD BEARING POINT
L.G.F.E.	LOWEST GARAGE FLOOR ELEVATION
LL.F.E.	LOWEST LIVING FLOOR ELEVATION
LP.M.T.	LOW PROFILE METAL THRESHOLD
L.T.	LIGHT
L.W.	LONG WAY
MAS.	MASONRY
MTL.	METAL
MIR.	MIRROR
M.E.G.	MEET EXISTING GRADE
M.O.	MASONRY OPENING
M.T.	METAL THRESHOLD
NA.V.D.	NORTH AMERICAN VERTICAL DATUM
OVHD.	OVERHEAD DOOR
P.T.	PRESSURE TREATED
R/S.	ROD & SHELF
S.H.	SINGLE HUNG (WINDOW)
SH.	SHELVES
ST.	STORAGE
STL.	STEEL
S.W.	SHORT WAY
T.E.	THICKENED EDGE
T.G.	TEMPERED GLASS
T.O.M.	TOP OF MASONRY
T.O.F.	TOP OF FOOTING
T.O.G.B.	TOP OF GRADE BEAM
T.W.H.	TANKLESS WATER HEATER
TYP.	TYPICAL
UN.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
W.	WASHER
WD.	WOOD
W.M.	WIRE MESH
W.W.F.	WELDED WIRE FABRIC

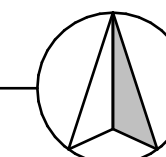
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Google Maps 1447 S Ft Harrison Ave



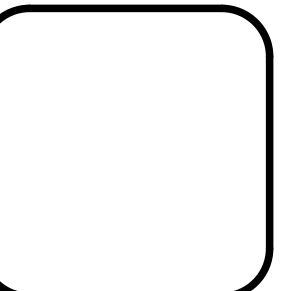
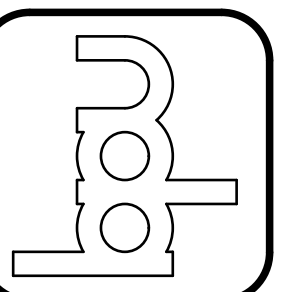
LOCATION MAP



REVISIONS	DATE
LETTER OF INCOMPLETENESS	02/12/26
OWNER REVISION	04/17/26

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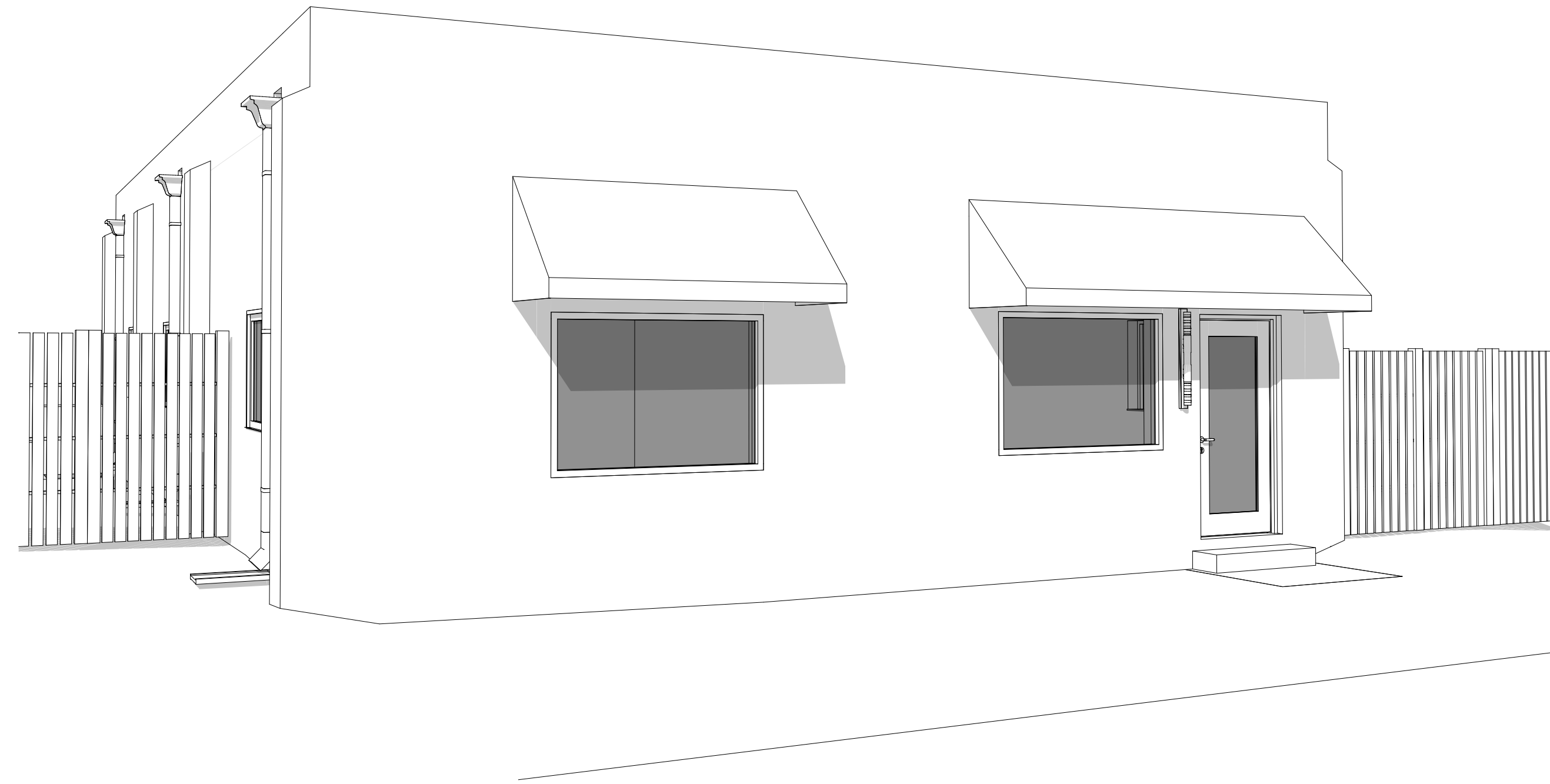
WHITEHURST GALLERY
1447 SOUTH FORT HARRISON AVENUE
CLEARWATER FLORIDA 33756



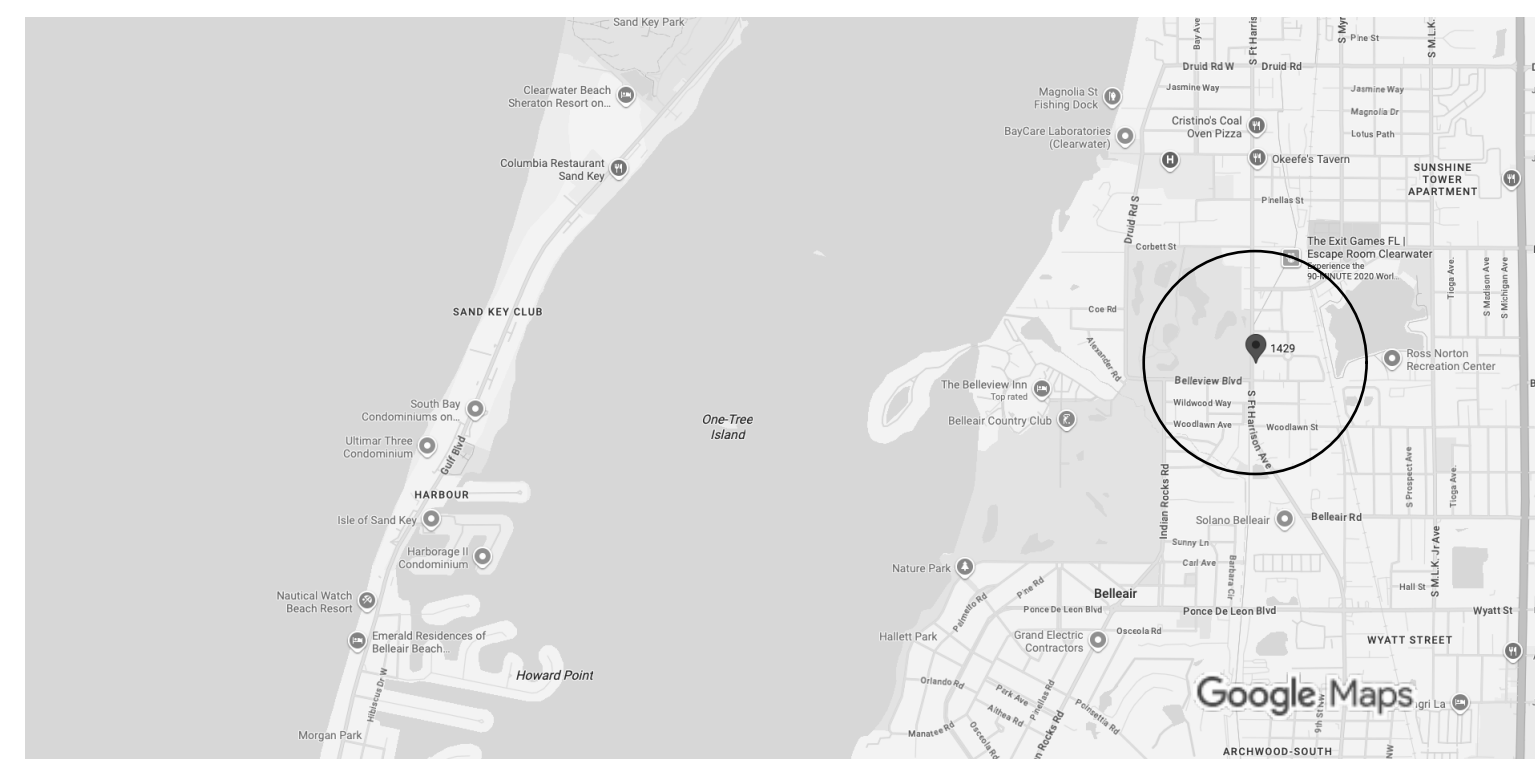
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WHITEHURST MANUFACTURING SHOP

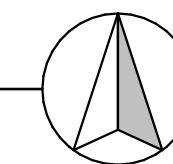
PROJECT SUMMARY: NEW ROOF, EXTERIOR WALL FINISH, WINDOWS & DOORS
AND INTERIOR RENOVATION OF EXISTING COMMERCIAL MASONRY BUILDING



Google Maps 1429 S Ft Harrison Ave



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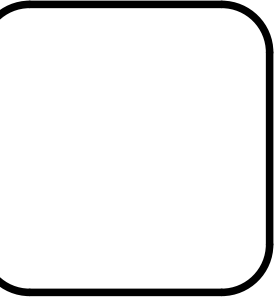
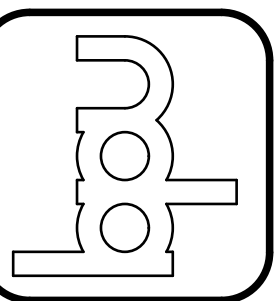
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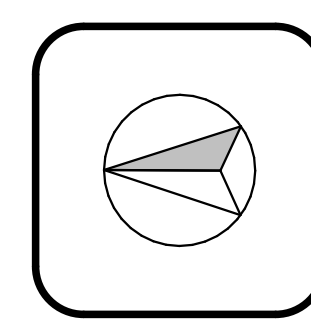
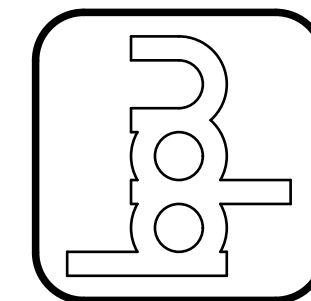


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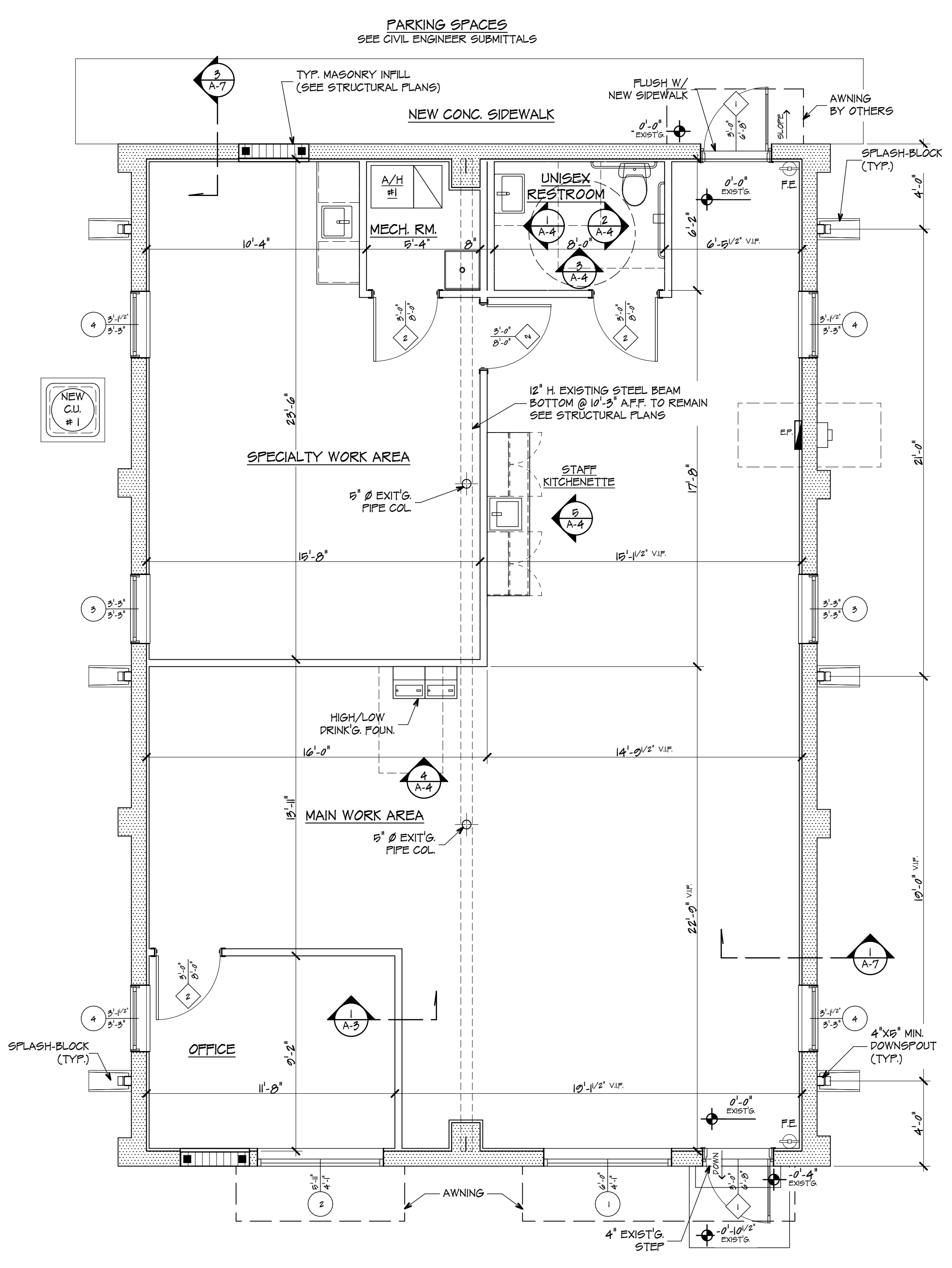
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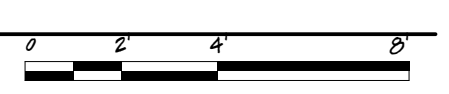
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 OF 20



PROPOSED FLOOR PLAN

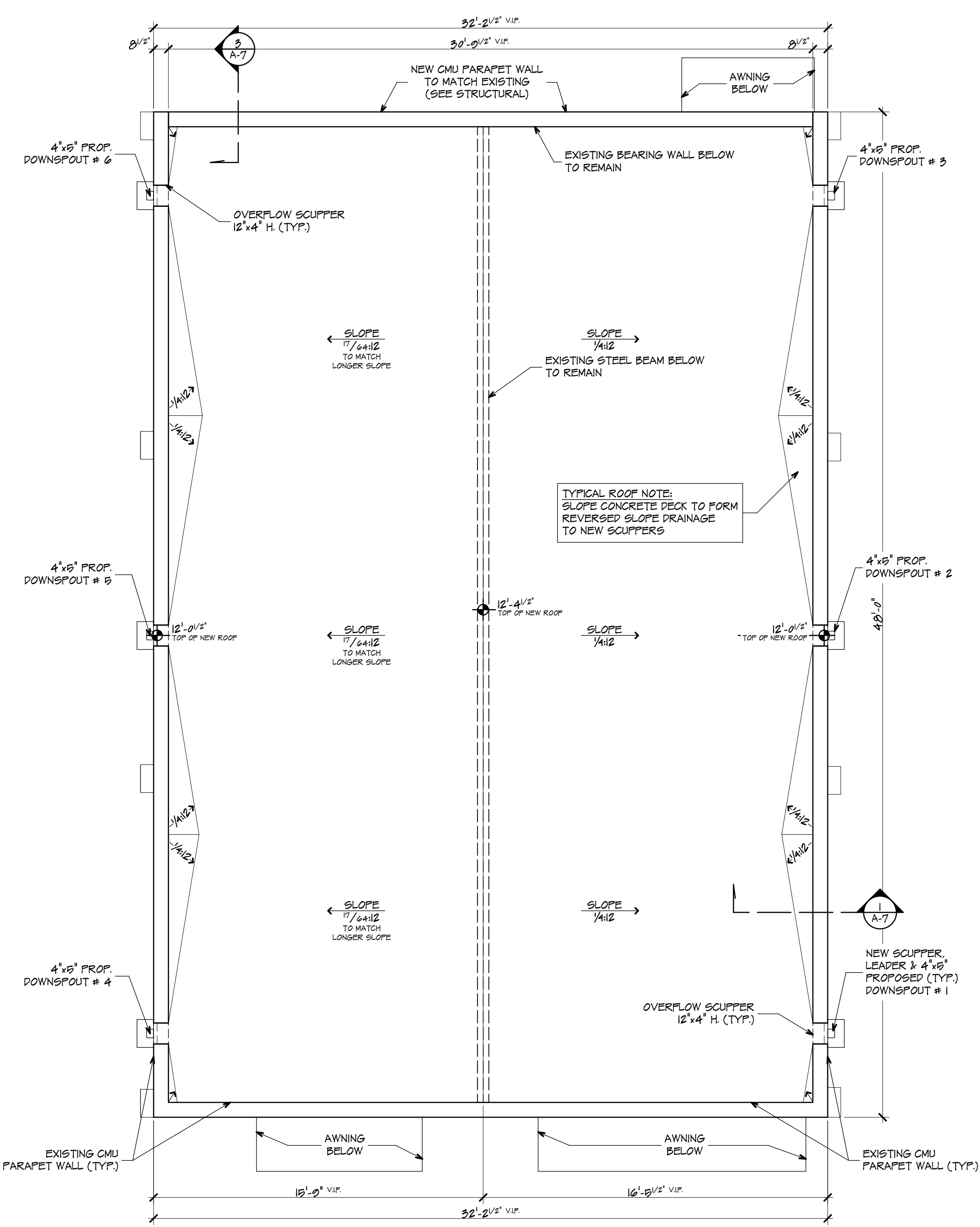
SCALE: 1/4" = 1'-0"



- LEGEND**
- WALL TO REMAIN
 - NEW 8" MASONRY WALL
 - 3/8" 28GA STL STUDS @ 16" O.C. PARTITION

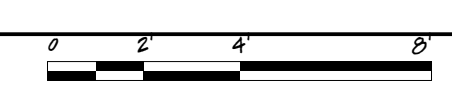
- MASONRY NOTES:**
- GENERAL CONTRACTOR TO VERIFY MASONRY OPENINGS SIZES REQUIRED BY WINDOWS & DOORS MANUFACTURERS. PRIOR LOCATING #5 DOWELS.
 - INDICATES REINFORCED CELL IN NEW MASONRY WALL (SEE STRUCTURAL)

WINDOW SCHEDULE				
ID	QUANTITY	DIMENSIONS	FRONT VIEW	REMARKS
1	1	6'-0" x 4'-1"		FIXED STOREFRONT TYPE WINDOW (V.I.F.) TO BE INSTALLED IN EXISTING OPENING
2	1	5'-11" x 4'-1"		FIXED STOREFRONT TYPE WINDOW (V.I.F.) TO BE INSTALLED IN EXISTING OPENING
3	2	3'-5" x 3'-5"		FIXED STOREFRONT TYPE WINDOW (V.I.F.) TO BE INSTALLED IN EXISTING OPENING
4	4	3'-1/2" x 3'-5"		FIXED STOREFRONT TYPE WINDOW (V.I.F.) TO BE INSTALLED IN EXISTING OPENING



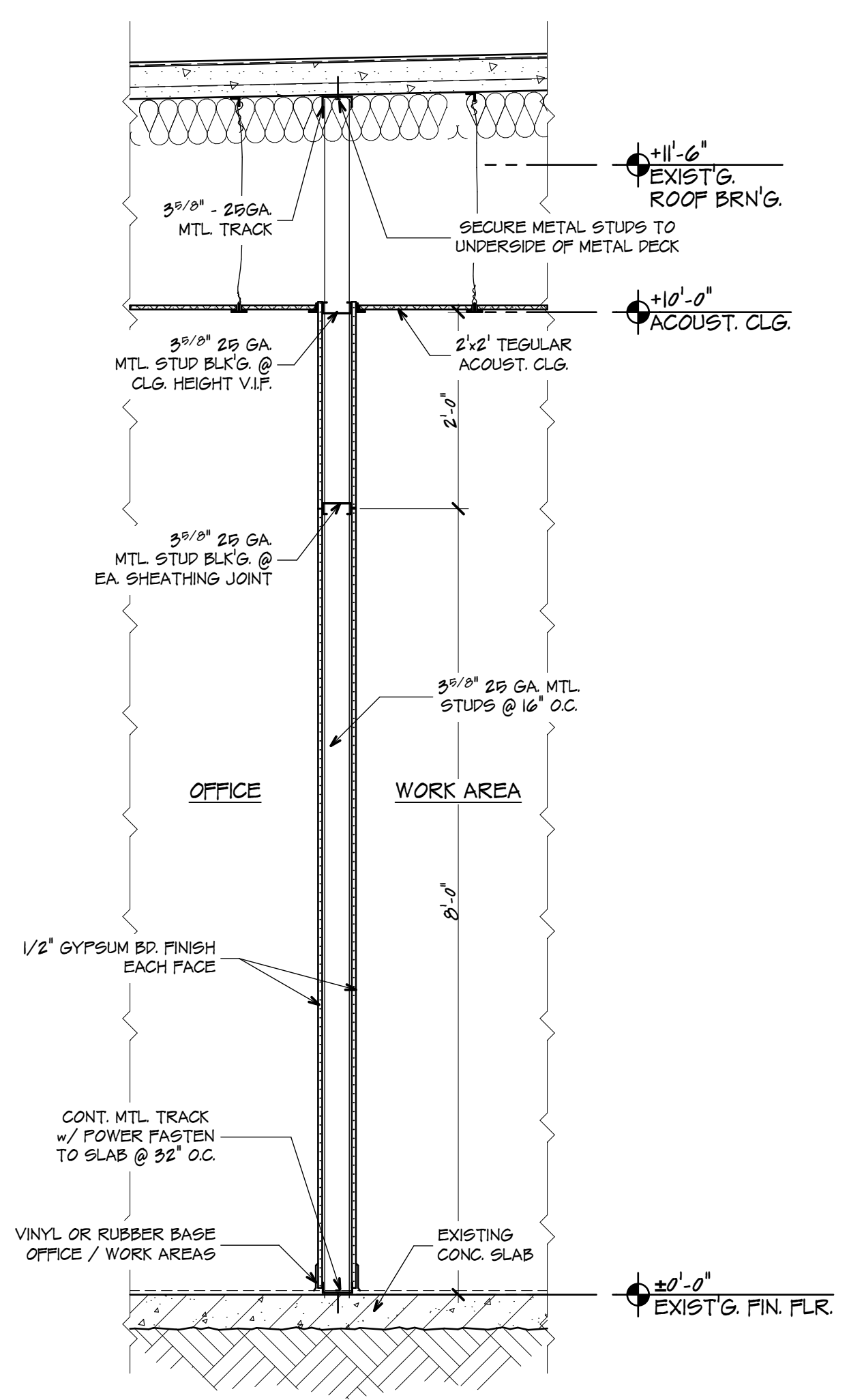
PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



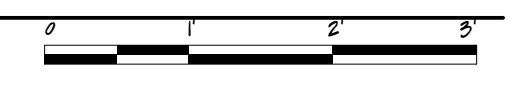
- WINDOW NOTES:**
- IMPACT RATED INSULATED STOREFRONT ALUMINUM WINDOWS WITH LATEST LOW E COATING.
 - MULLIONS ARE DECORATIVE & DO NOT INDICATE DIVIDED LITES UNLESS NOTED.

DOOR SCHEDULE				
ID	QUANTITY	DIMENSIONS	FRONT VIEW	REMARKS
1	2	3'-0" x 6'-8"		EXTERIOR DOOR STYLE PER OWNER SELECTION w/ L.P.M.T. & T.G.
2	4	3'-0" x 8'-0"		SOLID CORE INTERIOR DOOR TO BE INSTALLED IN METAL FRAME WALL

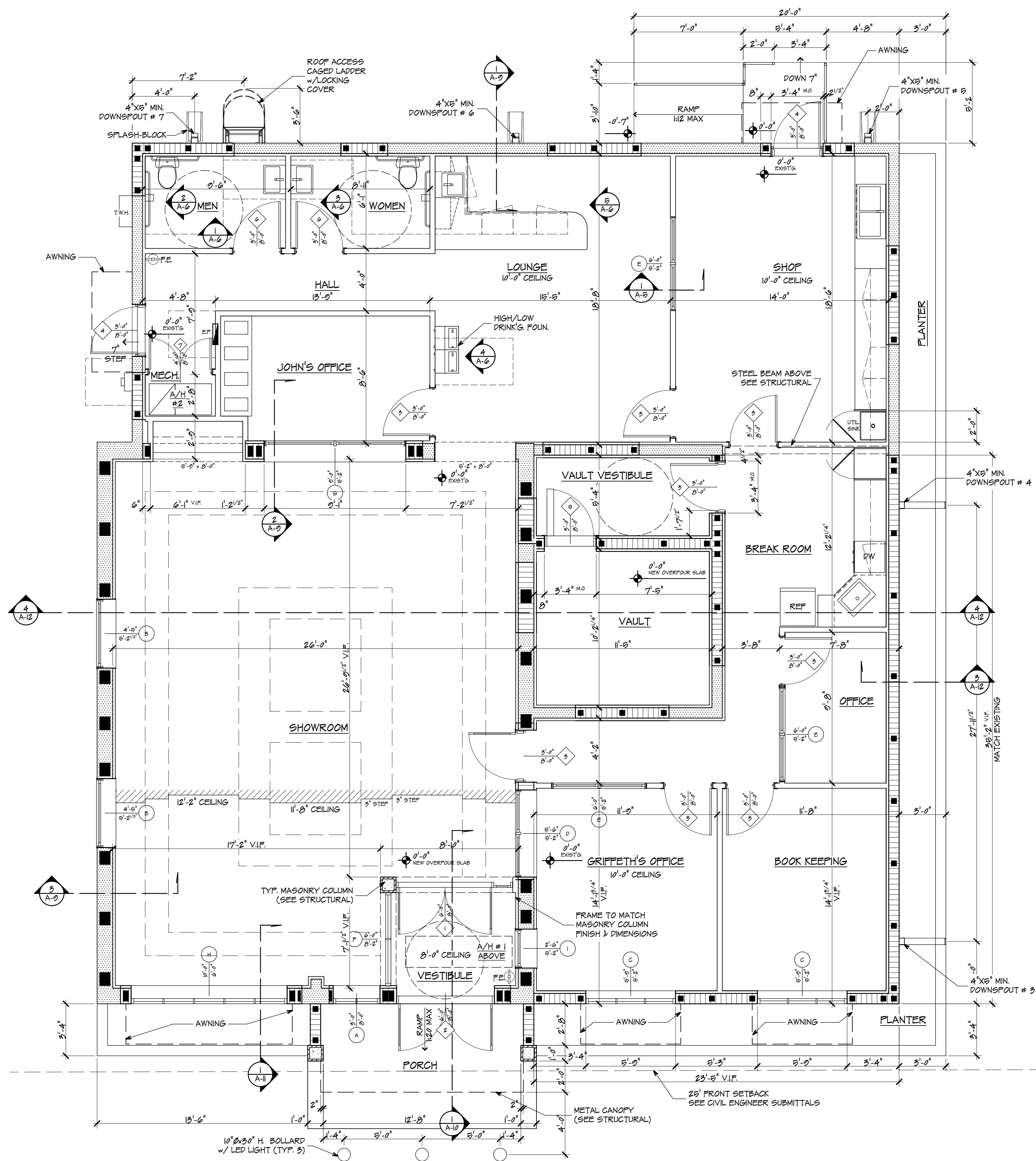


INTERIOR PARTITION

SCALE: 3/4" = 1'-0"



- GUTTERS & DOWNSPOUTS NOTES & CALCULATIONS:**
- GUTTERS & DOWNSPOUTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 - THE GUTTERS & DOWNSPOUTS CALCULATIONS ARE IN ACCORDANCE WITH TABLES 1106.3 & 1106.6 OF THE F.B.C.-P.
 - THE SIZES OF THE GUTTERS & DOWNSPOUTS WERE MADE FOR THE SIDE OF THE BUILDING WITH THE HIGHEST RAIN WATER VOLUME (SOUTH SIDE), & MATCHED FOR THE NORTH SIDES OF THE BUILDING.
 - RAINFALL RATE: 4.5 IPH EQUIVALENT TO 0.0468 GPM
- CALCULATIONS:**
- AREA ROOF 1/4' SLOPE: 734 SF
 TOTAL AREA SOUTH SIDE ROOF: 734 SF x 0.0468 GPM = 34.4 GPM
 5- VERTICAL LEADER MIN. SIZE 4" CAPACITY = 102 GPM
 6- GUTTER MIN. SIZE 3"x5" CAPACITY = 107 GPM
 7- PARAPET WALL SCUPPERS OR SECONDARY (EMERGENCY OVERFLOW) PER 1611 F.B.C.-P & 1106.5 F.B.C.-P
 8- SEE FLOOR PLAN & ELEVATION FOR LOCATIONS.



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

LEGEND

- WALL TO REMAIN
- NEW 12" OR 8" MASONRY WALL
- 3/8" 25GA. STL. STUDS @ 16" O.C. PARTITION

MASONRY NOTES:

- 1- GENERAL CONTRACTOR TO VERIFY MASONRY OPENINGS SIZES REQUIRED BY WINDOWS & DOORS MANUFACTURERS. PRIOR LOCATING #8 DOWELS.
- 2- INDICATES REINFORCED CELL IN NEW MASONRY WALL (SEE STRUCTURAL)
- 3- INDICATES NEW REINFORCED CELL. SAWCUT & REMOVE FACE OF BLOCK. (SEE STRUCTURAL)

DOOR SCHEDULE				
ID	QUANTITY	DIMENSIONS	FRONT VIEW	REMARKS
1	1	6'-0" x 8'-0"		EXTERIOR DOOR STOREFRONT TYPE w/ 16" SIDELIGHT & L.P.M.T. & T.G.
2	1	6'-0" x 8'-0"		EXTERIOR DOOR STOREFRONT TYPE w/ L.P.M.T. & T.G.
3	8	3'-0" x 8'-0"		SOLID CORE INTERIOR DOOR TO BE INSTALLED IN MASONRY OR METAL FRAME WALL
4	2	3'-0" x 8'-0"		EXTERIOR MTL. H.C. DOOR STYLE PER OWNER SELECTION w/ L.P.M.T. & T.G.
5	1	3'-0" x 8'-0"		VAULT DOOR TO BE COORDINATED WITH OWNER
6	2	3'-0" x 8'-0"		BATHROOM SOLID CORE INTERIOR DOOR TO BE INSTALLED IN METAL FRAME WALL
7	1	4'-0" x 8'-0"		DOOR TO BE INSTALLED IN METAL FRAME WALL W/ BALL CATCH

WINDOW SCHEDULE				
ID	QUANTITY	DIMENSIONS	FRONT VIEW	REMARKS
A	1	3'-0" x 8'-0"		FIXED STOREFRONT TYPE WINDOW
B	2	4'-5" x 5'-2 1/2"		FIXED STOREFRONT TYPE WINDOW V.I.F. EXISTING OPENING
C	2	5'-0" x 5'-2"		FIXED STOREFRONT TYPE WINDOW (V.I.F. WINDOW LOCATED IN EXISTING OPENING)
D	1	5'-6" x 5'-2"		FIXED STOREFRONT TYPE WINDOW INTERIOR
E	3	6'-0" x 5'-2"		FIXED STOREFRONT TYPE WINDOW INTERIOR
F	1	6'-0" x 8'-2"		FIXED STOREFRONT TYPE WINDOW INTERIOR V.I.F.
G	1	9'-0" x 5'-2"		FIXED STOREFRONT TYPE WINDOW INTERIOR
H	1	10'-0" x 6'-0"		FIXED STOREFRONT TYPE WINDOW
I	1	2'-6" x 5'-2"		FIXED STOREFRONT TYPE WINDOW INTERIOR - ONE-WAY VIEWING

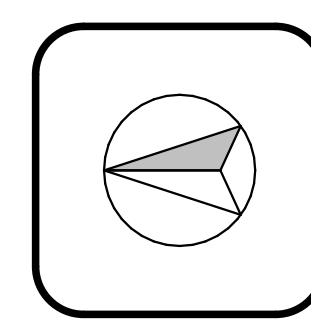
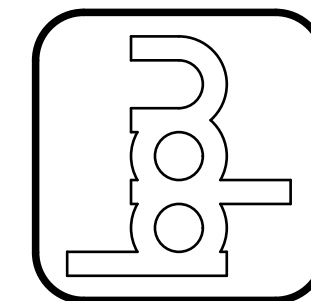
WINDOW NOTES:

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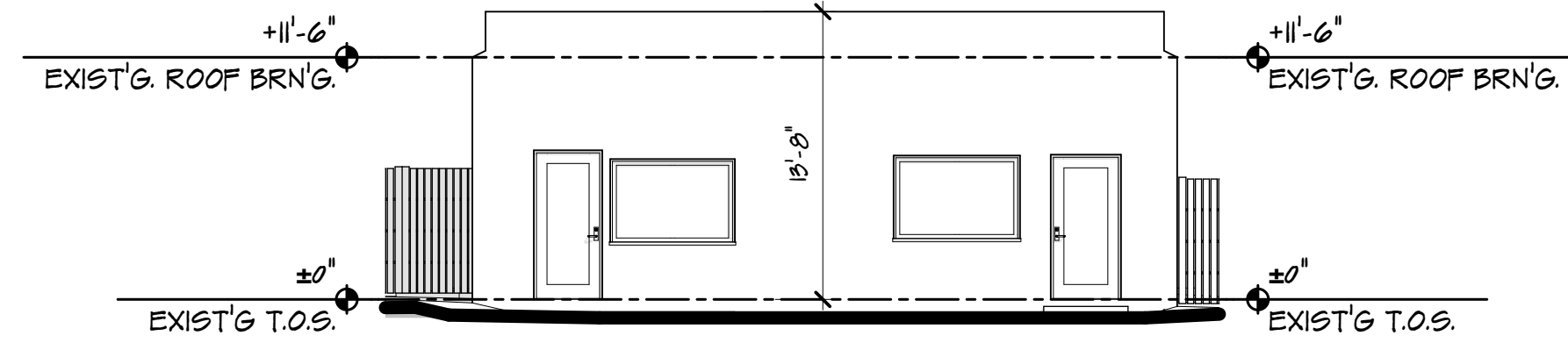
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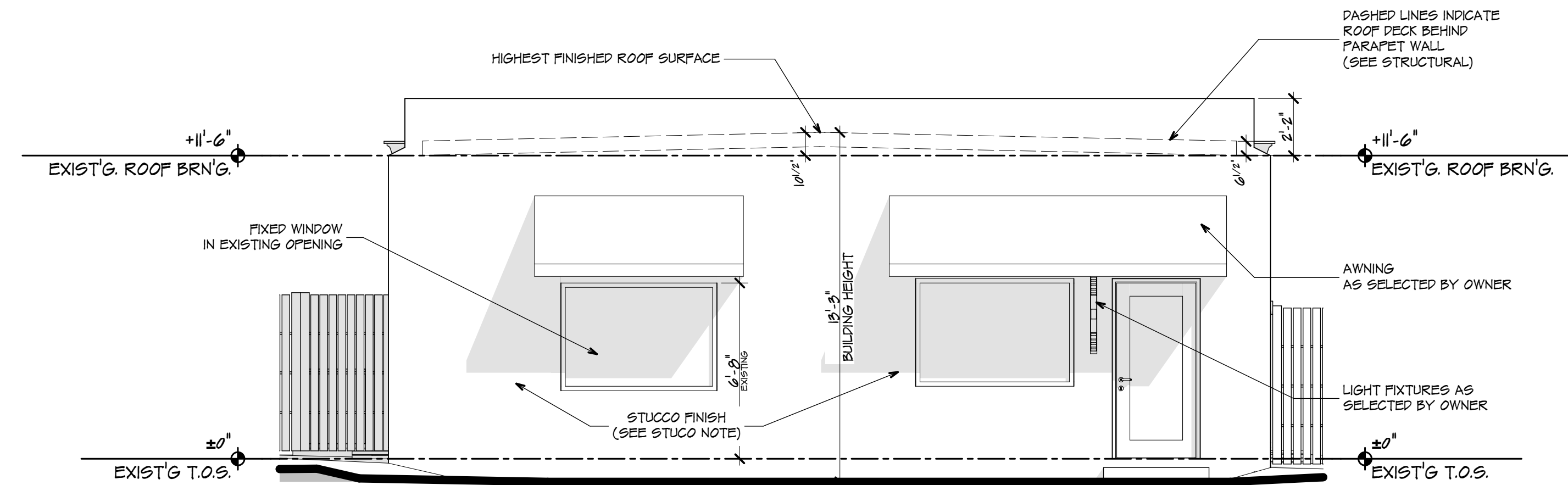


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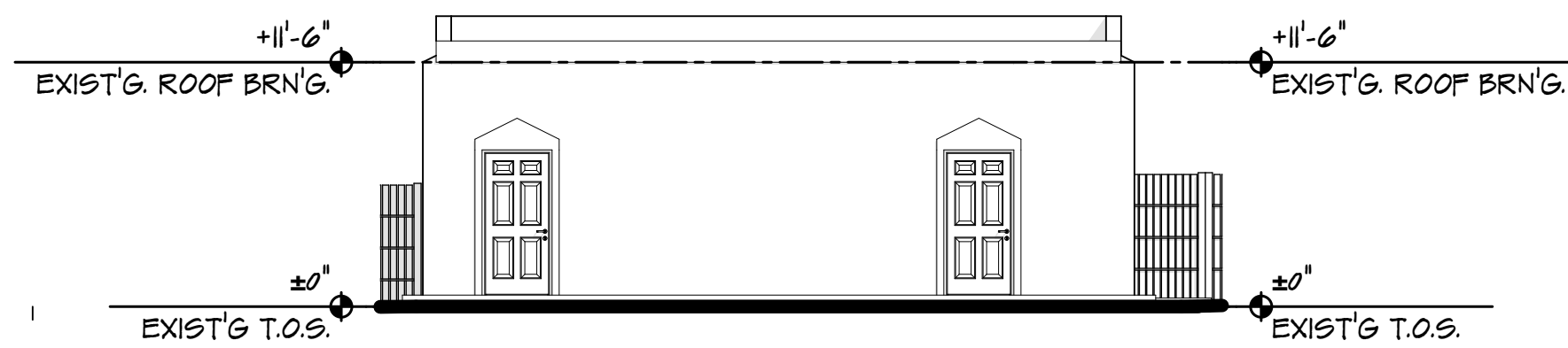
EXISTING FRONT / WEST ELEVATION

SCALE: 1/8" = 1'-0"



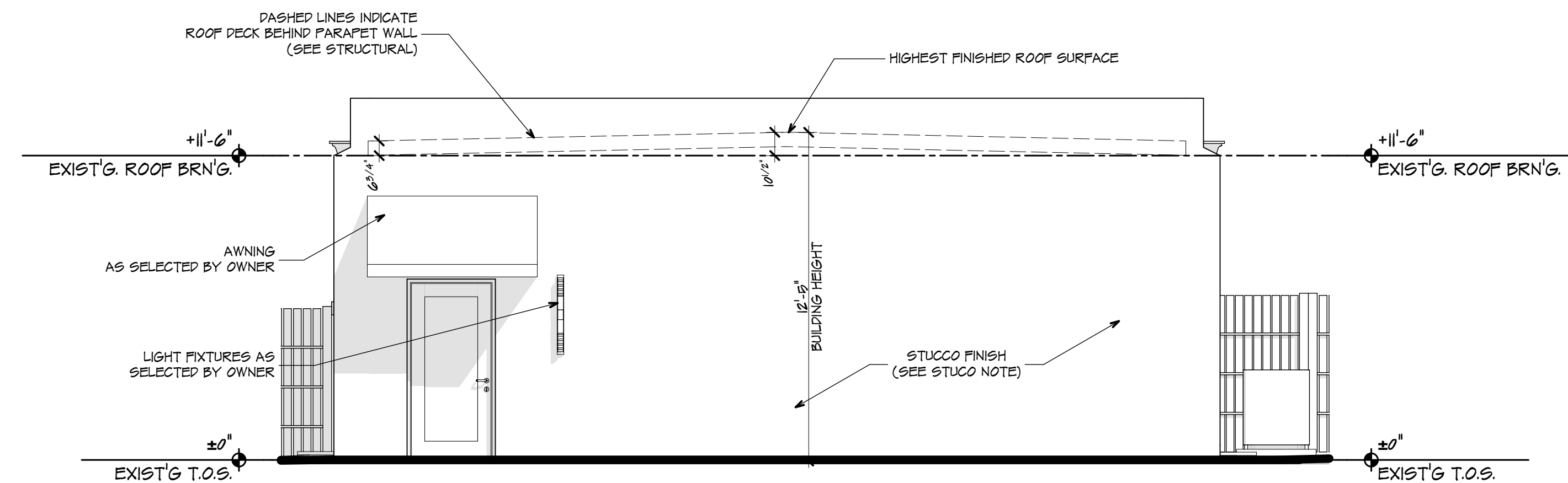
FRONT / WEST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING REAR / EAST ELEVATION

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REAR / EAST ELEVATION

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STUCCO NOTES:

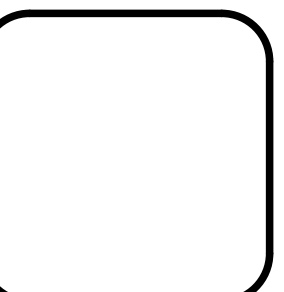
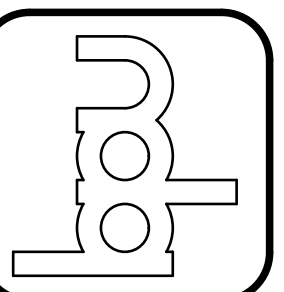
- 1- STUCCO OVER MASONRY WALLS TO BE MIN. 5/8" THICK. (2) COATS.
- 2- PROVIDE CONTROL JOINTS PER ASTM C-1063-03, 7.11.4.1. (AREAS WITH NO MORE THAN 144 SQ.FT. BETWEEN CONTROL JOINTS)
- 3- FOR EXISTING FINISH TO MATCH NEW STUCCO: FEATHER NEW INTO EXISTING OR ADD VENEER COAT TO EXISTING TO ENSURE UNIFORM APPEARANCE. (TYP.)

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REVISIONS	DATE

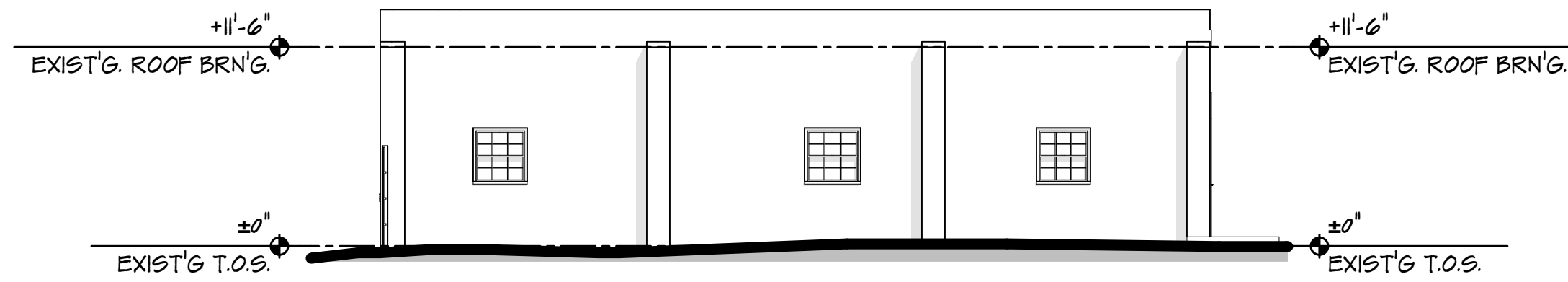
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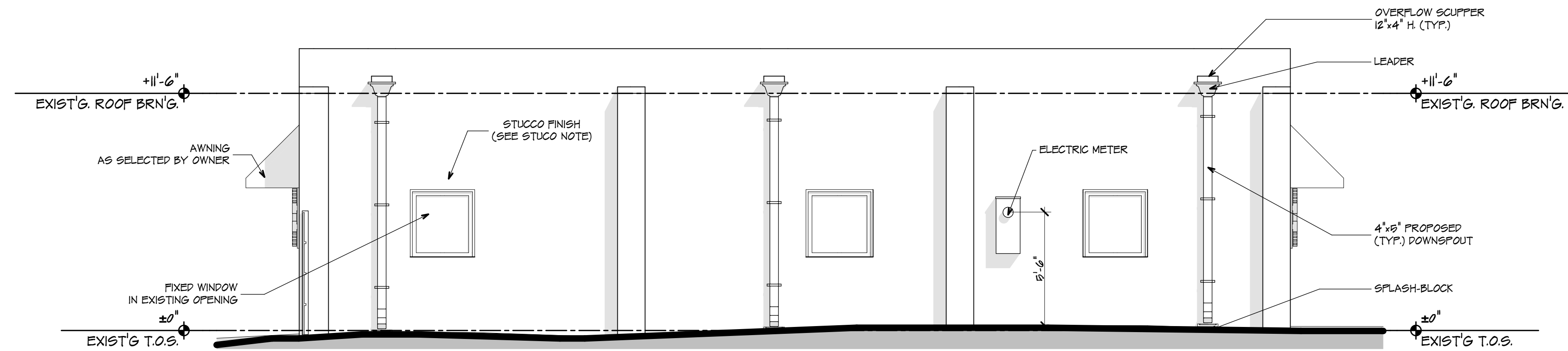
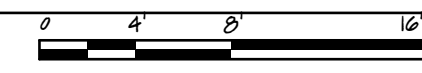
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A-5



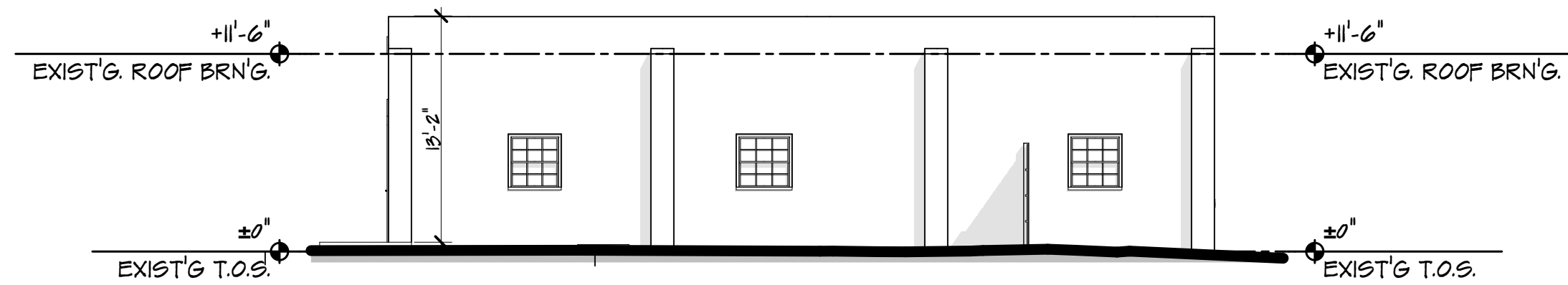
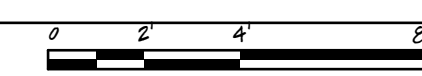
EXISTING RIGHT SIDE / SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



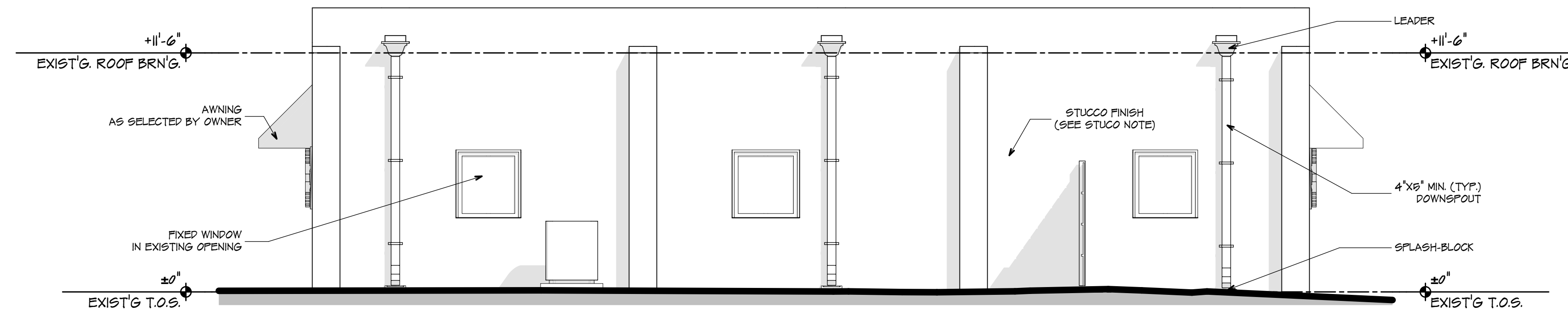
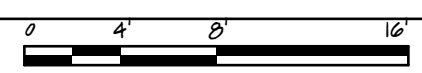
RIGHT SIDE / SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



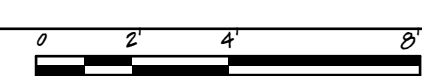
EXISTING LEFT SIDE / NORTH ELEVATION

SCALE: 1/8" = 1'-0"



LEFT SIDE / NORTH ELEVATION

SCALE: 1/4" = 1'-0"



STUCCO NOTES:

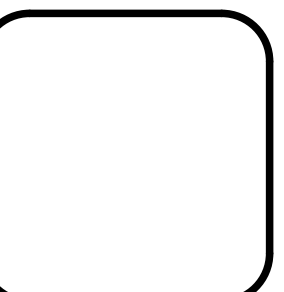
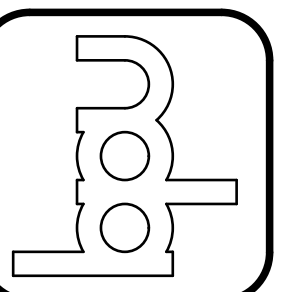
- 1- STUCCO OVER MASONRY WALLS TO BE MIN. 5/8" THICK. (2) COATS.
- 2- PROVIDE CONTROL JOINTS PER ASTM C-1063-03, 7.11.4.1. (AREAS WITH NO MORE THAN 144 SQ.FT. BETWEEN CONTROL JOINTS)
- 3- FOR EXISTING FINISH TO MATCH NEW STUCCO: FEATHER NEW INTO EXISTING OR ADD VENEER COAT TO EXISTING TO ENSURE UNIFORM APPEARANCE. (TYP.)

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REVISIONS	DATE

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WHITEHURST MANUFACTURING SHOP
 1420 SOUTH FORT HARRISON AVENUE
 CLEARWATER FLORIDA 33756



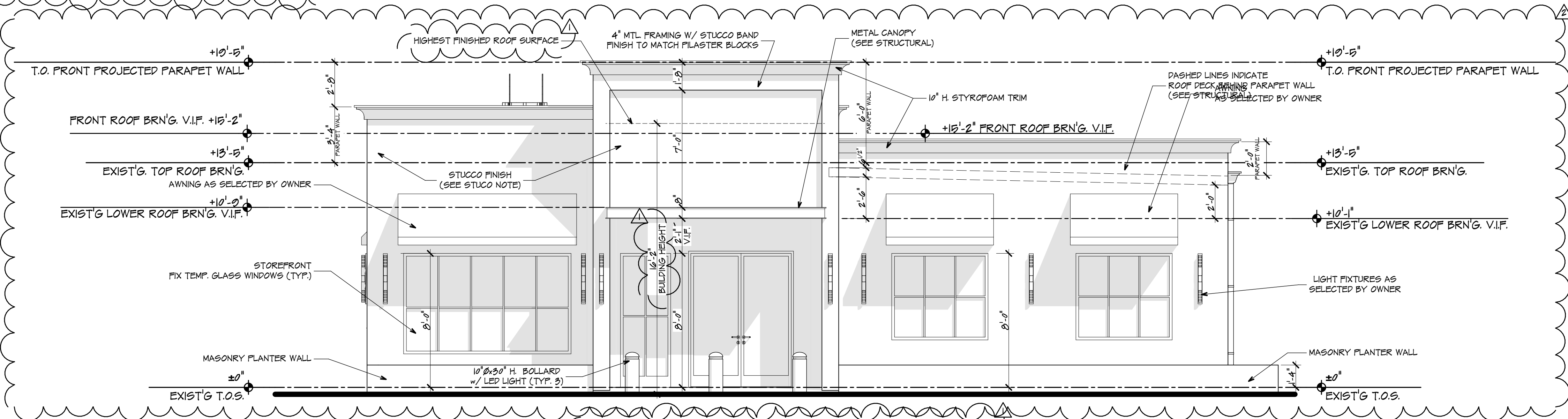
JOB No.
 AR-25-09
 DRAWN BY:
 LP, & AR
 CHECKED BY:
 B.P.U.
 DATE OF ISSUE:
 02/15/26
 SHEET No.

A-6



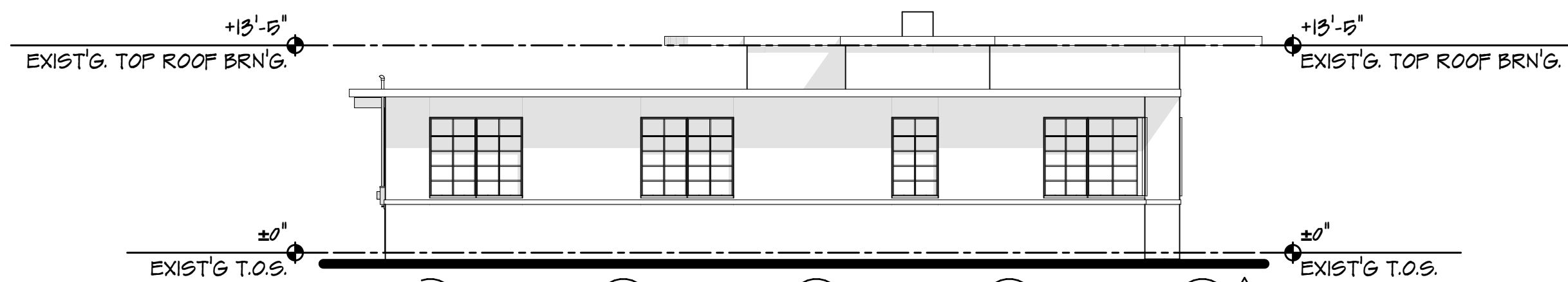
EXISTING FRONT / WEST ELEVATION

SCALE: 1/8" = 1'-0"



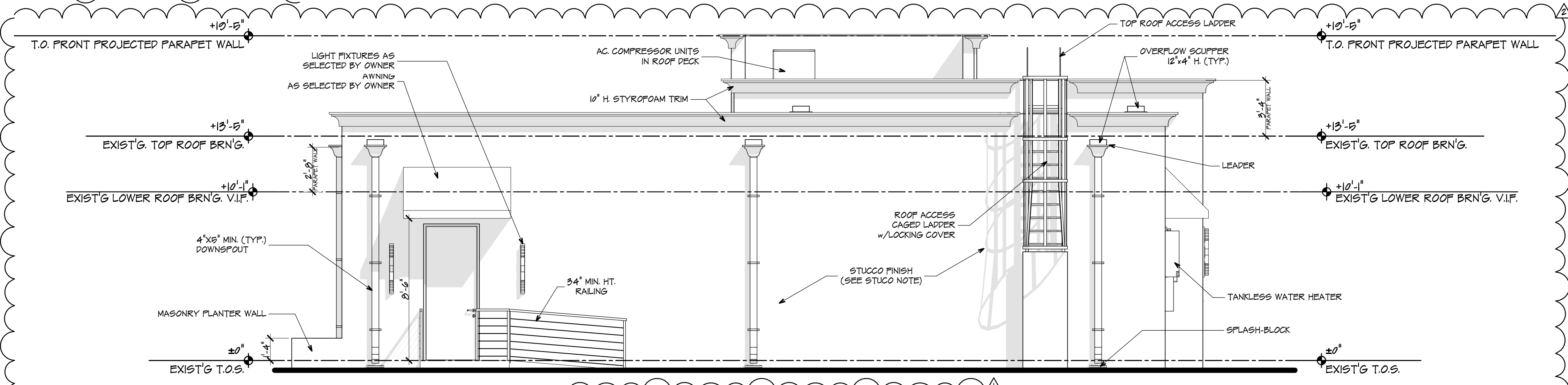
FRONT / WEST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING REAR / EAST ELEVATION

SCALE: 1/8" = 1'-0"



REAR / EAST ELEVATION

SCALE: 1/4" = 1'-0"

STUCCO NOTES:

- 1- STUCCO OVER MASONRY WALLS TO BE MIN. 5/8" THICK. (2) COATS.
- 2- PROVIDE CONTROL JOINTS PER ASTM C-1063-03, 7.11.4.1. (AREAS WITH NO MORE THAN 144 SQ.FT. BETWEEN CONTROL JOINTS)
- 3- FOR EXISTING FINISH TO MATCH NEW STUCCO: FEATHER NEW INTO EXISTING OR ADD VENEER COAT TO EXISTING TO ENSURE UNIFORM APPEARANCE. (TYP.)

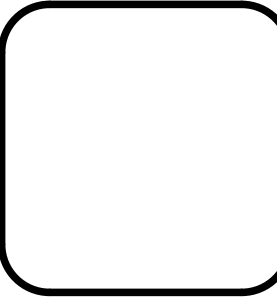
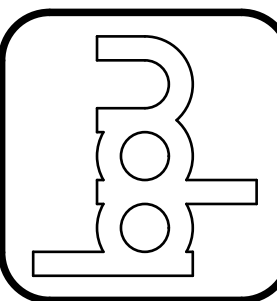
RAILING NOTE:

RAILINGS TO BE DESIGNED AND FABRICATED TO RESIST LATERAL LOADS OF 50 pft OR 200 lb. CONCENTRATED APPLIED NON-CONCURRENTLY AT ANY LOCATION IN ANY DIRECTION. SPINDLES SPACING TO REPEL A 4" Ø SPHERE. TOE RAIL TO FINISH FLOOR SPACE TO REPEL A 2" Ø SPHERE.

REVISIONS	DATE
LETTER OF INCOMPLETENESS	02/12/26
OWNER REVISION	04/17/26

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WHITEHURST GALLERY
 1447 SOUTH FORT HARRISON AVENUE
 CLEARWATER FLORIDA 33756



JOB No. AR-25-07
 DRAWN BY: LP, JAR
 CHECKED BY: BPU
 DATE OF ISSUE: 01/30/26
 SHEET No.

A-7

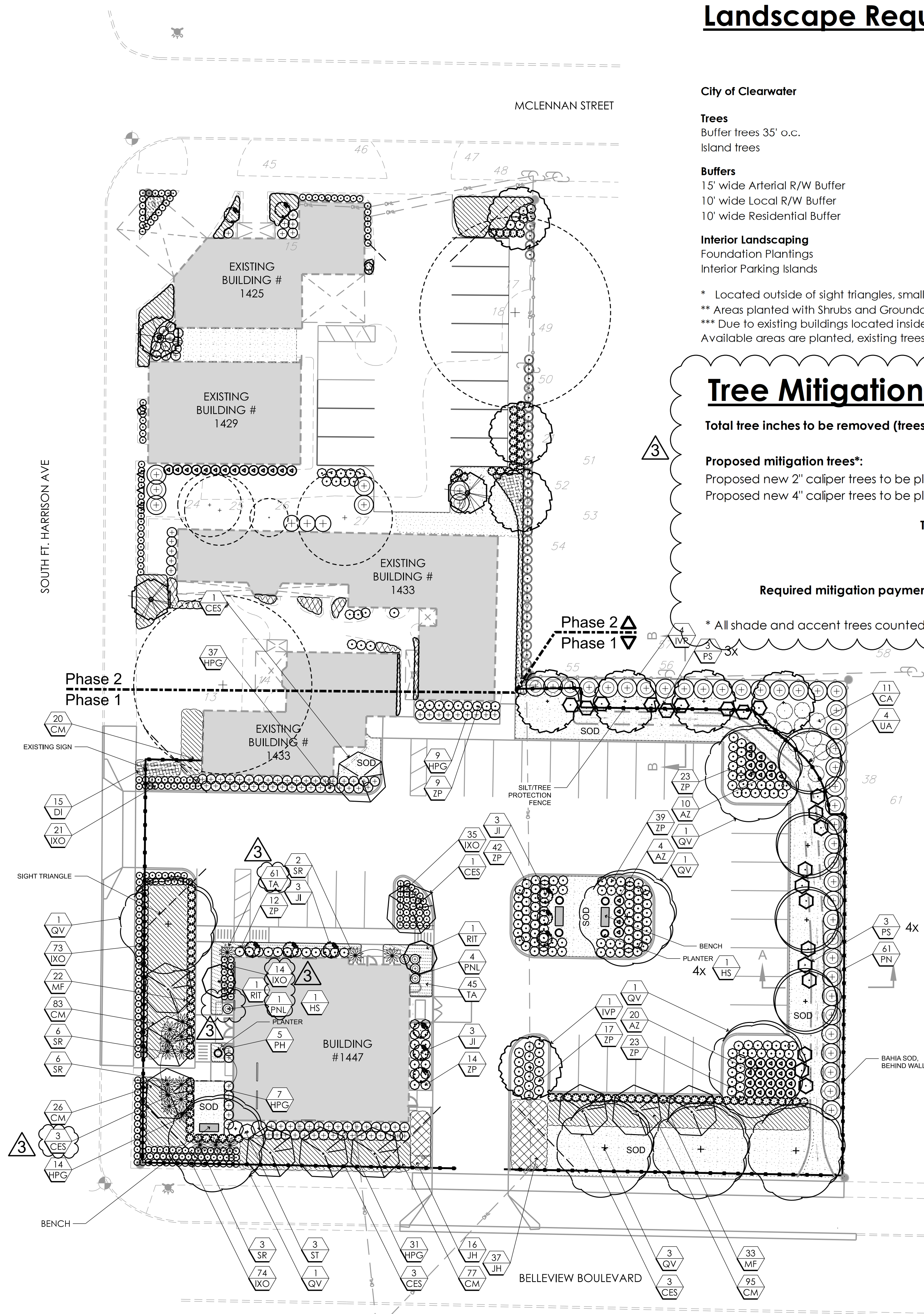
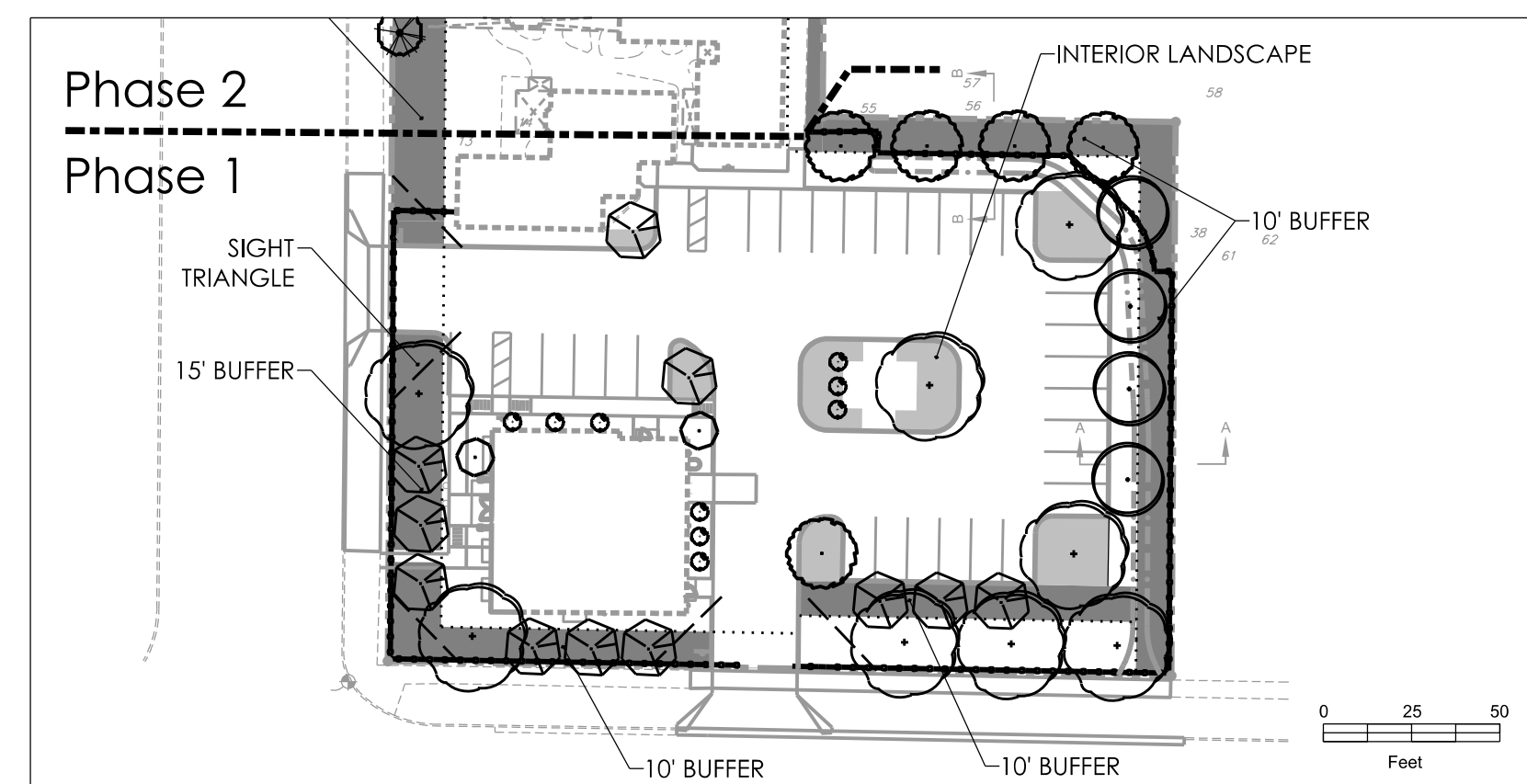
LANDSCAPE PLANT SCHEDULE - Phase 1

ALL PLANT MATERIALS SHALL BE GRADED AS 'FLORIDA No.1' UNDER THE FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS 2022.

Quantity	Symbol	Common Name	Botanical Name	Container Size	Minimum Rootball Size	Minimum Caliper	Minimum Specific Size Requirements
3	11	CES Silver Buttonwood	CONOCARPUS erectus sericeus	45 GALLON	40"	2"	8' HT X 60" CROWN SPREAD
5	9	IVP Yaupon Holly	ILEX vomitoria	25 GALLON	24"	2"	8' HT X 36" CROWN SPREAD,
8	8	JL Jatrophia	JATROPHA integerrima	45 GALLON	32"	2"	8' HT X 36" CROWN SPREAD
3	QV	Boardwalk Live Oak	QUERCUS virginiana 'Boardwalk'	100 GALLON	40"	4"	10' HT X 72" CROWN SPREAD
2	RIT	Indian Hawthorn	RHAPHIOLEPIS indica 'Majestic'	45 GALLON	40"	2"	8' HT X 48" CROWN SPREAD
4	UA	Winged Elm	ULMUS alata	100 GALLON	40"	4"	10' HT X 72" CROWN SPREAD
39 Total trees planted on-site							
Shrubs							
34	AZ	Variiegated Ginger	ALPINIA zerumbet 'Variegata'	7 GALLON	36"	24" ht x 24" spr. Full	
11	CA	American Beautberry	CALLICARPA americana	3 GALLON	60"	30" ht x 24" spr. full	
301	CM	Green Carpet Natal Plum	CARISSA macrocarpa 'Green Carpet'	3 GALLON	30"	12" ht x 14" spr. full	
98	HPG	Dwarf Firebush	HAMELIA patens var. glabra	3 GALLON	30"	24" ht x 24" spr. full	
5	HS	Jazzy Jewel® Opal Hibiscus	Hibiscus rosa-sinensis 'AH-51' PPAF	7 GALLON		5' ht x 24" spr., Standard	
143	IXO	DW Orange Ixora	IXORA taiwanensis 'Orange'	3 GALLON	24"	8" ht x 8" spr. full	
53	JH	Andorra Compacta Juniper	JUNIPERUS horizontalis 'Andorra Compacta'	3 GALLON	30"	6" ht x 18" spr. Full	
55	MF	Simpson stopper	MYRCIANTHES fragrans	3 GALLON	30"	18" ht x 12" spr. full	
61	PN	Wild Coffee	PSYCHOTRIA nervosa	7 GALLON	48"	24" ht x 18" spread	
5	PNL	Dwarf Wild Coffee	PSYCHOTRIA nervosa 'Little Psycho'	3 GALLON	30"	15" ht x 12" spread	
21	PS	Philodendron	PHILODENDRON selloum	7 GALLON	48"	30" ht x 24" spread	
17	SR	Orange Bird of Paradise	Strelitzia reginae	7 GALLON	30"	30" ht x 24" spr. Full	
3	ST	Necklace Pod	SOPHORA tomentosa truncata	7 GALLON	60"	30" ht x 24" spr. full	
179	ZP	Coontie	ZAMIA pumila	7 GALLON	30"	16" ht x 14" spr. full	
Groundcover / Vines							
15	DI	African Iris	DIETES iridioides	3 GALLON	24"	12" ht. x 12" spr.	
5	PH	New Zealand Flax	PHORMIUM 'Amazing Red'	3 GALLON	24"	12" ht. x 8" spr.	
120	TA	Asiatic Jasmine	TRACHELOSPERMUM asiaticum	1 GALLON	18"	3" ht x 14" spr., min. 5 runners	
Sod							
3,980	SOD	Icon Zoysia	ZOYSIA macrantha 'MAC03'*			free of weeds	
165	SOD	Argentine Bahia	PASPALUM notatum 'Argentine'*			free of weeds	
Total Site Irrigation:							
3,980	SF +/-	Turf Irrigation*					
9,670	SF +/-	Shrub Irrigation*					
700	LF +/-	Loop Main*	2" pvc sch 40 with sleeves under pavement as shown				
	EA	1" POTABLE WATER METER	- use for irrigation -contractor to include Backflow preventer and shut off valve				
Furnishings							
5	EA	Clay pot	30" height, 20" dia.				
3	EA	Bench	6' long, steel, powder coated				
Miscellaneous Plant Materials And Site Work:							
66	CY	Pine Bark Mulch					
22	CY	Top Soil					
1	Bags	Pre-Emergent Herbicide	20 lbs for plant beds			EA	
3	Bags	Fertilizer: 6-6-6	for sod - do not fertilize in the first 30 days after installation			50 lb. bag	
1	Bags	Fertilizer: 16-4-8				50 lb. bag	

* CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUFFICIENT QUANTITIES FOR COMPLETE INSTALLATION. ACTUAL AMOUNTS MAY VARY FROM AMOUNTS INDICATED.

INTERIOR LANDSCAPE, BUFFERS AND TREES - Phase 1



Landscape Requirements

City of Clearwater	Phase 1		Phase 2	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
Trees				
Buffer trees 35' o.c.	Yes	Yes*	Yes	Partially***
Island trees	Yes	Yes*	Yes	Partially***
Buffers				
15' wide Arterial R/W Buffer	Yes	Yes	Yes	Partially***
10' wide Local R/W Buffer	Yes	Yes	Yes	Partially***
10' wide Residential Buffer	Yes	Yes	Yes	Partially***
Interior Landscaping				
Foundation Plantings	Yes	Yes	Yes	Partially***
Interior Parking Islands	1,435 SF	1,834 SF**	No	No

* Located outside of sight triangles, small trees used near overhead utilities
 ** Areas planted with Shrubs and Groundcovers counted only
 *** Due to existing buildings located inside the 10' and 15' buffer areas only partial buffers are possible. Available areas are planted, existing trees will be preserved as shown.

Tree Mitigation

Total tree inches to be removed (trees 4" or greater) that require mitigation:	136
Proposed mitigation trees*:	
Proposed new 2" caliper trees to be planted	35 inches: 70
Proposed new 4" caliper trees to be planted	12 inches: 48
Total provided mitigation inches/palms	118
Total required	136
Balance	-18
Required mitigation payment @ \$48 per inch of tree diameter (DBH)	\$864

* All shade and accent trees counted for mitigation

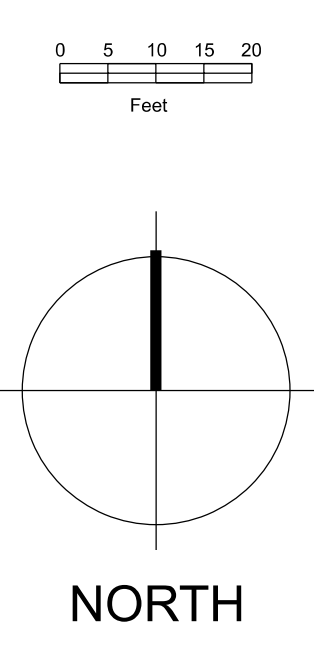
EXISTING TREES AND PLANTING/IRRIGATION:

Planting locations must be adjusted in the field to avoid damaging roots of existing trees on the adjacent property. All excavation of planting holes must be by hand or air spade. Move planting locations to avoid cutting roots larger than 2". Cleanly cut all severed roots by hand.

Do not install landscaping or irrigation (unless directional bore) in the critical root zone (inside the tree barricade) of the existing trees to be preserved.

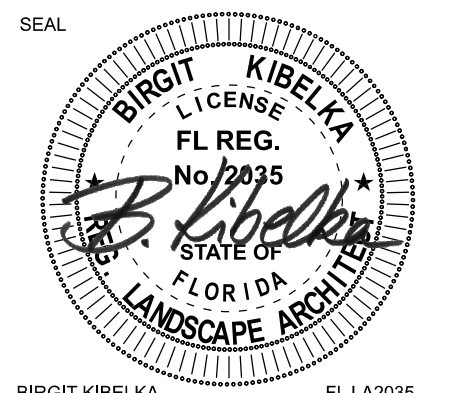


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 Date: 2026.05.08 10:58:54 -04'00'



PLANTING PLAN - Phase 1

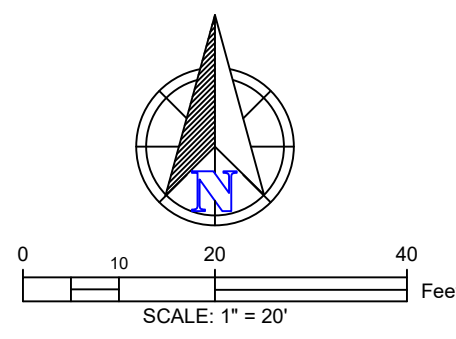
LANDSCAPE CONSTRUCTION DOCUMENTS
 WHITEHURST DEVELOPMENT
 CLEARWATER, FLORIDA



Date: 1-16-2026
 Scale: 1" = 20'
 Revision:
 No. Date Description:
 1 3/12/2026 Revised per city comments
 2 4/06/2026 Revised per building change
 3 5/04/2026 Revised per city comments

Job No. 25-1046
 Drawn by: BK Checked by: JT

Sheet
 L1
 Of 6 Sheets



Tree Status Sheet
1447 South Fort Harrison Ave., 514 Belleview Blvd.

Tree Preservation Plan

1447 S. Ft. Harrison Ave. & 514 Belleview Blvd.

Overview

The existing building at 1447 S. Ft. Harrison Avenue will remain. The existing house at 514 Belleview Boulevard will be demolished. A new parking lot and retention pond will be constructed at the locations delineated on the site plan. All existing site trees for these addresses will be removed to facilitate the proposed construction as well as five off-site cherry laurel trees (*Prunus caroliniana*) and one golden raintree (*Koelreuteria elegans*). Trees to be removed are marked in RED on the Tree Preservation Plan (TPP). Trees to be preserved are shown in black. The construction of a swale will not impact the critical root zone (CRZ) of tree #57 which is an off-site 30" live oak tree (*Quercus virginiana*). The top of bank of the swale will be constructed 16' south of the face of tree #57. The bottom of the swale will require an excavation of 2". The CRZ was probed on 3" centers 14' from tree #57 to locate woody roots 2" in diameter and greater. One root approximately 2.5" in diameter was located at a depth of 5". This root may be from tree #29 which is a 28" live oak located opposite tree #57 and 11' south of the property line. Once the grade stakes are set the swale will be graded manually and the 2.5" root will be pruned by hand if it will be impacted by excavation. The tree has sufficient health to withstand the root loss. The strategy for tree protection will be to erect tree barricades meeting the City of Clearwater specifications as pictured on the TPP to avoid soil compaction within the CRZ of off-site trees #38 and #57. To avoid damaging the root system of tree #57, trees #28, 29, 33 and 34 will be removed via chainsaw with the stump ground just below grade. Tree barricades will be erected prior to any site work including the demolition work. The Tree Preservation site plan will delineate the locations for the manual grading and the placement of tree barricades. The properties of 1425, 1429 and 1433 S. Ft. Harrison Avenue will not be utilized for construction purposes and the trees surrounding these buildings will not be impacted. The ingress/egress for construction traffic is delineated on the TPP. The following bullet points provide the specifications and the sequencing for the Tree Preservation Plan measures.

PRE-CONSTRUCTION PHASE

- Install tree barricades per the City of Clearwater detail for tree barricades as pictured herein and at the locations delineated on the TPP.
- Receive written permission from the adjacent property owner to the east to remove trees marked in RED that are off-site.
- Call the City of Clearwater at (727) 287-3054 to set up a tree barricade 734 inspection.

CONSTRUCTION PHASE

- Barricades shall remain erected in place throughout the construction process unless approved for removal by the City of Clearwater Land Development Arborist.
- The swale area shall be graded manually under the supervision of the Project Arborist.
- The area within the tree barricades shall be kept free of debris, construction material, concrete wash etc., throughout the construction process.
- No personnel or equipment shall enter the areas inside the tree barricades.
- The existing grade shall be maintained within the tree barricades.

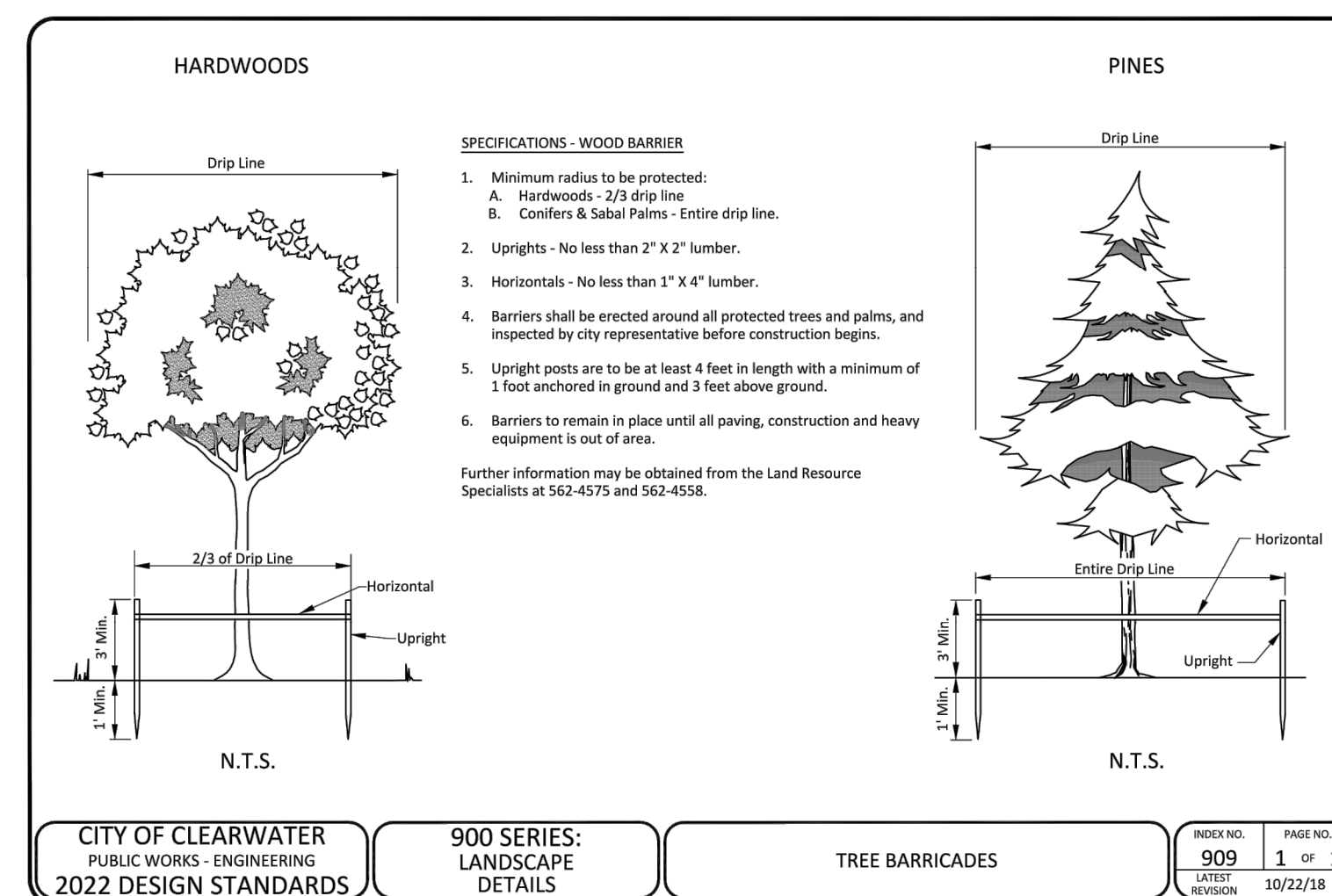
NOTE: Do not trench silt screen with the dripline of site trees. Silt screen shall be rolled under for a minimum of 6" and anchored with fill material. The area where the silt screen is NOT to be trenched will be delineated on the Tree Preservation Plan.

NOTE: Do not install landscaping or irrigation (unless by directional bore) in the critical root zone (inside the tree barricade) of the existing trees to be preserved.

CONTACTS

- Mike Quinzi, Land Development Arborist, City of Clearwater: (727) 444-8770
- Danny McDonnell, Land Development Arborist, City of Clearwater: (727) 444-8765
- Robert Robicheau, Land Development Arborist, City of Clearwater: (727) 444-7961
- Alan Mayberry, Project Arborist (727) 735-5521

Tree #	Size	Species	Rating
1.	16' Clear Trunk (CT)	sabal palm (<i>Sabal palmetto</i>)	4.0
Comments: Remove, mitigation required.			
2.	14' CT	sabal palm (<i>Sabal palmetto</i>)	4.0
Comments: Remove, mitigation required.			
3.	11"	slash pine (<i>Pinus Elliottii</i>)	2.5
Comments: Remove, no mitigation requirement.			
4.	12"	live oak (<i>Quercus virginiana</i>)	3.0
Comments: Remove, mitigation required.			
5.	19"	live oak (<i>Quercus virginiana</i>)	3.0
Comments: Remove, mitigation required.			
6.	36"	live oak (<i>Quercus virginiana</i>)	3.0
Comments: Remove, mitigation required.			
7.	7' CT	sabal palm (<i>Sabal palmetto</i>)	N/A
Comments: Remove, exempt, no mitigation requirement.			
8.	24"	live oak (<i>Quercus virginiana</i>)	3.0
Comments: Remove, mitigation required.			
9.	27"	live oak (<i>Quercus virginiana</i>)	1.0
Comments: Remove, no mitigation requirement.			
10.	15"	live oak (<i>Quercus virginiana</i>)	2.0
Comments: Remove, no mitigation requirement.			
11.	15"	live oak (<i>Quercus virginiana</i>)	2.0
Comments: Remove, no mitigation requirement.			
12.	11' CT	sabal palm (<i>Sabal palmetto</i>)	4.5
Comments: Remove, mitigation required.			
22.	8"	cherry laurel (<i>Prunus caroliniana</i>)	2.0
Comments: Remove, no mitigation requirement.			
23.	8"	cherry laurel (<i>Prunus caroliniana</i>)	1.0
Comments: Remove, no mitigation requirement.			
28.	34"	live oak (<i>Quercus virginiana</i>)	3.0
Comments: Remove, mitigation required.			
29.	28"	live oak (<i>Quercus virginiana</i>)	2.0
Comments: Remove, no mitigation requirement.			
30.	43"	live oak (<i>Quercus virginiana</i>)	2.5
Comments: Remove, no mitigation requirement.			
31.	30"	live oak (<i>Quercus virginiana</i>)	2.5
Comments: Remove, no mitigation requirement.			
32.	19"	live oak (<i>Quercus virginiana</i>)	2.5
Comments: Remove, no mitigation requirement.			
33.	8"	cherry laurel (<i>Prunus caroliniana</i>)	3.5
Comments: Remove, mitigation required.			
34.	5"	cherry laurel (<i>Prunus caroliniana</i>)	2.0
Comments: Remove, no mitigation requirement.			
36.	12' CT	queen palm (<i>Syagrus romanzoffiana</i>)	2.0
Comments: Remove, no mitigation requirement.			
37.	8"	cherry laurel (<i>Prunus caroliniana</i>)	1.0
Comments: Remove, no mitigation requirement.			
38.	11"	live oak (<i>Quercus virginiana</i>)	N/A
Comments: Off-site tree. Preserve and barricade at the location delineated on the Tree Preservation Plan.			
39.	5"	cherry laurel (<i>Prunus caroliniana</i>)	2.5
Comments: Off-site tree to be removed.			
40.	6"	cherry laurel (<i>Prunus caroliniana</i>)	2.5
Comments: Off-site tree to be removed.			
41.	15"	cherry laurel (<i>Prunus caroliniana</i>)	1.5
Comments: Remove, no mitigation required.			
42.	9"	golden rain (<i>Koelreuteria elegans</i>)	1.5
Comments: Remove, no mitigation required.			
43.	6"	cherry laurel (<i>Prunus caroliniana</i>)	0.0
Comments: Remove, no mitigation requirement.			
44.	18"	ear pod (<i>Enterolobium cyclocarpum</i>)	2.0
Comments: Remove, no mitigation requirement.			
55.	8"	cherry laurel (<i>Prunus caroliniana</i>)	0.0
Comments: Off-site tree, preserve, not impacted by construction.			
56.	6"	cherry laurel (<i>Prunus caroliniana</i>)	0.0
Comments: Off-site tree, preserve, not impacted by construction.			
57.	30"	live oak (<i>Quercus virginiana</i>)	2.0
Comments: Off-site tree to be preserved, barricaded and root pruned if necessary.			
58.	18' CT	sabal palm (<i>Sabal palmetto</i>)	2.0
Comments: Off-site palm outside of critical root zone (CRZ).			
59.	7"	cherry laurel (<i>Prunus caroliniana</i>)	1.5
Comments: Off-site tree to be removed.			
60.	7"	cherry laurel (<i>Prunus caroliniana</i>)	1.5
Comments: Off-site tree to be removed.			
61.	11"	live oak (<i>Quercus virginiana</i>)	2.0
Comments: Off-site tree to be preserved, CRZ is not impacted by construction.			
62.	16"	live oak (<i>Quercus virginiana</i>)	2.0
Comments: Off-site tree to be preserved, CRZ is not impacted by construction.			
63.	12"	cherry laurel (<i>Prunus caroliniana</i>)	2.0
Comments: Off-site tree to be removed.			
64.	7"	cherry laurel (<i>Prunus caroliniana</i>)	2.0
Comments: Off-site tree to be removed.			

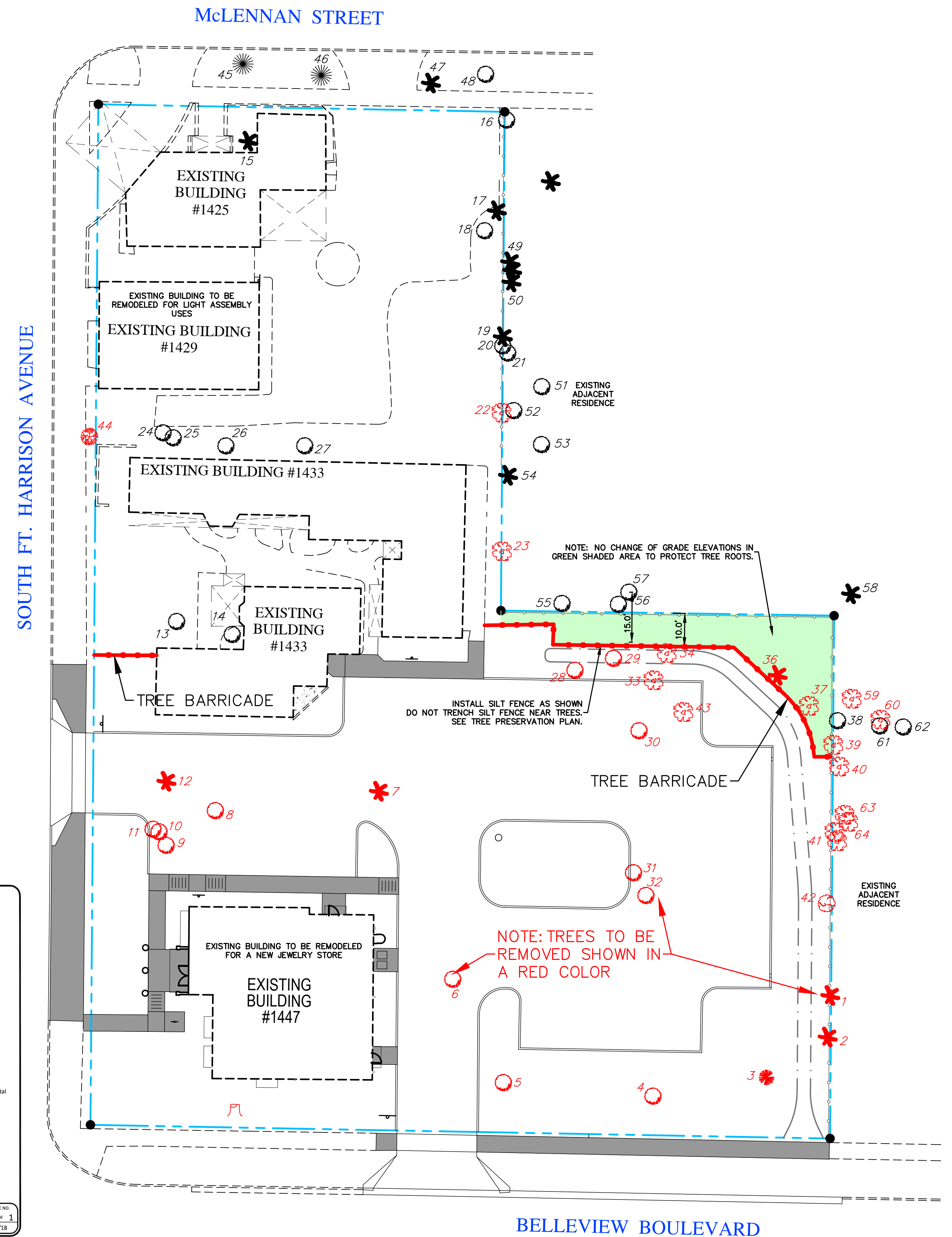


SILT FENCE TRENCHING NEAR TREES NOTES

1. IN AREAS WHERE TREES WILL REMAIN, THE SILT FENCE SHALL NOT BE TRENCHED WHERE IT WILL DAMAGE EXISTING TREE ROOTS. CONTRACTOR TO COORDINATE WITH THE PROJECT ARBORIST AND/OR THE CITY OF CLEARWATER TO DETERMINE THE LIMITS OF WHERE TRENCHING SHALL NOT BE CONDUCTED.

TREE PROTECTION NOTES

TREES NOT SHOWN FOR REMOVAL ON THE DEMOLITION PLAN THAT ARE LOCATED ON THE PROPERTY SHALL BE PRESERVED. THE CONTRACTOR SHALL ADHERE TO ALL PERMIT REQUIREMENTS OF THE CITY OF CLEARWATER RELATED TO TREE PRESERVATION. THIS INCLUDES COMPLIANCE WITH THE TREE PRESERVATION PLAN AND COORDINATION WITH THE PROJECT ARBORIST, CITY ARBORIST, AND LANDSCAPE ARCHITECT.



DESIGN: 11-20	REVISED PER FIELD MEETING WITH CITY
DATE: 12-22-2025	
CHECKED: JCL	JOB NO.: 882-01
DRAWN: ELM	
SCALE: 1"=20'	

WHITEHURST DEVELOPMENT
TREE PRESERVATION PLAN

WHITEHURST & CO, LLC
550 E. LAKE DRIVE
TARPOON SPRINGS, FL 34688

LMA
Landon, Moore & Associates, Inc.
Civil & Environmental Engineers - Planners - Surveyors
31629 U.S. 19 NORTH PALM HARBOR, FLORIDA 34684
Phone: (727)787-4394, Fax: (727)787-4394
Toll Free: 1-800-882-7980, WWW.LMAENGR.COM

LEGAL DESCRIPTION
 LOTS 1, 2, 3, 4, 5, 6, 7 AND 8, BLOCK C, BELLEVIEW COURT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 43, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

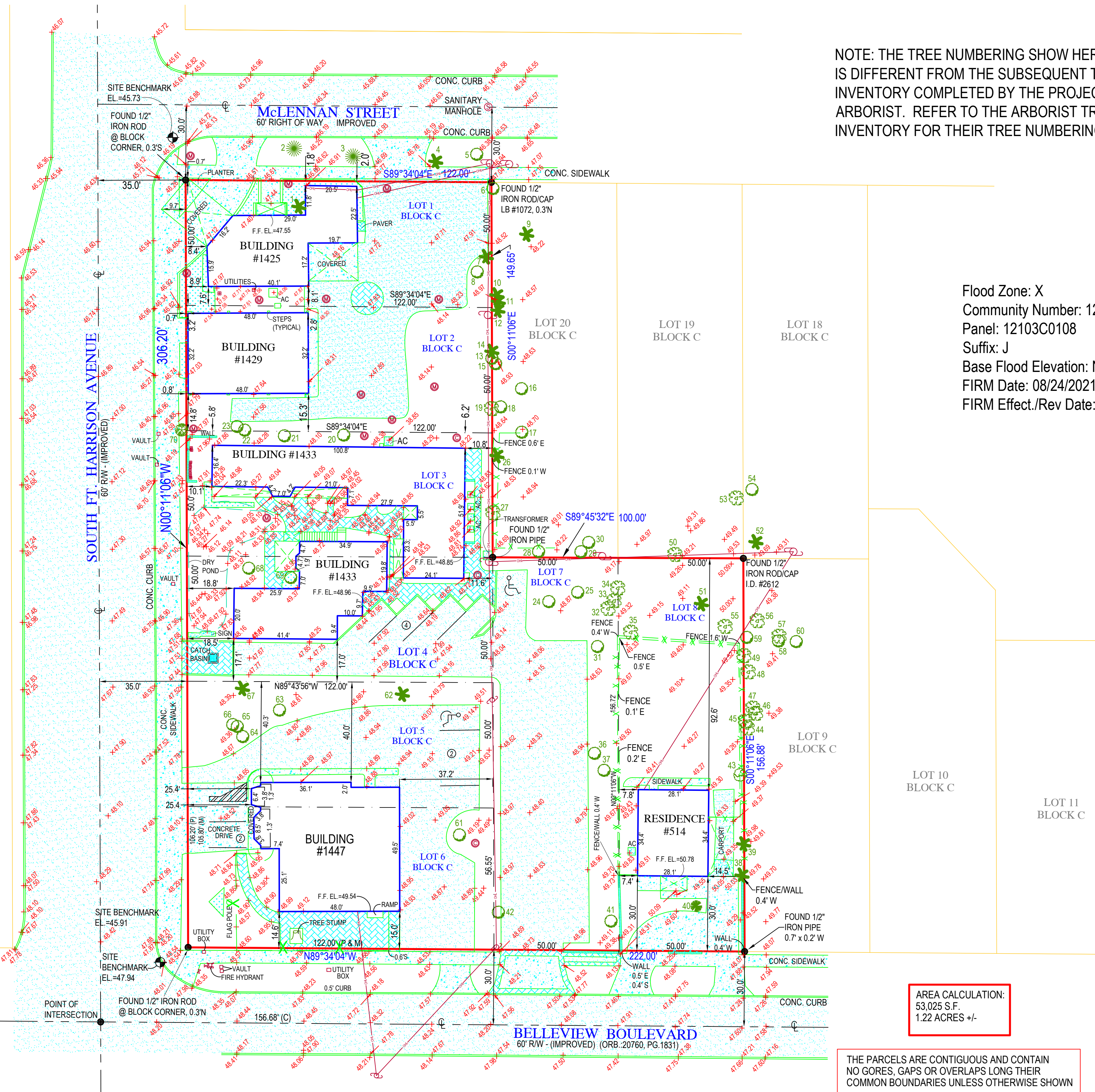
ORIGINATION BENCHMARK
 PINELLAS COUNTY
 BENCHMARK "HARRIS R"
 N.A.V.D. ELEVATION = 31.80'

ALTA/NSPS LAND TITLE SURVEY OF:

1447, 1425, 1429 & 1433 SOUTH FORT HARRISON AVENUE
 AND 514 & XXX BELLEVIEW BOULEVARD
 CLEARWATER, FL 33756

CERTIFIED TO:

GRIFFETH WHITEHURST



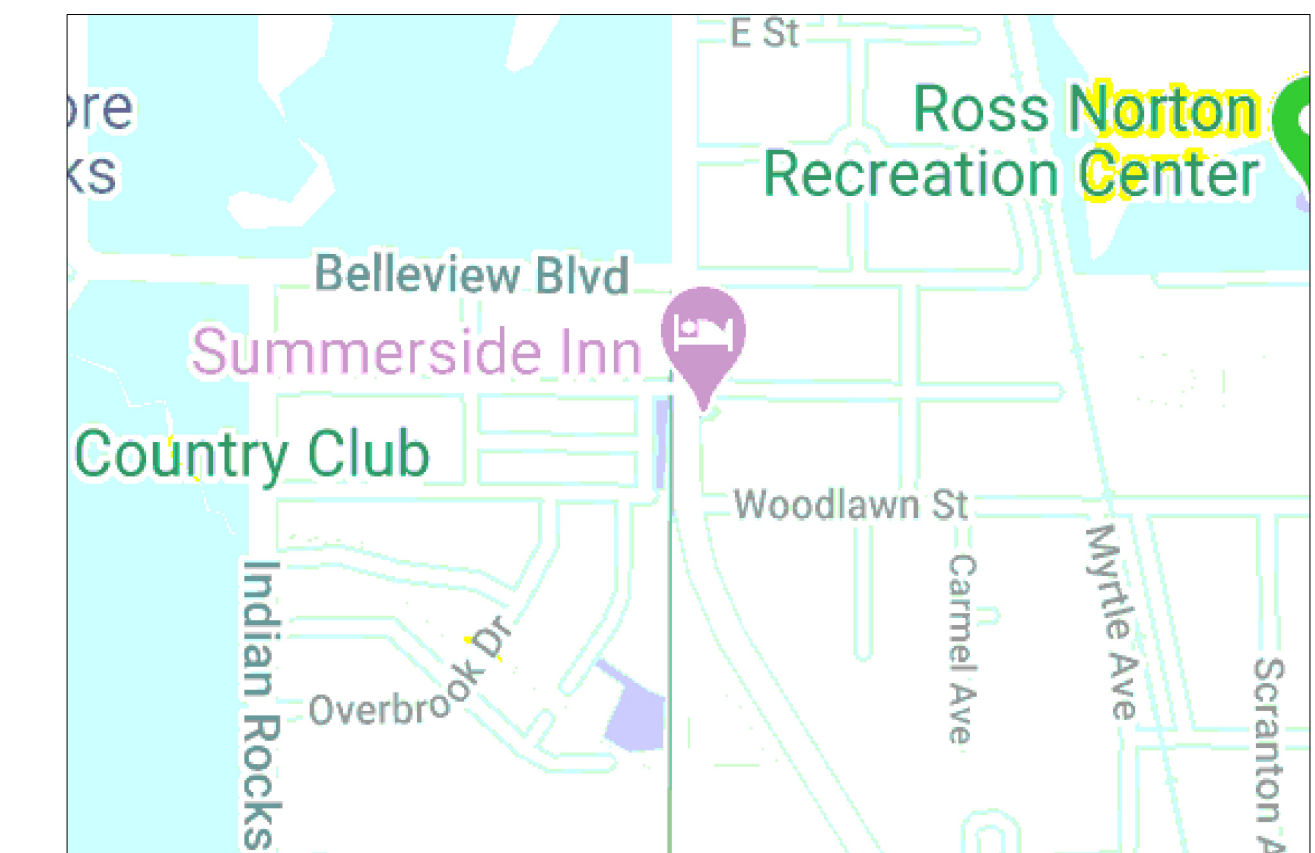
NOTE: THE TREE NUMBERING SHOW HEREON IS DIFFERENT FROM THE SUBSEQUENT TREE INVENTORY COMPLETED BY THE PROJECT ARBORIST. REFER TO THE ARBORIST TREE INVENTORY FOR THEIR TREE NUMBERING.

Flood Zone: X
 Community Number: 125096
 Panel: 12103C0108
 Suffix: J
 Base Flood Elevation: NAVD88
 FIRM Date: 08/24/2021
 FIRM Effect./Rev Date: 08/24/2021

AREA CALCULATION:
 53,025 S.F.
 1.22 ACRES +/-

THE PARCELS ARE CONTIGUOUS AND CONTAIN NO GORES, GAPS OR OVERLAPS LONG THEIR COMMON BOUNDARIES UNLESS OTHERWISE SHOWN

TREE #	DESCRIPTIONS	D.B.H.	HEIGHT	CANO
1	PALM TREE	9"	20'	20'
2	BOTTLE BRUSH TREE	7"	20'	15'
3	BOTTLE BRUSH TREE	7"	30'	15'
4	PALM TREE	20"	20'	15'
5	OAK TREE	9"	20'	30'
6	OAK TREE	16"	30'	30'
7	PALM TREE	15"	20'	20'
8	OAK TREE	30"	30'	60'
9	PALM TREE	5"	20'	30'
10	PALM TREE	16"	20'	20'
11	PALM TREE	6"	20'	30'
12	PALM TREE	16"	20'	20'
13	OAK TREE	8"	30'	30'
14	PALM TREE	14"	20'	20'
15	OAK TREE	4"	10'	10'
16	OAK TREE	12"	30'	40'
17	TWIN OAK TREE	17"	40'	40'
18	TWIN OAK TREE	12"	40'	30'
19	CHERRY LAUREL TREE	4"	10'	10'
20	OAK TREE	16"	30'	40'
21	OAK TREE	7"	30'	20'
22	OAK TREE	11"	30'	30'
23	OAK TREE	11"	30'	30'
24	OAK TREE	34"	50'	40'
25	OAK TREE	21"	50'	40'
26	PALM TREE	16"	30'	20'
27	CHERRY LAUREL TREE	7"	10'	10'
28	OAK TREE	7"	20'	20'
29	CHERRY LAUREL TREE	6"	10'	10'
30	OAK TREE	24"	50'	50'
31	OAK TREE	44"	60'	80'
32	CHERRY LAUREL TREE	9"	20'	20'
33	CHERRY LAUREL TREE	6"	15'	15'
34	CHERRY LAUREL TREE	6"	15'	15'
35	CHERRY LAUREL TREE	6"	10'	20'
36	OAK TREE	38"	40'	60'
37	OAK TREE	19"	40'	60'
38	PALM TREE	16"	20'	20'
39	PALM TREE	16"	25'	25'
40	PINE TREE	11"	30'	30'
41	OAK TREE	11"	20'	30'
45	OAK TREE	18"	30'	40'
43	CHINA BERRY TREE	4"	20'	20'
44	CHERRY LAUREL TREE	4"	20'	20'
45	CHERRY LAUREL TREE	11"	30'	30'
46	CHERRY LAUREL TREE	7"	20'	30'
47	CHERRY LAUREL TREE	10"	40'	40'
48	CHERRY LAUREL TREE	6"	20'	40'
49	CHERRY LAUREL TREE	6"	20'	20'
50	CHERRY LAUREL TREE	6"	20'	20'
51	PALM TREE	6"	30'	30'
52	PALM TREE	16"	40'	30'
53	CHERRY LAUREL TREE	6"	30'	30'
54	OAK TREE	32"	60'	80'
55	CHERRY LAUREL TREE	8"	30'	30'
56	CHERRY LAUREL TREE	7"	30'	30'
57	CHERRY LAUREL TREE	5"	30'	20'
58	OAK TREE	11"	30'	30'
59	OAK TREE	9"	30'	30'
60	OAK TREE	15"	40'	40'
61	OAK TREE	37"	40'	60'
62	PALM TREE	19"	15'	15'
63	OAK TREE	24"	40'	60'
64	TWIN OAK TREE	17"	30'	50'
65	OAK TREE	16"	30'	40'
66	OAK TREE	16"	30'	40'
67	PALM TREE	17"	20'	20'
68	OAK TREE	30"	40'	50'
69	OAK TREE	25"	40'	50'
70	ACACIA TREE	18"	30'	30'



1425 & 1429 SOUTH FORT HARRISON AVENUE
 LOTS 1 & 2, BELLEVIEW COURT

I have reviewed CHICAGO TITLE INSURANCE COMPANY'S COMMITMENT FOR TITLE INSURANCE
 Order Number: 2912002 Policy Number: 0-7210609-80571545
 Dated: February 4th, 2010 @ 10:14 A.M.
 All policy and title search items have been abstracted and all that apply are shown hereon

ITEM#	O.R.B.	PG.	CONVEYANCE	STATUS
7	P.B. 10	43	PLAT OF BELLEVIEW COURT	SHOWN HEREON
10	16822	70	MORTGAGE	NOT PLOTTABLE
12	16822	60	MORTGAGE	NOT PLOTTABLE
12	16822	1628	ASSIGNMENT OF RENTS	NOT PLOTTABLE

1433 SOUTH FORT HARRISON AVENUE
 XXX BELLEVIEW BOULEVARD
 LOTS 3, 4 & 7, BELLEVIEW COURT

I have reviewed LAWYERS' TITLE GUARANTY FUND COMMITMENT FOR TITLE INSURANCE
 File Number: 973 Commitment Number: 133588
 Dated: January 15, 1980 @ 8:00 A.M.
 All policy and title search items have been abstracted and all that apply are shown hereon

ITEM#	O.R.B.	PG.	CONVEYANCE	STATUS
NO SCHEDULE BII ITEMS LISTED				

1447 SOUTH FORT HARRISON AVENUE
 LOTS 5 & 6, BELLEVIEW COURT

I have reviewed OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY'S COMMITMENT FOR TITLE INSURANCE
 File Number: 23-6564 Commitment Number: 23127275 SM
 Dated: March 15, 2024 @ 8:00A.M.
 All policy and title search items have been abstracted and all that apply are shown hereon

ITEM#	O.R.B.	PG.	CONVEYANCE	STATUS
7	P.B. 10	43	PLAT OF BELLEVIEW COURT	SHOWN HEREON

LEGEND

A/C	AIR CONDITIONER	P	PLAT
B.F.P.	BACKFLOW PREVENTER	P.S.M.	PROFESSIONAL SURVEYOR AND MAPPER
C.B.S.	CONCRETE BLOCK STRUCTURE	P.R.M.	PERMANENT REFERENCE MONUMENT
E.F.	ELEVATION	P.B.	PAGE
F.F.	FINISHED FLOOR	P.B.	PLAT BOOK
I.D.	IDENTIFICATION	P.K.	PARKER KYLON NAIL
L	LENGTH	R	RADIUS
L.B.	LICENSED BUSINESS	R.O.L.	OVERHEAD LINE
M.T.S.	MEASURED	C.C.	CENTERLINE
N.T.S.	NOT TO SCALE	&	AND
N&D	NAIL & DISC	#	NUMBER
N.A.V.D.	NORTH AMERICAN VERTICAL DATUM	U.P.	UTILITY POLE
N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM	M.W.	MONITORING WELL
O.R.B.	OFFICIAL RECORDS BOOK	C	CLEANOUT
W	WATER METER	CONC.	CONCRETE
W.V.	WATER VALVE	PLAN	PLANTER
		COV.	COVERED

NOTES:
 1. LEGAL DESCRIPTION PROVIDE BY CLIENT.
 2. SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PROVIDED BY CLIENT AND SHOWN HEREON.
 3. NO SUBSURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY
 4. ALL ANGLES OR BEARINGS AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED
 5. SOME FEATURES MAY NOT BE AT SCALE IN ORDER TO SHOW DETAIL.
 6. THE BEARINGS SHOWN HEREON ARE BASED UPON THE SOUTH LINE, HAVING A BEARING OF N89°34'04"W.

ORIGINAL FIELD WORK FOR LOTS 5 & 6 COMPLETED BY TARGET SURVEYING, LLC. SURVEY # 615169 DATED: 12-20-2023

DATE OF FIELD WORK: 07-01-2024
 DATE OF MAP: 07-10-2024
 REVISIONS:
 1. ADDED LOCATION OF F.F. EL.: 10/11/2025
 2. LOCATE SIDEWALK: 10/22/2025
 3. ADD TREE NOTE: 03/11/2026

Project C-19407 Sheet 1 of 1
 Date 07-10-2024
 Scale 1"=25'

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 8, 9, & 20 OF TABLE A THEREOF.

SURVEYORS CERTIFICATE
 I HEREBY CERTIFY THAT THIS SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL, OR A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED)
 KENNETH J. OSBORNE
 PROFESSIONAL SURVEYOR & MAPPER #6415

COMPASS SURVEYING
 WWW.COMPASSSURVEYING.NET
 6250 N. MILITARY TRAIL SUITE 102
 WEST PALM BEACH, FL 33407
 PHONE: 561.640.4800
 FAX: 561.640.0576
 LB #7463

CONSTRUCTION SITE PLAN FOR: WHITEHURST DEVELOPMENT

SECTION 21, TOWNSHIP 29 SOUTH, RANGE 15 EAST
PINELLAS COUNTY, FLORIDA

Prepared For:

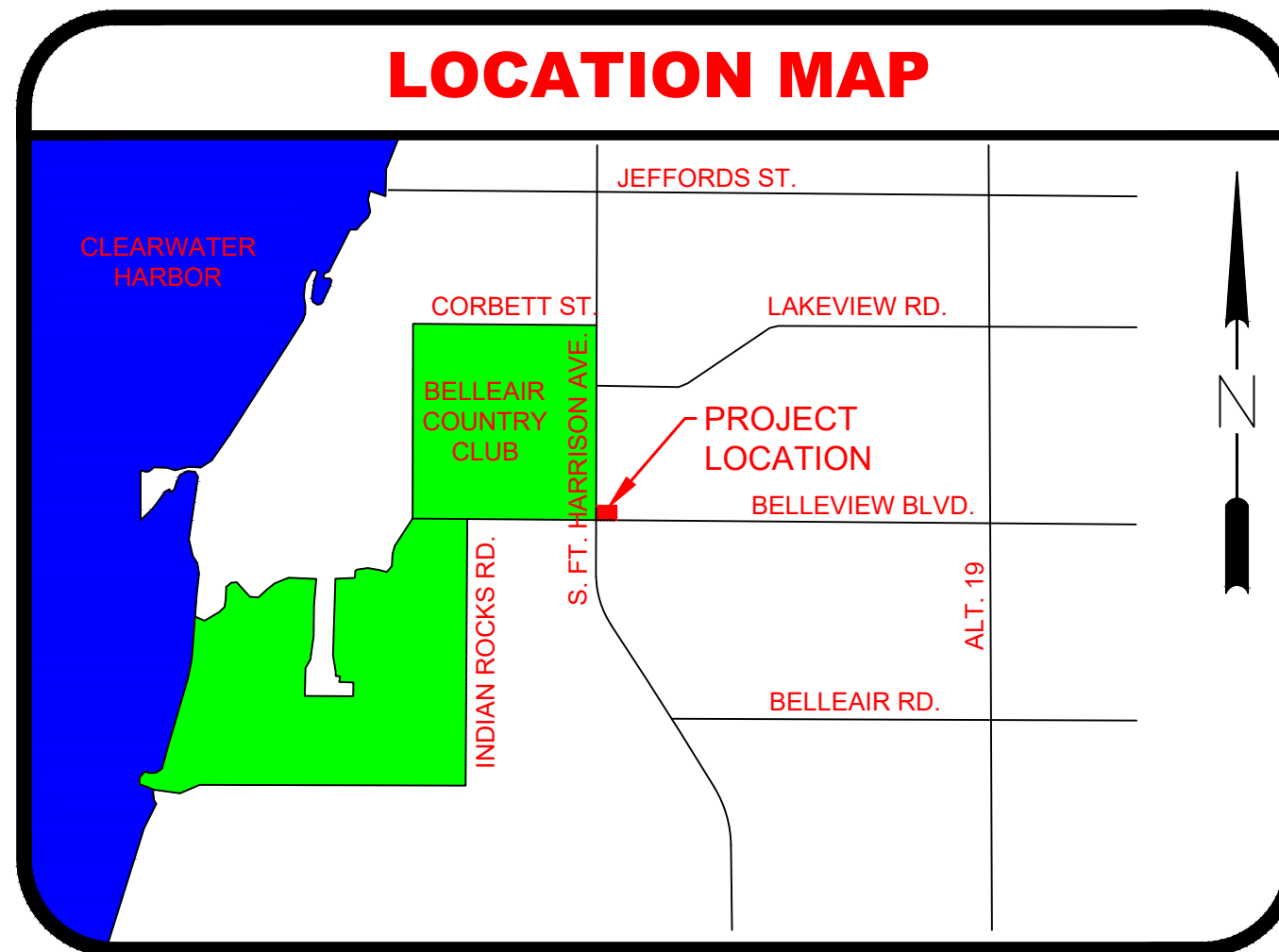
WHITEHURST & CO, LLC

550 E. LAKE DRIVE
TARPON SPRINGS, FL 34688
Ph. (727) 934-2171

Prepared By:



LMA
Landon, Moree & Associates, Inc.
Civil & Environmental Engineers - Planners - Surveyors
31622 U.S. 19 NORTH PALM HARBOR, FLORIDA 34684
Phone: (727)789-5010, Fax: (727)787-4394, Toll Free: 1-800-262-7960
WWW.LMAENGR.COM
EB #4096



LEGAL DESCRIPTION
LOTS 1, 2, 3, 4, 5, 6, 7, AND 8, BLOCK C, BELLEVUE COURT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 43 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

PLAN INDEX

- COVER SHEET
- AERIAL OVERLAY
- GENERAL NOTES
- EXISTING CONDITIONS & DEMOLITION PLAN
- EROSION CONTROL PLAN
- SITE PLAN
- PAVING, GRADING & DRAINAGE PLAN
- UTILITY PLAN
- DETAILS
- DETAILS
- LANDSCAPE & IRRIGATION PLAN (BY OTHERS)

SITE DATA

PARCEL ID #S: 21-29-15-07362-003-0050 & 0030 & 0020 & 0010 & 0070 & 0080
PARCEL ADDRESSES: 1425 & 1429 & 1433 & 1447 S. FT. HARRISON AVE, CLEARWATER, FL 33756
514 BELLEVUE BLVD., CLEARWATER, FL 33756

ZONING: C (COMMERCIAL) & MDR (MEDIUM DENSITY RESIDENTIAL)
FUTURE LAND USE: CG (COMMERCIAL GENERAL) & RU (RESIDENTIAL URBAN)

GROSS SITE AREA: 53,025 SF (1.22 ACRES)
C / CG SITE AREA: 37,354 SF (0.86 ACRES)
MDR / RU SITE AREA: 15,671 SF (0.36 ACRES)

ALLOWABLE BUILDING HEIGHT: 50 FT
EXISTING BUILDING HEIGHTS: VARIABLE (ALL UNDER 50 FT)

PROPOSED BUILDING AREA:	PROPOSED F.A.R.:	PROPOSED I.S.R.:
TOTAL - 11,867 SF	TOTAL - 0.22	TOTAL - 0.63
CG - 11,867 SF	CG - 0.31	CG - 0.70
RU - 0 SF	RU - 0.00	RU - 0.46

BUILDING SETBACKS: EXISTING SETBACKS TO REMAIN AS NO NEW BUILDINGS ARE PROPOSED

EXISTING CONDITIONS:

	TOTAL SITE (53,025 SF):	RU (15,671 SF):	CG (37,354 SF):
BUILDING AREA	10,790 SF (20.3%)	967 SF (6.2%)	9,823 SF (26.3%)
TOTAL IMPERVIOUS AREA:	34,202 SF (64.5%)	7,481 SF (47.7%)	26,721 SF (71.5%)
TOTAL OPEN SPACE:	18,823 SF (35.5%)	8,190 SF (52.3%)	10,633 SF (28.5%)
TOTAL VEHICULAR USE AREA:	19,340 SF SF (36.4%)	6,073 SF (38.8%)	13,267 SF (35.5%)

PROPOSED CONDITIONS:

	TOTAL SITE (53,025 SF):	RU (15,671 SF):	CG (37,354 SF):
BUILDING COVERAGE AREA	9,999 SF (18.9%)	0 SF (0%)	9,999 SF (26.8%)
TOTAL IMPERVIOUS AREA:	33,480 SF (63.1%)	7,265 SF (46.4%)	26,215 SF (70.2%)
TOTAL OPEN SPACE:	19,545 SF (36.9%)	8,406 SF (53.6%)	11,139 SF (29.8%)
TOTAL VEHICULAR USE AREA:	19,449 SF (36.7%)	7,072 SF (45.1%)	12,377 SF (33.1%)

PARKING REQUIREMENTS:

THE NEW PARKING LOT IS FOR 1433 & 1447 S. FT. HARRISON AVE AND CALCULATIONS FOR THESE BUILDINGS ONLY ARE AS FOLLOWS:
1433 (2 BUILDINGS)
OFFICE AREA = 4,358 SF RETAIL PLAZA AREA = 1,620 SF
1447 (1 BUILDING)
RETAIL PLAZA AREA = 2,587 SF VAULT AREA = 228 SF (NOT INCLUDED IN PARKING CALCULATION SINCE THIS IS STORAGE)

3 SPACES / 1,000 SF OF OFFICE AREA @ 4,358 SF = 13 SPACES REQUIRED
4 SPACES / 1,000 SF OF RETAIL PLAZA AREA @ 4,207 SF = 17 SPACES REQUIRED
TOTAL SPACES REQUIRED = 30
TOTAL SPACES PROVIDED = 31 (INCLUDES 2 HANDICAP)

THE EXISTING NORTHERN PARKING LOT THAT SERVES THE TWO BUILDINGS AT 1425 & 1429 S. FT. HARRISON AVE AND CALCULATIONS FOR THESE BUILDINGS ONLY ARE AS FOLLOWS:
1425 (1 BUILDING)
RETAIL PLAZA AREA = 1,533 SF
1429 (1 BUILDING)
LIGHT ASSEMBLY AREA = 1,541 SF

4 SPACES / 1,000 SF OF RETAIL PLAZA AREA @ 1,533 SF = 6 SPACES REQUIRED
4 SPACES / 1,000 SF OF LIGHT ASSEMBLY AREA @ 1,541 SF = 6 SPACES REQUIRED
TOTAL SPACES REQUIRED = 12
TOTAL SPACES PROVIDED = 12 (INCLUDES 1 HANDICAP)

UTILITIES:

WATER: CITY OF CLEARWATER
SEWER: CITY OF CLEARWATER
POWER: DUKE ENERGY

FLOOD ZONE:

THIS PROPERTY LIES WITHIN FLOOD ZONE "X" AS DEPICTED ON FEMA FLOOD INSURANCE RATE MAP: 12103C 0108J, EFFECTIVE AUGUST 24, 2021

PROJECT TEAM

	CONTACT	PHONE NUMBER	E-MAIL
CIVIL ENGINEERING LANDON, MOREE & ASSOC., INC.	ERIK MADSEN	(727) 789-5010	MADSEN@LMAENGR.COM
SURVEY COMPASS SURVEYING	MARISOL VELAZQUEZ	(800) 226-4807	FILEMANAGER@COMPASSSURVEYING.NET
ARCHITECT BARRY P. ULLMANN, INC.	LARRY DAUM	(727) 441-4405	LDAUM15@AOL.COM
GEOTECH MADRID CFTL	CHRIS STOLZE	(727) 572-9797	CSTOLZE@CFTLINC.COM
LANDSCAPE ARCHITECT TERRA TECTONICS DESIGN GROUP	BIRGIT KIBELKA	(727) 441-4504	BKIBELKA@TERRATECTONICS.COM
ARBORIST ALAN MAYBERRY TREE CONSULTING	ALAN MAYBERRY	(727) 735-5521	AMAYBERRY@TAMPABAY.RR.COM

PERMITS

PERMIT TYPE	NUMBER	APPROVED
CITY OF CLEARWATER FLEXIBLE STANDARD APP.		
CITY OF CLEARWATER CONSTRUCTION PLAN		
SWFWM ERP EXEMPTION		

REVISIONS

REVISION DATE	COMMENTS
3-12-2026	REVISED PER CITY DRC COMMENTS
4-4-2026	REVISED JEWELRY STORE BUILDING PER OWNER AND ARCHITECT CHANGES
4-20-2026	REVISED JEWELRY STORE BLDG W/ ADDED DIMENSIONS ALONG BELLEVUE PER CITY
5-7-2026	REVISED PER CITY DRC COMMENTS
5-18-2026	REVISED PER CITY COMMENTS

UTILITY WARNING NOTE

ABOVE-GROUND OR UNDER-GROUND UTILITIES MAY BE IN THE AREA OF THIS PROJECT - PROCEED WITH CAUTION. CALL "SUNSHINE STATE ONE CALL" (1-800-432-4770) AND THE UTILITY OWNER(S) BEFORE BEGINNING WORK. PROVIDE OWNER WITH CODE NUMBER OF PROJECT.

TREE BARRICADES & EROSION CONTROL MEASURES NOTE

REQUIRED TREE BARRICADES AND EROSION CONTROL MEASURES MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. ENCROACHMENT INTO OR FAILURE TO MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS AND/OR PERMIT REVOCATION AS PROVIDED BY THE CITY OF CLEARWATER LAND DEVELOPMENT CODE.

NOTE TO CONTRACTOR/OWNER

CONSTRUCTION IS NOT AUTHORIZED UNTIL PLANS HAVE BEEN ISSUED BY LANDON, MOREE & ASSOCIATES, INC. STAMPED "ISSUED FOR CONSTRUCTION". ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET FORTH IN THE CITY OF CLEARWATER LAND DEVELOPMENT, ZONING, AND/OR RELATED ORDINANCES AND SPECIFICATIONS AS APPLICABLE.



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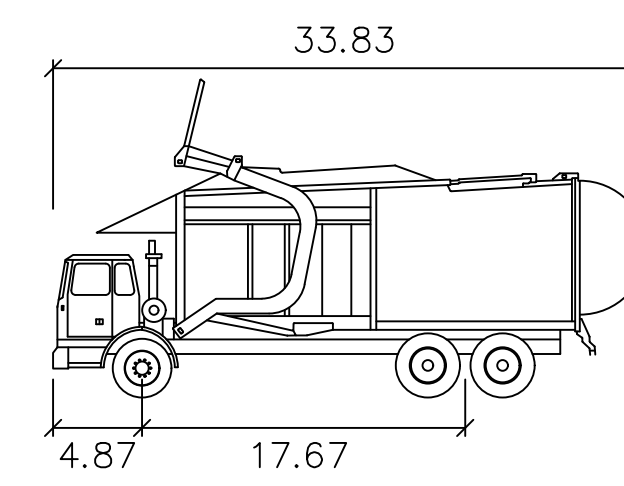
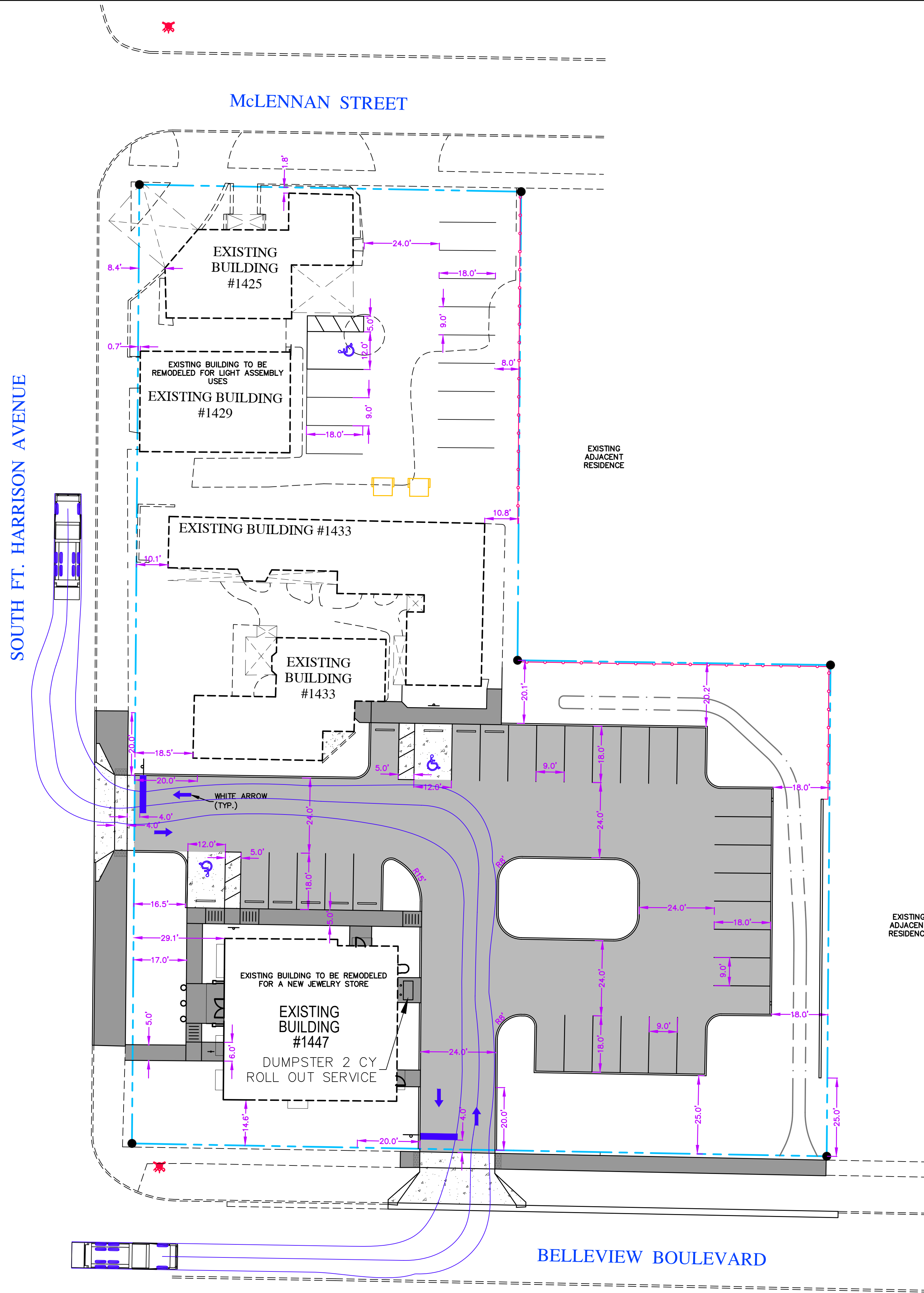
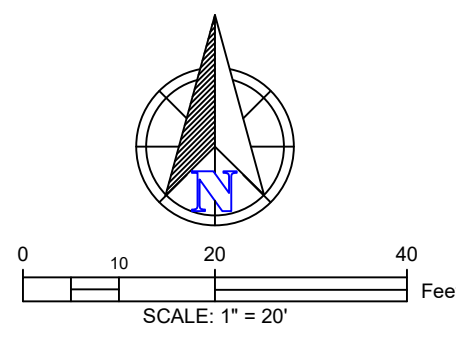
DATUM NOTE:
NOTE: ALL ELEVATIONS ARE IN NAVD 1988 DATUM. REFER TO SURVEY.

Erik Madsen
State of Florida, Professional Engineer, License No. 58102

Digitally signed by Erik Madsen
DN: c=US, o=LANDON MOREE AND ASSOCIATES INC., dnQualifier=A01410C0000019519AC30680076AFB, cn=Erik Madsen
Date: 2026.05.18 19:30:57 -0400

This item has been digitally signed and sealed by Erik Madsen, P.E. on the date indicated here.
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DECEMBER, 2025
JOB# 832-01



Wayne Titan

feet

Width : 8.46
 Track : 8.00
 Lock to Lock Time : 6.0
 Steering Angle : 45.0

Erik Madsen

Digitally signed by Erik Madsen
 DN: cn=US, o=LONDON MORE AND ASSOCIATES INC., dnQualifier=A01410C000019519AC306800076AF5, cn=Erik Madsen
 Date: 2026.04.07 18:04:38 -0400

Design:	ELM Scale:	1"=20'
Drawn:	ELM	Date:
Checked:	JCL	Job No.:
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WHITEHURST DEVELOPMENT
GARBAGE TRUCK ROUTING PLAN

WHITEHURST & CO, LLC
 550 E. LAKE DRIVE
 TARPON SPRINGS, FL 34688

EB #4096

LMA
 Landon, Moree & Associates, Inc.
 Civil & Environmental Engineers - Planners - Surveyors
 31622 U.S. 49 NORTH, PALM HARBOR, FLORIDA, 34684
 Phone: (727) 98-5010, Fax: (727) 97-4394
 Toll Free: 1-800-282-7980, WWW.LMAENGR.COM

Erik Madsen
 State of Florida, Professional Engineer, License No. 58102

This item has been digitally signed and sealed by Erik Madsen, P.E. on the date indicated here.

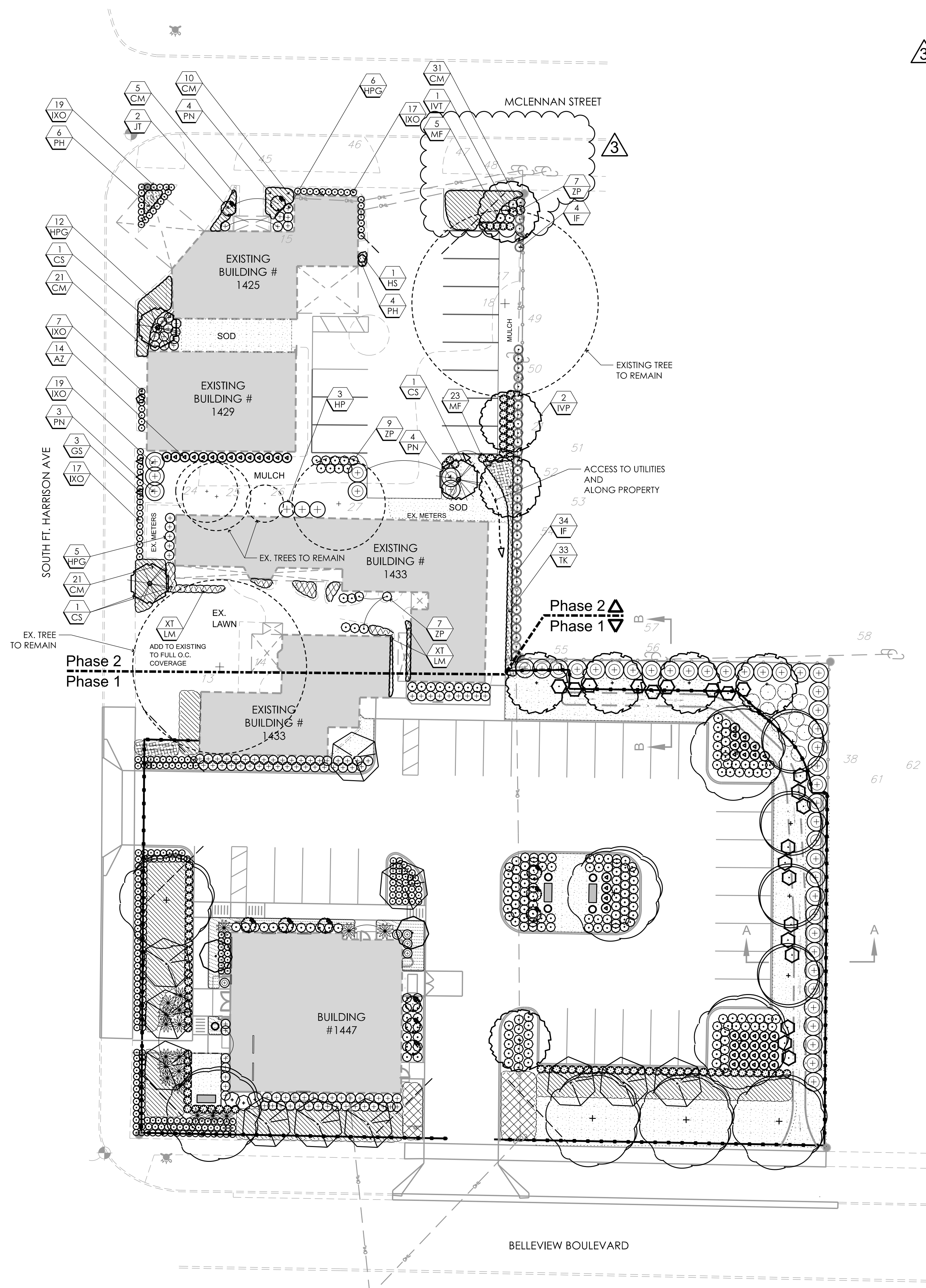
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LANDSCAPE PLANT SCHEDULE - Phase 2

ALL PLANT MATERIALS SHALL BE GRADED AS 'FLORIDA No.1' UNDER THE FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS 2022.

Quantity	Symbol	Common Name	Botanical Name	Container Size	Minimum Rootball Size	Minimum Caliper	Minimum Specific Size Requirements
Trees							
3	IVP	Yaupon Holly	ILEX vomitoria	25 GALLON	24"	2"	8' HT X 36" CROWN SPREAD,
2	JJ	Jatropha	JATROPHA integerrima	45 GALLON	32"	2"	8' HT X 36" CROWN SPREAD
3	CS	Orange Geiger Tree	CORDIA sebestena	25 GALLON	24"	2"	8' HT X 36" CROWN SPREAD
8	Total trees planted on-site						
Shrubs							
14	AZ	Variegated Ginger	ALPINIA zerumbet 'Variegata'	7 GALLON	36"	24"	24" ht x 24" spr. Full
88	CM	Green Carpet Natal Plum	CARISSA macrocarpa 'Green Carpet'	3 GALLON	30"	12"	12" ht x 14" spr. full
3	HP	Firebush	HAMELIA patens	3 GALLON	30"	30"	30" ht x 24" spr. full
23	HPG	Dwarf Firebush	HAMELIA patens var. glabra	3 GALLON	30"	24"	24" ht x 24" spr. full
1	HS	Jazzy Jewel® Opal Hibiscus	Hibiscus rosa-sinensis 'AH-51' PPAF	7 GALLON		5'	5' ht x 24" spr., Standard
79	IXO	DW Orange Ixora	IXORA taiwanensis 'Orange'	3 GALLON	24"	8"	8" ht x 8" spr. full
38	IF	Florida Anise	ILLICIAM floridanum	3 GALLON	36"	36"	36" ht x 18" spr. full
28	MF	Simpson stopper	MYRCIANTHES fragrans	3 GALLON	30"	18"	18" ht x 12" spr. full
7	PN	Wild Coffee	PSYCHOTRIA nervosa	7 GALLON	48"	24"	24" ht x 18" spread
TBD**	XT	Ti Plant	CORDYLINE terminalis	3 GALLON	30"	24"	24" ht x 12" spread
23	ZP	Coontie	ZAMIA pumila	7 GALLON	30"	16"	16" ht x 14" spr. full
Groundcover / Vines							
10	PH	New Zealand Flax	PHORMIUM 'Amazing Red'	3 GALLON	24"	12"	12" ht. x 8" spr.
3	GS	Yellow Jessamine	GELSEMIUM sempervirens	1 GALLON	per plan	24"	24" ht x 12" spr., min 4 runners
TBD**	LM	Big Blue Liriope	LIRIOPE muscari 'Big Blue'	1 GALLON	18"	12"	12" ht x 8" spr.
33	TK	Southern Shield Fern	THELYPTERIS kunthii	1 GALLON	24"	18"	18" ht x 12" spr.
Sod							
	SOD	Icon Zoysia	ZOYSIA macrantha 'MAC03**				free of weeds
Total Site Irrigation:							
800	SF +/-	Turf Irrigation*					
2,400	SF +/-	Shrub Irrigation*					
	LF +/-	Loop Main*	2" pvc sch 40 with sleeves under pavement as shown				
	EA	1" POTABLE WATER METER	- use for irrigation - contractor to include Backflow preventer and shut off valve				
Miscellaneous Plant Materials And Site Work:							
20	CY	Pine Bark Mulch					
7	CY	Top Soil					
1	Bags	Pre-Emergent Herbicide	20 lbs for plant beds				EA
1	Bags	Fertilizer: 6-6-6	for sod - do not fertilize in the first 30 days after installation				50 lb. bag
1	Bags	Fertilizer: 16-4-8					50 lb. bag

* CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUFFICIENT QUANTITIES FOR COMPLETE INSTALLATION. ACTUAL AMOUNTS MAY VARY FROM AMOUNTS INDICATED.
 ** PROVIDE QUANTITY AS NEEDED TO FILL EXISTING PLANTINGS TO SPECIFIED ON CENTER SPACING.

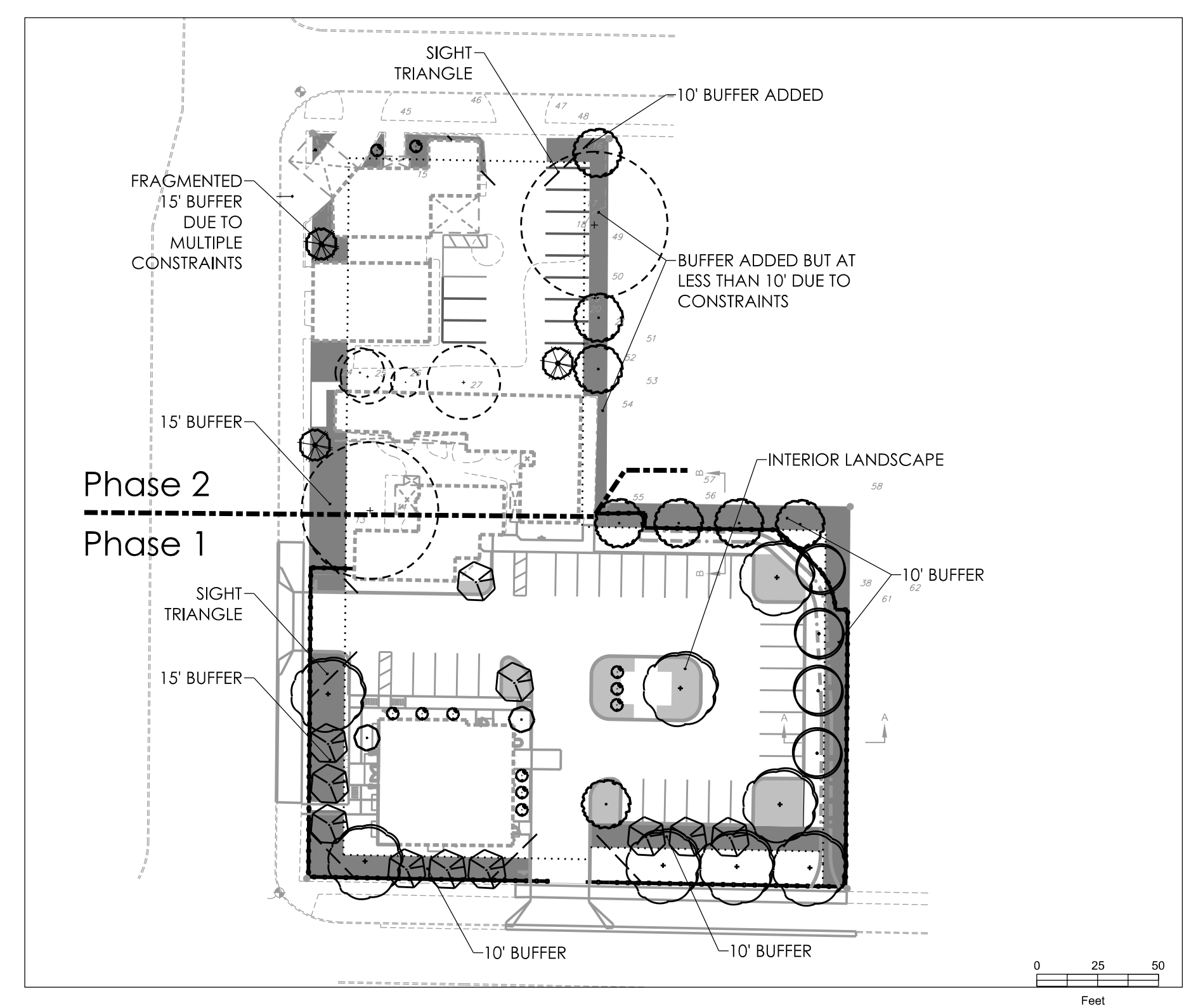


3

SIGHT TRIANGLE NOTE
 Within Sight Visibility Triangles, unobstructed sight lines and cross visibility shall be maintained between a height of 30 inches and 8 Feet above grade. No structure, object, and/or vegetation shall be placed and/or maintained in a manner which impedes the visibility from a street, alley or driveway of oncoming traffic from any direction in the intersecting public street.

3

INTERIOR LANDSCAPE, BUFFERS AND TREES - Phases 1 and 2



TERRA TECTONICS
 design group international, inc.
 LANDSCAPE ARCHITECTS
 LAND PLANNERS
 URBAN DESIGNERS

1188 Kapp Drive
 Clearwater, FL 33765
 Fl. Reg. Lic. # 254
 727-441-4504 ph.

LANDSCAPE CONSTRUCTION DOCUMENTS
WHITEHURST DEVELOPMENT
 CLEARWATER, FLORIDA

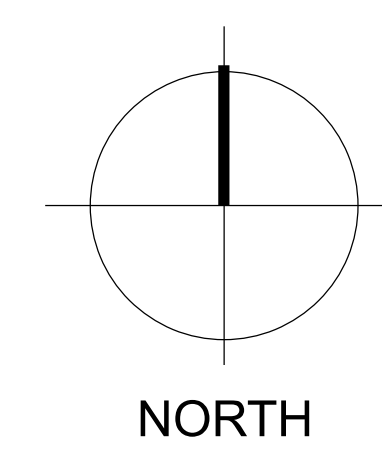
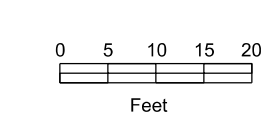
SEAL

BIRGIT KIBELKA FL LA2035

Date: 3-12-2026
 Scale: 1" = 20'
 Revision:
 No. Date Description:
 3 5/04/2026 Revised per city comments

Job No. 25-1046

811 Know what's below.
 Call before you dig.



PLANTING PLAN - Phase 2

Sheet **L1.2**
 Of 6 Sheets

Drawn by: BK Checked by: JT

IRRIGATION LEGEND

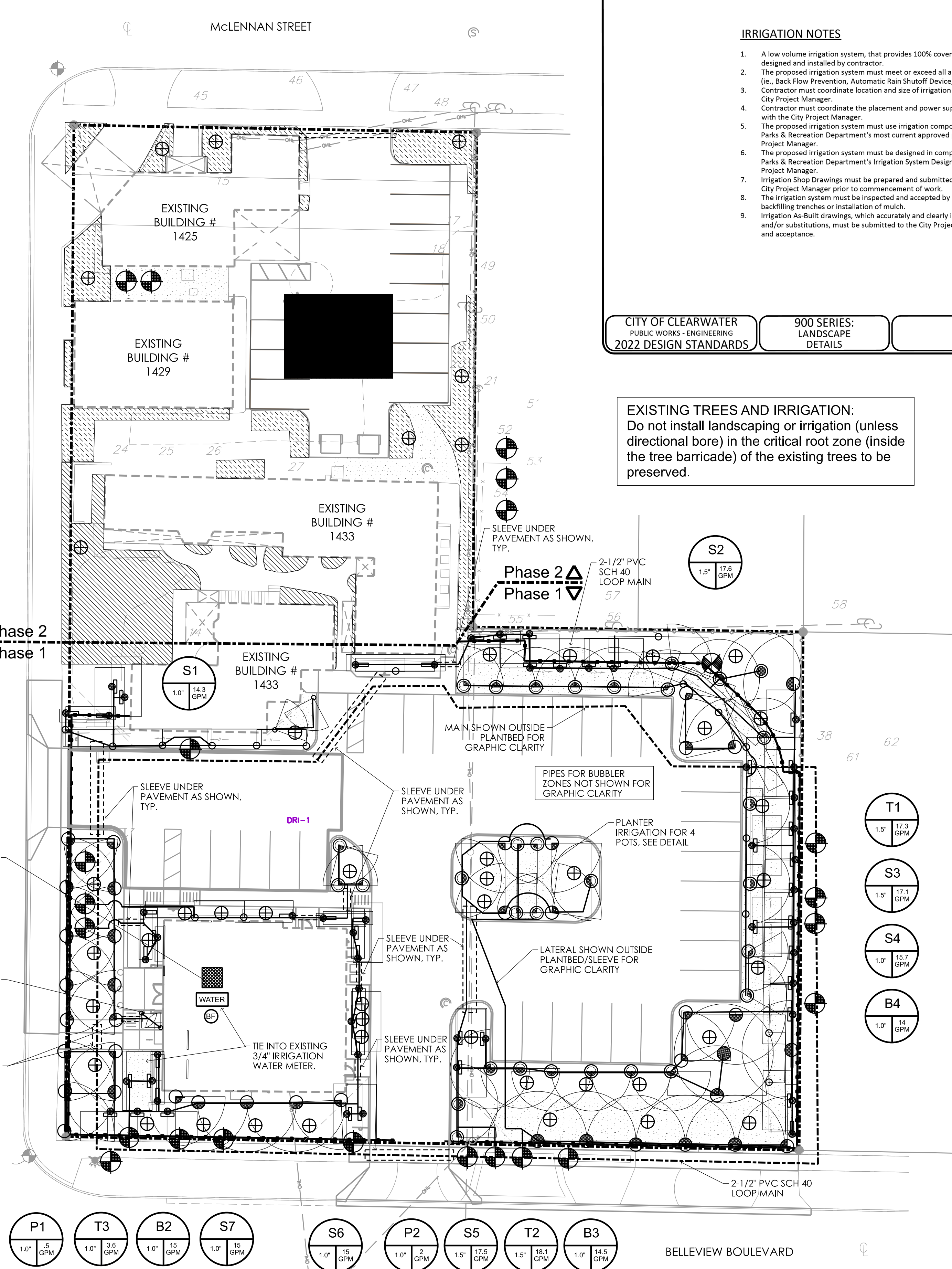
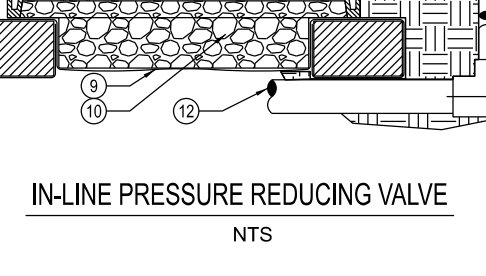
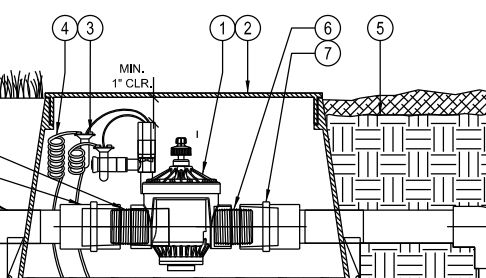
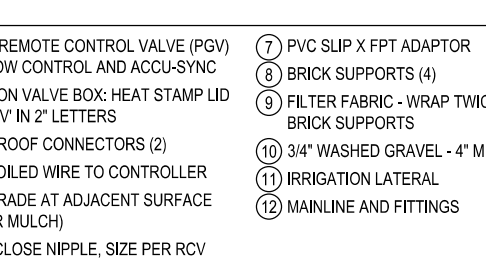
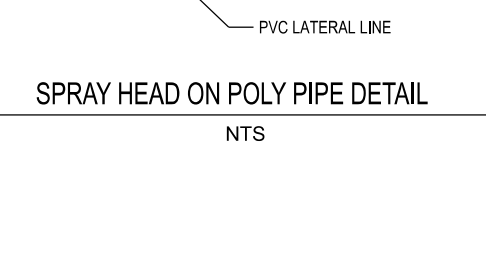
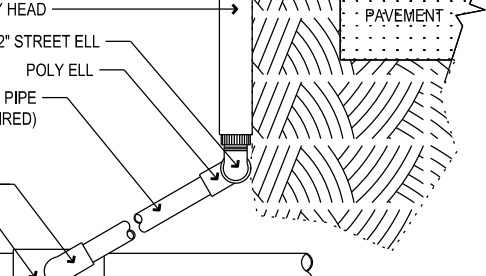
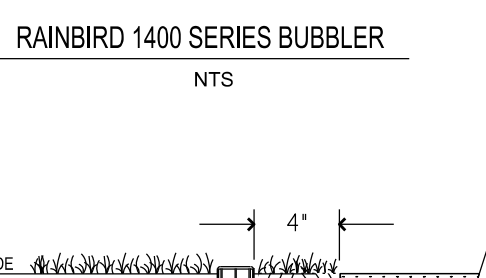
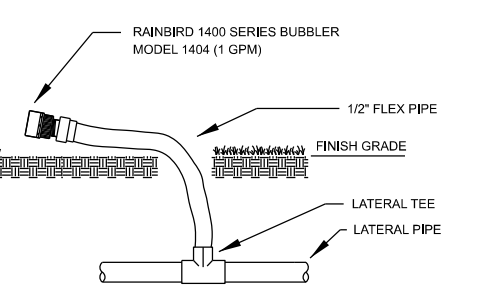
- Controller HUNTER PRO-C 18-Station Controller
Provide a HUNTER SOLAR SYNC Controller and a HUNTER wireless RAIN SWITCH & BYPASS SWITCH for automatic rain shutoff.
Provide HUNTER ROAM irrigation controller remote control.
Install per manufacturer's recommendations. General Contractor to provide 117V AC POWER SUPPLY DISCONNECT to controller location.
Coordinate location with owner's construction representative - may be mounted inside of mechanical room, or mounted on wall outside near well.
- REMOTE CONTROL VALVES: HUNTER PGM, 3/4", 1" OR 1-1/2" WITH ACU-SYNCH PRESSURE REGULATOR ADJUSTED TO MINIMIZE MISTING. ALL VALVES SHALL BE INSTALLED IN AMETEK VP-10 VALVE BOXES WITH MATCHING COVERS. PLACE VALVE BOX ON BRICKS AND INSTALL ONE CUBIC FOOT OF PEA GRAVEL AT BASE OF VALVE FOR DRAINAGE. LOCATE VALVES MIN 2' FROM ALL SIDEWALK EDGES OR BUILDING EDGES. VALVE BOXES SHALL BE MOUNTED FLUSH WITH FINAL GRADE. USE PURPLE VALVES DUE TO RECLAIMED WATER.
- SPRAY SPRINKLERS: HUNTER PRO-SPRAY SERIES SPRINKLERS. REFER TO NOZZLE SELECTION CHART AS A GUIDE FOR PROPER NOZZLE PATTERN PER FIELD REQUIREMENTS. NOZZLE SELECTIONS SHOWN ON PLANS ARE TO BE USED AS A GUIDE ONLY. INSTALL BODY TYPES AS FOLLOWS:
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- LARGE AREA TURF ROTORS - HUNTER 125 AND HUNTER 140 INSTALL WITH FLEX PIPE - SEE DETAILS
- TREE BUBBLERS: HUNTER PRO-SPRAY WITH MSBN NOZZLE - 0.5 GPM INSTALL AT PERIMETER OF ROOTBALL. PIPING NOT SHOWN ON PLAN FOR CLARITY
- INDICATES PVC SCH 40 SIZED PIPE. SIZES LARGER (INSIDE DIAMETER) THAN LATERAL LINE "WET PIPE" INDICATED ON PLAN.
- SCH 40 PVC MAINLINE, LOCATE IN PLANTING AREAS NOT UNDER PAVEMENT EXCEPT IN SLEEVES, AS SHOWN ON PLAN
- INDICATES PVC LATERAL LINE: ALL PIPING SHALL BE PVC SCH 40 - INSTALLED WITH PURPLE PRIMER
- P.O.C.: LANDSCAPE CONTRACTOR TO PROVIDE 1" RECLAIMED WATER METER W/ 1-1/2" BALL VALVE AS REQUIRED BY LOCAL ORDINANCE. IRRIGATION CONTRACTOR TO VERIFY THAT PSI AND GPM OF METER ARE ADEQUATE FOR SYSTEM. CONTACT LANDSCAPE ARCHITECT IF THERE IS A DISCREPANCY BETWEEN THE PLAN AND SYSTEM AS INSTALLED. IRRIGATION CONTRACTOR TO PROVIDE ENTIRE SYSTEM DOWNSTREAM OF METER, INCLUDING BALL VALVE SHUT-OFF.
- ZONE #
- VALVE SIZE
- GPM
- NOTE: ALL MAINLINE AND LATERAL LINES SHALL BE INSTALLED IN PLANTING AREAS AND SLEEVED UNDER PAVING AREAS AND ARE ONLY DIAGRAMMATICALLY LOCATED ON THIS PLAN.
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NOZZLE SELECTION CHART FOR SPRINKLERS

SYMBOL	SPEC/NOZZLE	PSI	GPM	RADIUS	PATTERN
SHRUB SPRAYS & BUBBLER HEADS	15A	30	4	15'	ULL
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	15C	30	2.6	15'	TWO THIRD
	15D	30	2	15'	HALF
	15E	30	1.4	15'	ONE THIRD
	15F	30	1	15'	QUARTER
	15G	30	0.8	15'	END STRIP
	15H	30	1.2	4 x 30'	CENTER STRIP
	15I	30	1.2	9 x 18'	SIDE STRIP
	15J	30	1.45	4 x 30'	SIDE STRIP
TURF ROTORS	AA	40	3.1	32'	ADJ. FULL
	BB	40	3.9	34'	ADJ. FULL
	CC	40	5	37'	ADJ. FULL
	DD	40	3.8	40'	ADJ. FULL
	EE	40	6.6	45'	ADJ. FULL
	FF	40	7.7	47'	ADJ. FULL
	GG	50	8	46'	ADJ. FULL
	HH	50	10.2	50'	ADJ. FULL
	II	50	14.2	58'	ADJ. FULL
	JJ	40	6.5	50'	ADJ. FULL
KK	40	10	56'	ADJ. FULL	
LL	40	15	59'	ADJ. FULL	

TREE BUBBLER NOTES:

- LARGER TREES REQUIRE MULTIPLE BUBBLERS USE THE FOLLOWING CHART TO DETERMINE THE NUMBER OF BUBBLERS. BUBBLER SIZES INDICATED IN LEGEND ABOVE.
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CITY OF CLEARWATER PUBLIC WORKS - ENGINEERING 2022 DESIGN STANDARDS

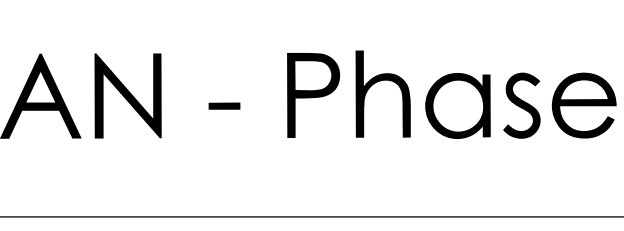
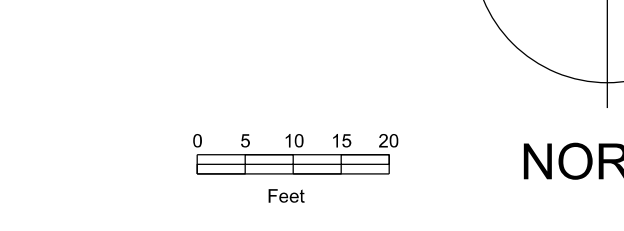
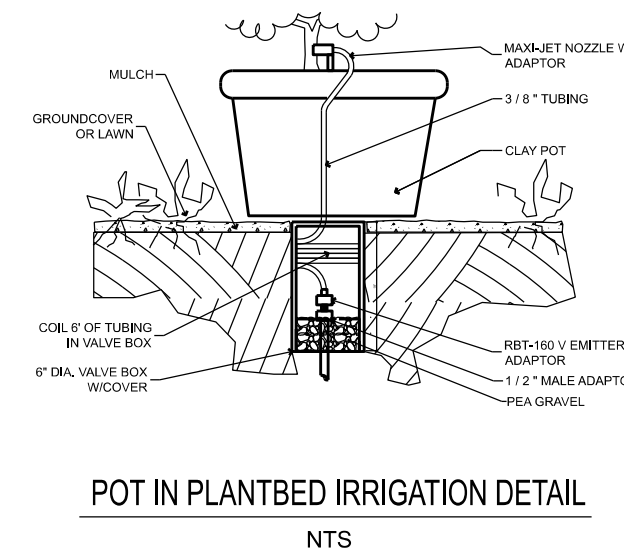
900 SERIES: LANDSCAPE DETAILS

IRRIGATION NOTES

INDEX NO. 906 2 OF 3

DATE REVISION 2/22/2016

EXISTING TREES AND IRRIGATION:
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LANDSCAPE ARCHITECTS
LAND PLANNERS
URBAN DESIGNERS

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Clearwater, FL 33765
FL Reg. Lic. # 254
727-441-4504 ph.

LANDSCAPE CONSTRUCTION DOCUMENTS

WHITEHURST DEVELOPMENT
CLEARWATER, FLORIDA

SEAL

BIRGIT KIBELKA
FL REG. No. 2095
STATE OF FLORIDA
LANDSCAPE ARCHITECT

BIRGIT KIBELKA FL LA2035

Date: 1-16-2026
Scale: 1" = 20'

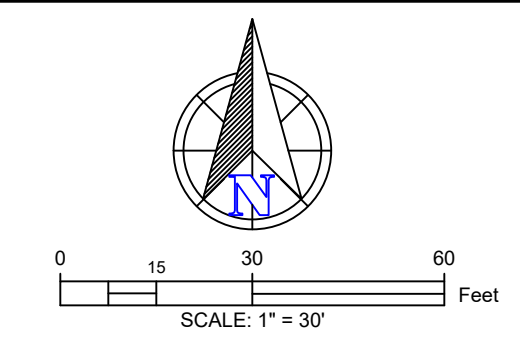
Revision:
No. Date Description:
1 3/12/2026 Revised per city comments
2 4/06/2026 Revised per building change

Job No. 25-1046

Drawn by: BK Checked by: JT

Sheet
L2
Of 6 Sheets

IRRIGATION PLAN - Phase 1



FDOT AERIAL NOTE
 1. THE AERIAL SHOWN IS AN FDOT ORTHORECTIFIED 2024 AERIAL.

Design:	ELM Scale:	1"=30'
Drawn:	ELM Date:	12-22-2025
Checked:	JCL Job No.:	882-01
© COPYRIGHT 2026 Landon, Moore & Associates, Inc. <small>CONSTRUCTION IS NOT AUTHORIZED UNTIL PLANS HAVE BEEN ISSUED BY LONDON, MOREE & ASSOCIATES, INC.'S STAMPED/ISSUED FOR CONSTRUCTION. DO NOT COPY OR REPRODUCE.</small>		

WHITEHURST DEVELOPMENT
AERIAL OVERLAY

WHITEHURST & CO, LLC
 550 E. LAKE DRIVE
 TARPON SPRINGS, FL 34688

EB #4096

LMA
 Landon, Moore & Associates, Inc.
 Civil & Environmental Engineers - Planners - Surveyors
 31629 U.S. 49 NORTH, PALM HARBOR, FLORIDA, 34684
 Phone: (727)787-4010, Fax: (727)787-4394
 Toll Free: 1-800-282-7980, WWW.LMAENGR.COM

Erik Madsen
 State of Florida, Professional Engineer, License No. 58102

This item has been digitally signed and sealed by Erik Madsen, P.E. on the date indicated here.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

IRRIGATION LEGEND

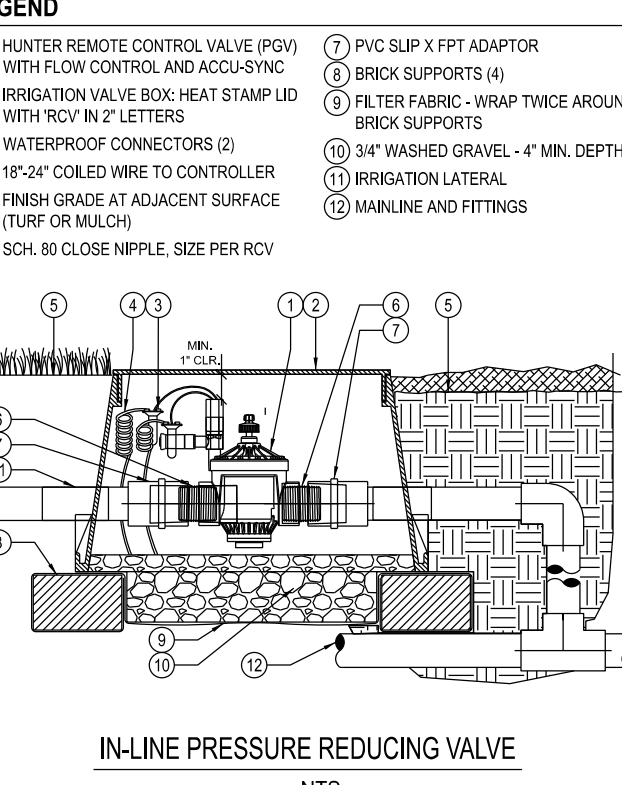
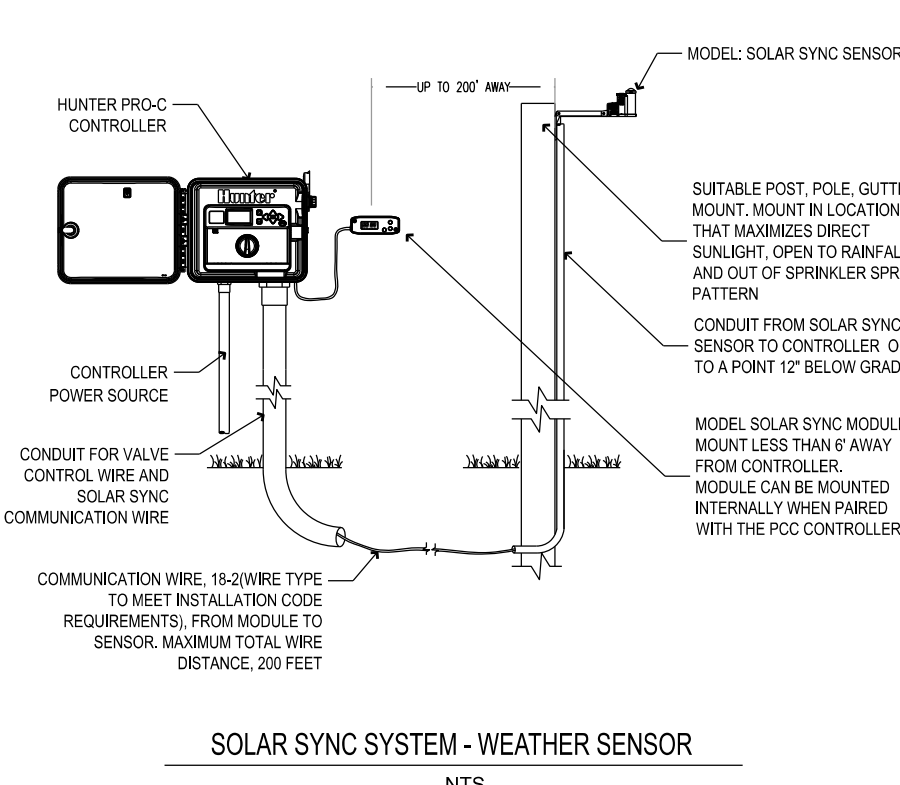
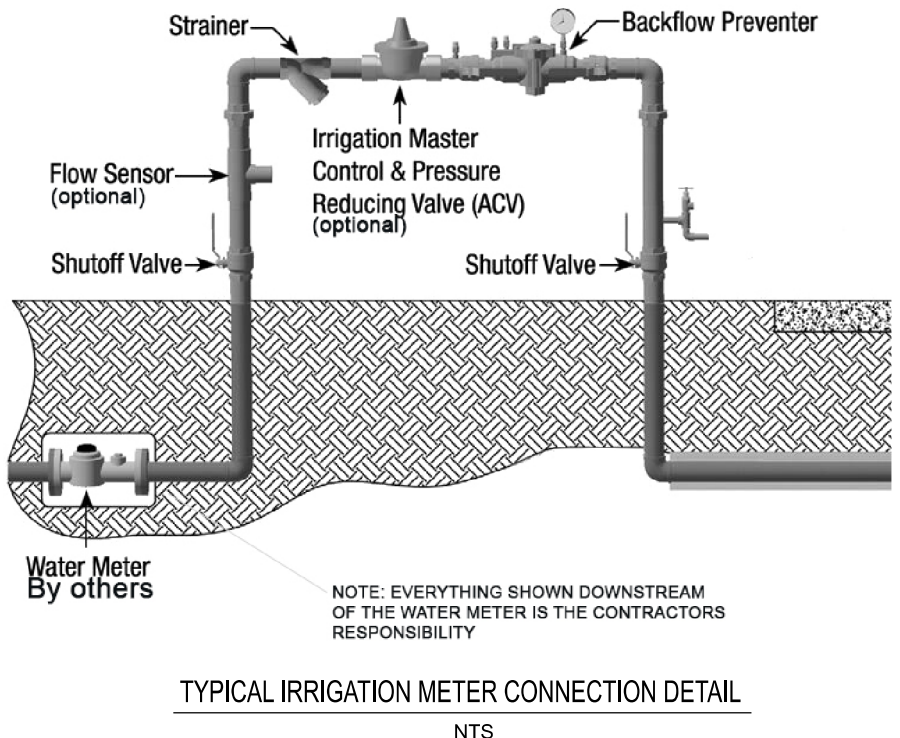
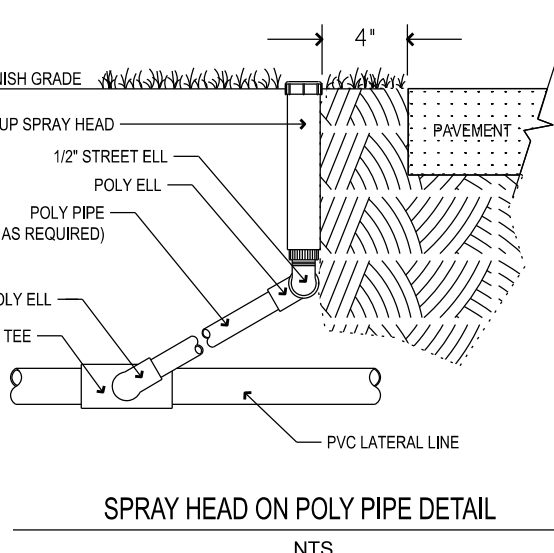
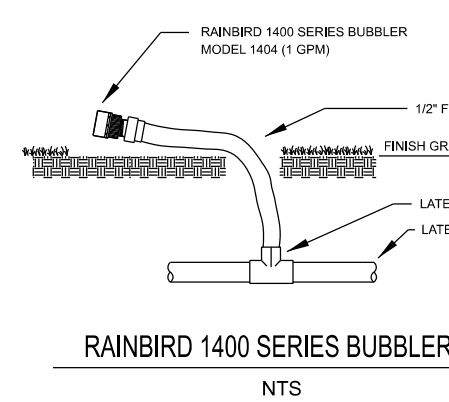
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INSTALL WITH FLEX PIPE. SEE DETAILS.
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	15B	30	2.6	15'	TWO THIRD
	15H	30	2	15'	HALF
	15A	30	1.4	15'	ONE THIRD
	15Q	30	1	15'	QUARTER
	15EST	30	0.8	4' x 15'	END STRIP
	15CST	30	1.2	4' x 30'	CENTER STRIP
	15SST	30	1.2	9' x 15'	SIDE STRIP
	15SST	30	1.45	4' x 30'	SIDE STRIP
TURF ROTORS	12P	30	2.1	12'	FULL
	12A	30	1.5	12'	THREE QUARTER
	12B	30	1.3	12'	TWO THIRD
	12H	30	1.1	12'	HALF
	12A	30	0.9	12'	ONE THIRD
	12Q	30	0.8	12'	QUARTER
	MSBN1W	30	1	1'	FULL STREAM BUBBLER
	MSBN5H	30	0.5	1'	HALF STREAM BUBBLER
	MSBN25Q	30	0.25	1'	QTR. STREAM BUBBLER
	AA	POP-ADJ-LA-7	40	3.1	32"
BB	POP-ADJ-LA-8	40	3.9	34"	ADJ. FULL
CC	POP-ADJ-LA-9	40	5	37"	ADJ. FULL
DD	1-25-ADS-4	40	3.8	40"	ADJ. FULL
EE	1-25-ADS-7	40	6.6	45"	ADJ. FULL
FF	1-25-ADS-8	40	7.7	47"	ADJ. FULL
GG	1-40-ADS-40	50	8	46"	ADJ. FULL
HH	1-40-ADS-41	50	10.2	52"	ADJ. FULL
II	1-40-ADS-43	50	14.2	58"	ADJ. FULL
JJ	1-60-ADS-7	40	6.5	50"	ADJ. FULL
KK	1-60-ADS-13	40	10	56"	ADJ. FULL
LL	1-60-ADS-18	40	15	59"	ADJ. FULL

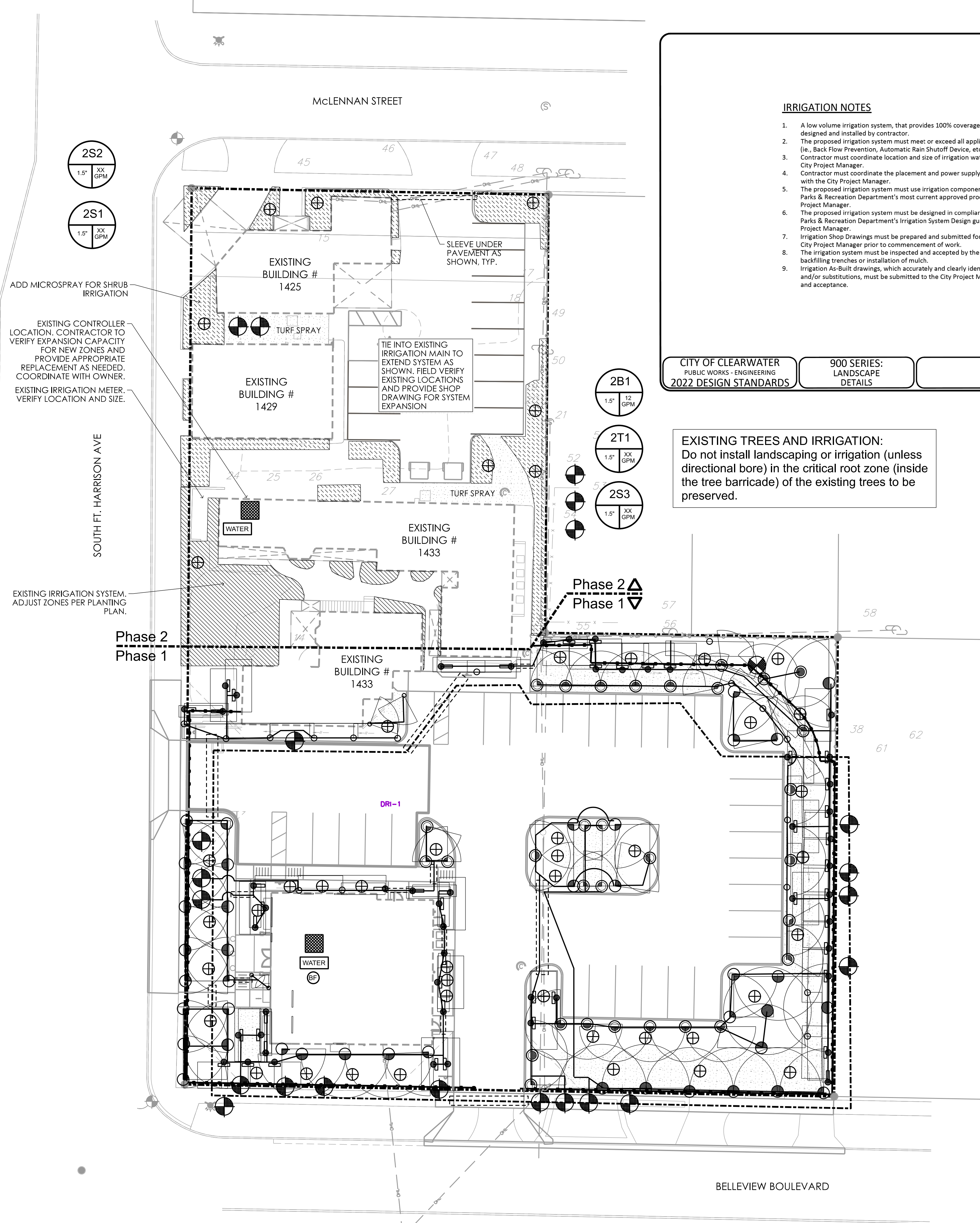
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- LARGER TREES REQUIRE MULTIPLE BUBBLERS USE THE FOLLOWING CHART TO DETERMINE THE NUMBER OF BUBBLERS. BUBBLER SIZES INDICATED IN LEGEND ABOVE.
- | CONTAINER SIZE | BUBBLERS |
|----------------|----------|
| 15 GAL | 1 |
| 25 GAL | 2 |
| 45 GAL | 3 |
| 60 GAL | 4 |
| 80 GAL | 4 |
| PALM | 2 |
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 - BUBBLER PIPING NOT INDICATED IN ALL INSTANCES FOR GRAPHIC CLARITY.



LEGEND

- HUNTER REMOTE CONTROL VALVE (PGV) WITH FLOW CONTROL AND ACU-SYNCH
- IRRIGATION VALVE BOX HEAT STAMPED WITH ROV IN 2" LETTERS
- WATERPROOF CONNECTORS (2)
- 1/2" COILED WIRE TO CONTROLLER
- FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
- SCH 80 CLOSE NIPPLE. SIZE PER ROV
- PVC SLP X FPT ADAPTOR
- BRICK SUPPORTS (4)
- FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
- 3/4" WASHED GRAVEL - 4" MIN. DEPTH
- IRRIGATION LATERAL
- MAINLINE AND FITTINGS



IRRIGATION NOTES

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CITY OF CLEARWATER PUBLIC WORKS - ENGINEERING 2022 DESIGN STANDARDS

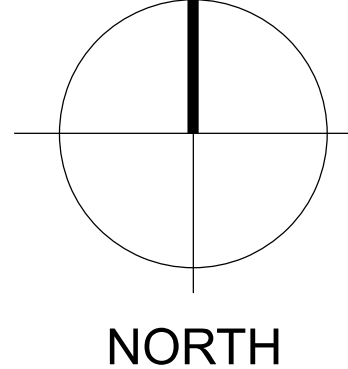
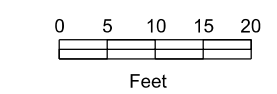
900 SERIES: LANDSCAPE DETAILS

IRRIGATION NOTES

INDEX NO. 906 2 OF 3

DATE: 2/22/2016

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IRRIGATION PLAN - Phase 2

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CLEARWATER, FLORIDA

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Date: 3-12-2026
 Scale: 1" = 20'
 Revision:
 No. Date Description:

Job No. 25-1046
 Drawn by: BK Checked by: JT

CONSTRUCTION TECHNICAL SPECIFICATIONS

- 1. ALL CONSTRUCTION SHALL CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE CITY OF CLEARWATER LAND DEVELOPMENT CODE, ZONING, AND/OR RELATED ORDINANCES AS APPLICABLE.
2. PRIOR TO CONSTRUCTION COMMENCEMENT, THE CONTRACTOR SHALL OBTAIN FROM THE ENGINEER AND/OR DEVELOPER COPIES OF ALL PERTINENT PERMITS AND APPROVALS RELATED TO THIS PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY POST ALL PERMITS ON-SITE AND TO ASSURE ALL CONSTRUCTION ACTIVITIES ARE IN COMPLIANCE WITH THE CONDITIONS OF ALL PERMITS AND APPROVALS
3. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE MINIMUM STANDARDS SET FORTH BY CITY OF CLEARWATER.

CONSTRUCTION NOTES

- 1. ALL ELEVATIONS ARE BASED ON NAVD 88 DATUM. THE CONTRACTOR SHALL OBTAIN A COPY OF THE SURVEY TO VERIFY THIS DATUM AND ALSO FOR DETERMINING BENCHMARK LOCATIONS AND ELEVATIONS.
2. ALL EXISTING INFORMATION AS PROVIDED BY COMPASS SURVEYING, INC.
3. ANY DISCREPANCIES BETWEEN THE ENGINEERING PLANS, ARCHITECTURAL PLANS, OR CITY OF CLEARWATER CODES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION.
4. ALL PRACTICABLE AND NECESSARY EFFORT SHALL BE TAKEN DURING CONSTRUCTION TO CONTROL AND PREVENT EROSION AND TRANSPORT OF SEDIMENT TO SURFACE DRAINS AND TO LAKES AND ALSO TO CONFORM WITH PERMIT CONDITIONS.
5. PLANS ARE NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN FLORIDA.
6. REQUIRED TREE BARRICADES MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. ENCROACHMENT INTO OR FALLING TO MAINTAIN TREE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS AND/OR PERMIT REVOCATION.
7. SILT FENCE TO BE INSTALLED AROUND ALL AREAS OF PROPOSED CONSTRUCTION.
8. THE CONTRACTOR SHALL ADHERE TO THE MINIMUM TESTING FREQUENCY REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION OVER THE PROJECT.
9. THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER FOR ANY TESTING THAT MAY BE REQUIRED INCLUDING, BUT NOT LIMITED TO, MATERIALS TESTING, ASPHALT, BASE AND SUB-BASE TESTING, CONCRETE TESTING, BUILDING PAD TESTING, AND UTILITY TRENCH TESTING. COPIES OF THESE TESTS SHALL BE GIVEN TO THE ENGINEER FOR REVIEW. A FINAL SIGNED AND SEALED REPORT CONTAINING ALL TESTING SHALL BE GIVEN TO THE ENGINEER AFTER ALL TESTING HAS BEEN COMPLETED.
10. THE CONTRACTOR SHALL COORDINATE WITH THE AGENCIES/INSPECTORS HAVING JURISDICTION OVER THE PROJECT TO DETERMINE WHAT INSPECTIONS WILL BE REQUIRED THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL COORDINATE REQUIRED INSPECTIONS WITH THE DEVELOPER AND ENGINEER.
11. THE CONTRACTOR SHALL SAW CUT THE EXISTING EDGE OF PAVEMENT PRIOR TO THE REMOVAL OF ANY CURB OR PAVEMENT AND ALSO PRIOR TO PAVEMENT TIE-IN.
12. SPECIAL CARE IS TO BE TAKEN SO TREES REMAIN UNHARMED DURING CONSTRUCTION.
13. CONTRACTOR SHALL FURNISH LANDON, MOREE & ASSOCIATES, INC. WITH ONE COMPLETE SET OF AS-BUILT PLANS SIGNED AND SEALED BY A SURVEYOR UPON COMPLETION OF CONSTRUCTION.
14. SAFE PEDESTRIAN TRAFFIC IS TO BE MAINTAINED AT ALL TIMES.
15. NO STOCKPILING OF MATERIAL IN ROADWAY OR ON SIDEWALK. ALL DIRT AND DEBRIS SHALL BE REMOVED FROM JOB SITE DAILY. ROADS AND SIDEWALK TO BE SWEEPED DAILY AS PART OF DAILY CLEAN UP.
16. ALL SUBSURFACE CONSTRUCTION SHALL COMPLY WITH THE "TRENCH SAFETY ACT". IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
17. THE SOIL AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT CONSTRUCTION, AND UNTIL THE SITE IS PERMANENTLY STABILIZED.
18. ALL SODDED SLOPES OVER 4:1, SHALL BE INSTALLED WITH SOD PEGS.
19. CONTRACTORS SHALL TEST SLOPES STEEPER THAN 4:1 FOR STABILITY. IF IT IS DETERMINED THAT SLOPE WILL NEED TO BE STABILIZED BEYOND SOD SECURED WITH PEGS, THE CONTRACTOR SHALL SUBMIT A STABILIZATION PLAN UTILIZING GEOWEB OR EQUIVALENT SUBMITTED TO ENGINEER FOR APPROVAL. MATERIAL SHALL BE INSTALLED PER MANUFACTURER'S GUIDELINES.
20. ALL SIDEWALKS TO BE A MINIMUM 3000 PSI CONCRETE AND 4" THICK EXCEPT AT DRIVEWAY CROSSINGS WHERE THEY SHALL BE 6" REINFORCED W/ 8"x6" NO. 10 W.W.F. PLACE EXPANSION JOINTS WHERE 4" AND 6" CONCRETE ABUT.
21. MINIMUM PAVEMENT SLOPE SHALL BE 0.5%. ANY AREAS OF PONDING SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. GRADIES NOT OTHERWISE INDICATED ON THE PLANS SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN. ABRUPT CHANGES IN SLOPES SHALL BE WELL-ROUNDED. THE CONTRACTOR IS RESPONSIBLE FOR POSITIVE SITE DRAINAGE.
22. DISTURBED AREA WITHIN THE RIGHT-OF-WAY WILL BE COMPACTED TO 100% OF MAXIMUM DENSITY AND SODDED. TYPE OF SOD USED TO RESTORE THE RIGHT-OF-WAY SHALL BE COORDINATED WITH THE RIGHT-OF-WAY OWNER.
23. SIGNS, PAVEMENT MARKINGS AND BARRICADES SHALL BE ACCORDANCE WITH THE US DEPT. OF TRANSPORTATIONS "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE "FLORIDA DEPT. OF TRANSPORTATIONS STANDARD PLANS" INDEXES 102-600 THROUGH 102-670 (LATEST EDITION).
24. ALL RIGHT-OF-WAY INSTALLATIONS SHALL COMPLY WITH THE STATE OF FLORIDA UTILITIES ACCOMMODATIONS GUIDE.
25. THE LOCATION & ELEVATION OF EXISTING UTILITIES ARE APPROXIMATE AS SHOWN AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND ELEVATION OF THE UTILITIES PRIOR TO CONSTRUCTION IN THEIR VICINITY. PRIOR TO UTILITY CONSTRUCTION, ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES IN UTILITY ELEVATIONS OR LOCATIONS. DEVIATIONS FROM THE APPROVED PLAN WITHOUT THE ENGINEER'S APPROVAL WILL BE SUBJECT TO RELOCATION AT THE CONTRACTOR'S EXPENSE.
26. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES WHETHER OR NOT THEY ARE INDICATED ON THESE PLANS AND SHALL NOTIFY ALL UTILITY OWNERS A MINIMUM OF 48 HOURS IN ADVANCE OF CONSTRUCTION COMMENCEMENT.
27. ALL UNDERGROUND UTILITIES MUST BE INSTALLED BEFORE BASE & SURFACE COURSE ARE CONSTRUCTED.
28. ALL PIPE LENGTHS ARE PLUS OR MINUS AND ARE MEASURED TO CENTER OF STRUCTURES.
29. CONFLICTS BETWEEN WATER, STORM AND UNDERDRAIN SYSTEMS TO BE RESOLVED BY ADJUSTING WATER LINES AS NECESSARY.
30. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN CONNECTING PROPOSED STORM SEWER, SANITARY SEWER AND WATER MAINS TO EXISTING MAINS OR STRUCTURES. ANY DAMAGES CAUSED SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
31. PROPERTY OWNER SHALL MAINTAIN WATER AND/OR SEWER LINES OR FACILITIES ON-SITE.
32. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITY LINES, PIPES, STRUCTURES AND OTHER SUBTERRANEAN OBJECTS TO A MINIMUM DEPTH OF FOUR (4) FEET BELOW GRADE, OR AS OTHERWISE DIRECTED BY THE ENGINEER.
33. ALL DRAINAGE STRUCTURES MUST BE CONSTRUCTED PER FLORIDA DEPARTMENT OF TRANSPORTATION ROAD DESIGN STANDARDS. ALL DRAINAGE STRUCTURES MUST HAVE A MINIMUM INTERIOR FLOOR SPACE AREA OF 10 SQUARE FEET (EXCEPT UNDERDRAIN INSPECTION BOXES).
34. ALL BACKFILL OVER ANY PIPE (STORM SEWER, WATER LINE, SANITARY SEWER) THAT IS TO BE INSTALLED UNDER ROADWAYS OR WITHIN THE EMBANKMENT, ETC. OF THE ROADWAY IS TO BE COMPACTED PER FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
35. ALL WATERLINES 4" AND LARGER SHALL BE AWWA C-900, DR 18. ALL WATERLINES LESS THAN 4" SHALL BE ASTM D2241-05, SDR 21. WATER LINES SHALL BE BLUE IN COLOR.
36. ALL SANITARY OR STORM SEWER MANHOLE RIM ELEVATIONS TO MATCH ASPHALT PAVEMENT.
37. CONTRACTOR TO VERIFY THE ELEVATION OF EXISTING PAVEMENT AND STRUCTURES BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY. NOTIFY ENGINEER OF ANY DISCREPANCIES IN ELEVATION.
38. ALL SANITARY SEWER MAINS, LATERALS AND FORCE MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
39. ALL GRAVITY SANITARY SEWER PIPE SHALL BE PVC SEWER PIPE CONFORMING TO ASTM D3034 SDR-26. PVC SEWER PIPE CONFORMING TO ASTM D3034 SDR-35 MAY BE USED ONLY WHERE SPECIFICALLY CALLED FOR IN THE PLANS. SANITARY SEWER PIPE SHALL BE GREEN IN COLOR.
40. ALL SANITARY SEWER FORCE MAINS 4" AND LARGER SHALL BE AWWA C-900, DR 18. ALL FORCE MAINS LESS THAN 4" SHALL BE ASTM D2241-05, SDR 21. SANITARY SEWER FORCE MAINS SHALL BE GREEN IN COLOR.
41. POINTS OF CONNECTION FOR THE SANITARY SEWER LINES ARE TO BE COORDINATED WITH THE BUILDING PLUMBING PLANS. SANITARY SERVICE CONNECTION LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE.
42. IF DEWATERING IS CONDUCTED DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION, OPERATION, AND SUBSEQUENT REMOVAL OF DEWATERING SYSTEMS AND THEIR SAFETY AND CONFORMITY WITH LOCAL CODES AND REGULATIONS.
43. THE CONTRACTOR SHALL BE REQUIRED TO MEET ALL OSHA SEPARATION REQUIREMENTS WHEN WORKING IN THE VICINITY OF POWER LINES.
44. MAINTENANCE OF TRAFFIC SHALL BE THE CONTRACTORS RESPONSIBILITY. CONTRACTOR SHALL MAINTAIN SAFE VEHICULAR CIRCULATION DURING CONSTRUCTION ACTIVITIES.

AMERICANS WITH DISABILITIES ACT (ADA) NOTES

- 1. THE CONTRACTOR SHALL INSTALL INFRASTRUCTURE SO THAT IT COMPLIES WITH THE LATEST EDITION OF THE "FLORIDA BUILDING CODE, ACCESSIBILITY" AND WITH THE AMERICANS WITH DISABILITIES ACT (ADA). THIS INFRASTRUCTURE MAY INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING: HANDICAP ACCESSIBLE SIDEWALKS, PARKING SPACES & ACCESS AISLES, SIGNAGE, CROSSWALKS, CURB RAMPS, RAMPS, HANDRAILS, AND SIDEWALK ENTRANCES TO DOORS.
2. THE CONTRACTOR SHALL INSTALL ALL ADA ACCESSIBLE SIDEWALKS AND CROSSWALKS SO THE SLOPE DOES NOT EXCEED A RUNNING SLOPE OF 5.0% OR A CROSS SLOPE OF 2.0%.
3. THE CONTRACTOR SHALL INSTALL ALL ADA ACCESSIBLE PARKING SPACES AND THE ACCESS AISLE ADJACENT TO THE SPACES SO THAT THE SLOPE DOES NOT EXCEED A 2.0% SLOPE IN ANY DIRECTION.
4. THE CONTRACTOR SHALL INSTALL ALL CURB RAMPS AND RAMPS SO THE SLOPE DOES NOT EXCEED A RUNNING SLOPE OF 1:12 (8.3%) OR A CROSS SLOPE OF 1:50 (2.0%).
5. ANY INFRASTRUCTURE THAT DOES NOT MEET ADA STANDARDS SHALL BE REMOVED AND REPLACED AT THE CONTRACTORS EXPENSE.

FDOT STANDARD PLANS NOTES (FORMAT XXX-XXX)

- 1. THE STANDARDS SPECIFIED REPRESENTED IN THE FORMAT XXX-XXX REFER TO THE FLORIDA DEPARTMENT OF TRANSPORTATION "FY 2006-27 STANDARD PLANS". THE CONTRACTOR SHALL DOWNLOAD THE STANDARDS SPECIFIED HEREIN AND KEEP A COPY OF THE JOB SITE AT ALL TIMES. THESE PLANS ARE AVAILABLE FREE OF CHARGE ON THE FDOT'S WEBSITE. CONTACT ENGINEER IF LINK TO WEB SITE IS NEEDED.
2. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
3. EXCAVATIONS AND TRENCHING OPERATIONS BY THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S (OSHA) EXCAVATION STANDARDS, 29 CODE OF FEDERAL REGULATIONS (CFR) PART 1926, SUBPART P.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.
5. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ITS OWN SAFETY EQUIPMENT IN ACCORDANCE WITH ITS HEALTH & SAFETY PROGRAM AND ALL OTHER APPLICABLE LEGAL AND HEALTH AND SAFETY REQUIREMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING ITS EMPLOYEES AND SUBCONTRACTORS WITH ADEQUATE INFORMATION AND TRAINING TO ENSURE THAT ALL EMPLOYEES AND SUBCONTRACTORS AND SUBCONTRACTORS EMPLOYEES COMPLY WITH ALL APPLICABLE REQUIREMENTS.
6. THE CONTRACTORS MAINTENANCE OF TRAFFIC PLAN WHEN WORKING IN THE PUBLIC RIGHT-OF-WAY MUST BE SUBMITTED AND APPROVED BY THE GOVERNMENTAL AGENCIES HAVING JURISDICTION PRIOR TO BEGINNING ANY CONSTRUCTIONS ACTIVITIES.
7. ALL TRAFFIC CONTROL, MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)" PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
8. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTORS INFORMATION ONLY AND SHALL NOT BE PERCEIVED AS THE ENTIRE SAFETY PROGRAM, BUT JUST BASIC SAFETY REQUIREMENTS. THIS DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

SAFETY NOTES

- 1. DURING CONSTRUCTION AND MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL.
2. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
3. EXCAVATIONS AND TRENCHING OPERATIONS BY THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S (OSHA) EXCAVATION STANDARDS, 29 CODE OF FEDERAL REGULATIONS (CFR) PART 1926, SUBPART P.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING OR SHORING AS NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED.
5. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ITS OWN SAFETY EQUIPMENT IN ACCORDANCE WITH ITS HEALTH & SAFETY PROGRAM AND ALL OTHER APPLICABLE LEGAL AND HEALTH AND SAFETY REQUIREMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROVIDING ITS EMPLOYEES AND SUBCONTRACTORS WITH ADEQUATE INFORMATION AND TRAINING TO ENSURE THAT ALL EMPLOYEES AND SUBCONTRACTORS AND SUBCONTRACTORS EMPLOYEES COMPLY WITH ALL APPLICABLE REQUIREMENTS.
6. THE CONTRACTORS MAINTENANCE OF TRAFFIC PLAN WHEN WORKING IN THE PUBLIC RIGHT-OF-WAY MUST BE SUBMITTED AND APPROVED BY THE GOVERNMENTAL AGENCIES HAVING JURISDICTION PRIOR TO BEGINNING ANY CONSTRUCTIONS ACTIVITIES.
7. ALL TRAFFIC CONTROL, MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)" PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
8. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTORS INFORMATION ONLY AND SHALL NOT BE PERCEIVED AS THE ENTIRE SAFETY PROGRAM, BUT JUST BASIC SAFETY REQUIREMENTS. THIS DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

SOUTH FT. HARRISON AVE. & BELLEVIEW BLVD. R/W CONSTRUCTION NOTES

- 1. ALL RIGHT-OF-WAY INSTALLATIONS WILL BE IN ACCORDANCE WITH PRACTICES REFERENCED IN THE STATE OF FLORIDA UTILITIES ACCOMMODATIONS MANUAL.
2. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE CITY OF CLEARWATER LAND DEVELOPMENT, ZONING AND/OR RELATED ORDINANCES, AND MINIMUM TESTING FREQUENCY REQUIREMENTS.
3. SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE US DEPARTMENT OF TRANSPORTATIONS "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" AND THE FLORIDA DEPARTMENT OF TRANSPORTATIONS "STANDARD PLANS FOR ROAD CONSTRUCTION" INDEXES 102-600 THRU 102-680 (LATEST EDITIONS).
4. SAFE PEDESTRIAN TRAFFIC IS TO BE MAINTAINED AT ALL TIMES.
5. ANY SIDEWALK WHICH BECOMES UNDERMINED MUST BE REMOVED AND REPLACED. SIDEWALKS ARE TO BE RECONSTRUCTED WITHIN (3) DAYS AFTER REMOVAL. WHEN EXISTING SIDEWALK IS REMOVED, IT IS TO BE REMOVED TO THE NEAREST JOINT.
6. PLACE EXPANSION JOINTS WHERE 4" AND 6" CONCRETE ABUT.
7. SAW CUT EXISTING EDGE-OF-PAVEMENT PRIOR TO REMOVAL OF CURB.
8. PLACE EXPANSION JOINT BETWEEN BACK-OF-CURB AND CONCRETE DRIVEWAY.
9. COMPACTION FOR DRIVEWAY BACKFILL SHALL COMPLY WITH AASHTO T-99 (100%).
10. DISTURBED AREA WITHIN THE RIGHT OF WAY WILL BE COMPACTED TO 100% OF A STANDARD T-99 PROCTOR AND SODDED.
11. DO NOT DISTURB EXISTING UNDERDRAIN OR STORM SYSTEMS. IF FILTRATION BED IS DISTURBED, CONTACT THE CITY OF CLEARWATER INSPECTOR FOR ASSISTANCE.
12. RESTORATION OF CURB, STREET, DRIVEWAYS AND PLACEMENT OF SOD SHALL BE COMPLETED PRIOR TO EXCAVATION STARTING IN ANOTHER AREA BY THE SAME CONTRACTOR.
13. TYPE OF SOD USED TO RESTORE AREA IN RIGHT OF WAY SHALL BE COORDINATED WITH RIGHT OF WAY OWNER.
14. NO STOCKPILING OF MATERIAL IN ROADWAY OR ON SIDEWALK; ALL DIRT AND DEBRIS WILL BE REMOVED FROM JOB SITE DAILY. ROADS AND SIDEWALK TO BE SWEPT DAILY AS PART OF DAILY CLEAN-UP.
15. AT LEAST ONE LANE OF TRAFFIC WILL BE OPEN AT ALL TIMES. WHENEVER TRAFFIC IS REDUCED TO ONE LANE, "FLAGMEN" AND "FLAGMEN AHEAD" SIGNS WILL BE UTILIZED. APPROPRIATE BARRICADES AND "CONSTRUCTION AHEAD" SIGNS SHALL BE UTILIZED PER FDOT MANUAL TRAFFIC CONTROL THROUGH WORK ZONE.
16. NO STREET SHALL BE CLOSED WITHOUT THE WRITTEN PERMISSION OF THE CITY OF CLEARWATER TRAFFIC DIVISION. AT LEAST 48 HOUR ADVANCE COORDINATION IS REQUIRED.
17. ANY PORTION OF THE ROADWAY THAT SUSTAINS EXCESSIVE CONSTRUCTION RELATED DAMAGE, IN THE OPINION OF THE CITY OF CLEARWATER HIGHWAY DEPARTMENT, SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE IN A MANNER SPECIFIED BY CITY OF CLEARWATER HIGHWAY DEPARTMENT.
18. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURE AS INDICATED ON THE PLANS AND AS NECESSARY AS INDICATED IN THE MPDES PERMIT (IF APPLICABLE).
19. MAINTENANCE OF TRAFFIC FOR WORK WITHIN THE CITY OF CLEARWATER RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH FDOT INDEX #102-600, #102-601, #102-602, #102-603, #102-604 & #102-660. LANE CLOSURES ALONG SOUTH FT. HARRISON AVENUE & BELLEVIEW BLVD. SHALL NOT OCCUR DURING THE PEAK HOUR PERIODS OF 7 TO 9 AM AND 4 TO 6 PM.
20. THE CONSTRUCTION OF PAVEMENT WITHIN EXISTING OR PROPOSED CITY OF CLEARWATER RIGHT-OF-WAY MUST MEET CITY OF CLEARWATER CRITERIA.

PERVIOUS PAVERS CONSTRUCTION PROCEDURES

- THE FOLLOWING CONSTRUCTION PROCEDURES ARE REQUIRED TO ASSURE THAT THE PERVIOUS PAVEMENT IS PROPERLY PREPARED AND INSTALLED SUCH THAT THE DESIRED INFILTRATION RATE IS OBTAINED:
1. THE LOCATION AND DIMENSIONS OF THE PERVIOUS PAVEMENT WILL BE VERIFIED ONSITE PRIOR TO ITS CONSTRUCTION. ALL DESIGN REQUIREMENTS INCLUDING PERVIOUS PAVEMENT DIMENSIONS AND DISTANCES TO FOUNDATIONS, SEPTIC SYSTEMS, AND WELLS NEED TO BE VERIFIED.
2. THE LOCATION OF PERVIOUS PAVEMENT AREAS WILL BE CLEARLY MARKED AT THE SITE TO PREVENT UNNECESSARY VEHICULAR TRAFFIC ACROSS THE AREA CAUSING SOIL COMPACTION.
3. EXCAVATION WILL BE DONE BY LIGHTWEIGHT EQUIPMENT TO MINIMIZE SOIL COMPACTION. TRACKED, CLEATED EQUIPMENT DOES LESS SOIL COMPACTION THAN EQUIPMENT WITH TIRES.
4. ONCE THE SUBGRADE ELEVATION HAS BEEN REACHED, THE AREA WILL BE INSPECTED FOR MATERIALS THAT COULD PUNCTURE OR TEAR THE FILTER FABRIC, SUCH AS TREE ROOTS, AND ASSURE THEY ARE NOT PRESENT.
5. THE IN-SITU (OR IMPORTED) SUBGRADE SOIL (SOIL BELOW THE PERVIOUS PAVEMENT SYSTEM) WILL BE COMPACTED TO A MAXIMUM OF 92%-95% MODIFIED PROCTOR DENSITY (ASTM D-1557) TO A MINIMUM DEPTH OF 24 INCHES.
6. THE SPECIFIED FILTER FABRIC WILL BE INSTALLED IN ACCORDANCE WITH THE DESIGN SPECIFICATIONS.
7. THE AGGREGATE MATERIAL WILL BE INSPECTED PRIOR TO PLACEMENT TO ENSURE IT MEETS SIZE SPECIFICATIONS AND IS WASHED TO MINIMIZE FINES AND DEBRIS. IT SHOULD BE SPREAD UNIFORMLY TO THE APPROPRIATE THICKNESS.
8. THE PERVIOUS PAVEMENT MATERIAL WILL BE INSTALLED BY A CONTRACTOR TRAINED AND CERTIFIED BY THE PRODUCT MANUFACTURER TO INSTALL THE PROPOSED PERVIOUS PAVEMENT SYSTEM ACCORDING TO APPROVED DESIGN SPECIFICATIONS.
9. STORMWATER WILL NOT BE DIRECTED ONTO THE PERVIOUS PAVEMENT FROM ADJACENT CONTRIBUTING AREAS UNTIL AFTER THEY ARE STABILIZED TO PREVENT SEDIMENT FROM ENTERING AND CLOGGING THE PERVIOUS PAVEMENT. ALL EROSION AND SEDIMENT CONTROLS WILL REMAIN IN PLACE UNTIL THE CONTRIBUTING WATERSHED AREA IS FULLY STABILIZED.
10. BEFORE THE PERVIOUS PAVEMENT IS PLACED INTO OPERATION, AT THE PROPERTY OWNERS OPTION, SIGNS MAY BE INSTALLED AT ALL ENTRANCES ADVISING USERS THAT THEY ARE ENTERING A PERVIOUS PAVEMENT PARKING LOT AND THAT VEHICLES WITH HEAVY WHEEL LOADS OR MUDDY TIRES SHOULD NOT ENTER.
11. THE CONTRACTOR MAY PROPOSE ALTERNATIVE CONSTRUCTION PROCEDURES TO ASSURE THAT THE DESIGN INFILTRATION RATE OF THE PERVIOUS PAVEMENT IS MET.

GEOTECHNICAL ENGINEER SUPERVISION REQUIRED

- 1. ALL THE CONTRACTOR SHALL COORDINATE WITH ENGINEER AND OWNERS GEOTECHNICAL ENGINEER FOR ON-SITE CONSTRUCTION SUPERVISION AND TESTING.
2. THE GEOTECHNICAL ENGINEER SHALL INSPECT DEMOLITION AREAS WHERE PERVIOUS PAVER SYSTEMS WILL BE INSTALLED TO VERIFY THAT THE REMOVAL OF ANY OLD PAVEMENT OR BASE OR SUBBASE OR OTHER MATERIAL HAS BEEN ACCOMPLISHED. THE GEOTECHNICAL ENGINEER SHALL VERIFY THAT CLEAN SANDS ARE PRESENT BEFORE INSTALLATION OF THE PERVIOUS PAVEMENT SYSTEM. THIS IS IMPORTANT AS THE SYSTEM RELIES ON INFILTRATION OF STORMWATER INTO THE GROUND.
3. THE GEOTECHNICAL ENGINEER SHALL INSPECT AND TEST ANY AGGREGATE MATERIAL PRIOR TO PLACEMENT TO ENSURE IT MEETS SIZE SPECIFICATIONS AND IS WASHED TO MINIMIZE FINES AND DEBRIS. MATERIAL PLACEMENT THICKNESS SHALL BE VERIFIED.

AS-BUILT SURVEY FOR UNDERGROUND STORMWATER RETENTION SYSTEM REQUIRED

- 1. THE CONTRACTOR SHALL COORDINATE WITH A FLORIDA LICENSED SURVEYOR TO OBTAIN THE LIMITS AND PROVIDE SPOT ELEVATIONS OF THE BOTTOM OF THE UNDERGROUND STORMWATER SYSTEM TO ENSURE IT HAS BEEN EXCAVATED TO THE APPROPRIATE DEPTH. THIS SHALL BE ACCOMPLISHED PRIOR TO PLACING STONE. A DIGITALLY SIGNED & SEALED SURVEY SHALL BE PROVIDED TO THE ENGINEER.

OWNER'S INSTRUCTIONS FOR MAINTENANCE AND INSPECTION OF PERVIOUS PAVERS STORMWATER FACILITIES

- GENERAL:
MAINTENANCE IS AN IMPORTANT COMPONENT OF A PERVIOUS PAVEMENT SYSTEM. MOST MAINTENANCE IS RELATED TO CLOGGING OF THE POROUS SURFACES WHICH REDUCES OR PREVENTS INFILTRATION THEREBY SLOWING RECOVERY OF THE STORMWATER TREATMENT VOLUME AND OFTEN RESULTING IN STANDING WATER AND NUISANCE FLOODING.
INSPECTION ITEMS:
1. ON A MONTHLY OR QUARTERLY BASIS, AND FOLLOWING A STORM EVENT, THE ENTITY RESPONSIBLE FOR MAINTENANCE SHOULD MAKE AN INSPECTION OF THE PERVIOUS PAVEMENT SYSTEM AND ITS OUTFALL STRUCTURE(S) TO ENSURE THAT THE SYSTEM IS OPERATING PROPERLY. IF NUISANCE PONDING WATER PERSISTS AFTER A NORMAL SUMMER RAIN EVENT, THE STORMWATER FACILITY MAY BE IN NEED OF MAINTENANCE.
2. VISUAL INSPECTION OF THE PERMEABLE PAVEMENT SHALL BE CONDUCTED TO ENSURE THAT IT IS CLEAN OF DEBRIS AND SEDIMENTS. ANY SIGNS OF PONDING WOULD BE AN INDICATION THAT IT MAY BE TIME FOR MAINTENANCE.
3. INSPECT ALL EDGE CONSTRAINTS AND OVERFLOW AREAS TO DETERMINE IF ANY EROSION IS OCCURRING AND REPAIR AS NEEDED.
PERVIOUS PAVERS MAINTENANCE:
1. ROUTINE MAINTENANCE CLEANING PROCEDURES WOULD INCLUDE USING A VACUUM STYLE STREET SWEEPER. THIS WILL HELP PREVENT CLOGGING BY KEEPING SEDIMENT FROM EMBEDDING INTO THE PAVEMENT'S VOIDS. THIS ROUTINE MAINTENANCE SHOULD BE PERFORMED BI-ANNUALLY TO KEEP THE ENTIRE PERVIOUS PAVEMENT SYSTEM AREA CLOG-FREE.
2. OVER TIME THE SYSTEM MAY NEED A DEEP CLEANING IF NOT PERFORMING ACCORDING TO STANDARDS. DEEP CLEANING OR UNCLOGGING IS BEST ACCOMPLISHED BY SIMULTANEOUS PRESSURE WASHING AND VACUUMING. SEVERAL EQUIPMENT MANUFACTURERS HAVE DEVELOPED SIMULTANEOUS PRESSURE WASHING AND VACUUMING SYSTEMS THAT HAVE PROVEN TO REHABILITATE THE PORE STRUCTURE OF PERVIOUS PAVEMENT.
3. REPAIR EROSION NEAR EDGE CONSTRAINTS OR OVERFLOWS AND ASSURE THAT THE CONTRIBUTING WATERSHED AREA IS STABILIZED AND NOT A SOURCE OF SEDIMENTS

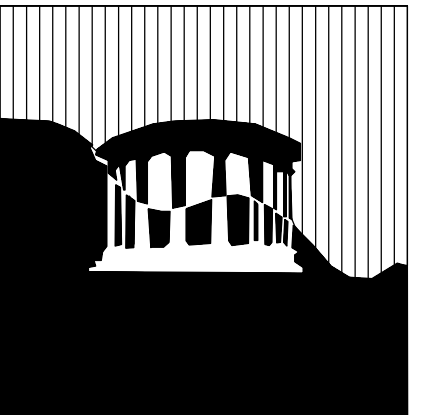
MISCELLANEOUS

- 1. WRITTEN NOTES SHOULD ALWAYS BE KEPT WHICH DESCRIBE MAINTENANCE ACTIVITIES UNDERTAKEN DURING EACH INSPECTION.
2. SPECIFIC CONDITIONS OF ALL PERMITS MAY REQUIRE ADDITIONAL MAINTENANCE ACTIVITIES ABOVE AND BEYOND THOSE OUTLINED ABOVE. PLEASE BE AWARE OF ALL PERMIT CONDITIONS AS ISSUED BY REGULATORY AGENCIES TO ENSURE PERMIT COMPLIANCE.

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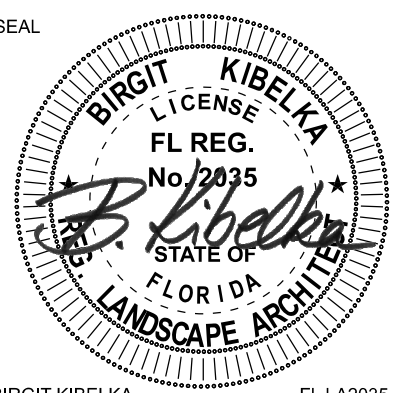


**TERRA
TECTONICS**
design group international, inc.

LANDSCAPE ARCHITECTS
LAND PLANNERS
URBAN DESIGNERS

1188 Kapp Drive
Clearwater, FL 33765
Fl. Reg. Lic. # 254
727-441-4504 ph.

LANDSCAPE CONSTRUCTION DOCUMENTS
WHITEHURST DEVELOPMENT
CLEARWATER, FLORIDA



BIRGIT KIBELKA FL LA20935

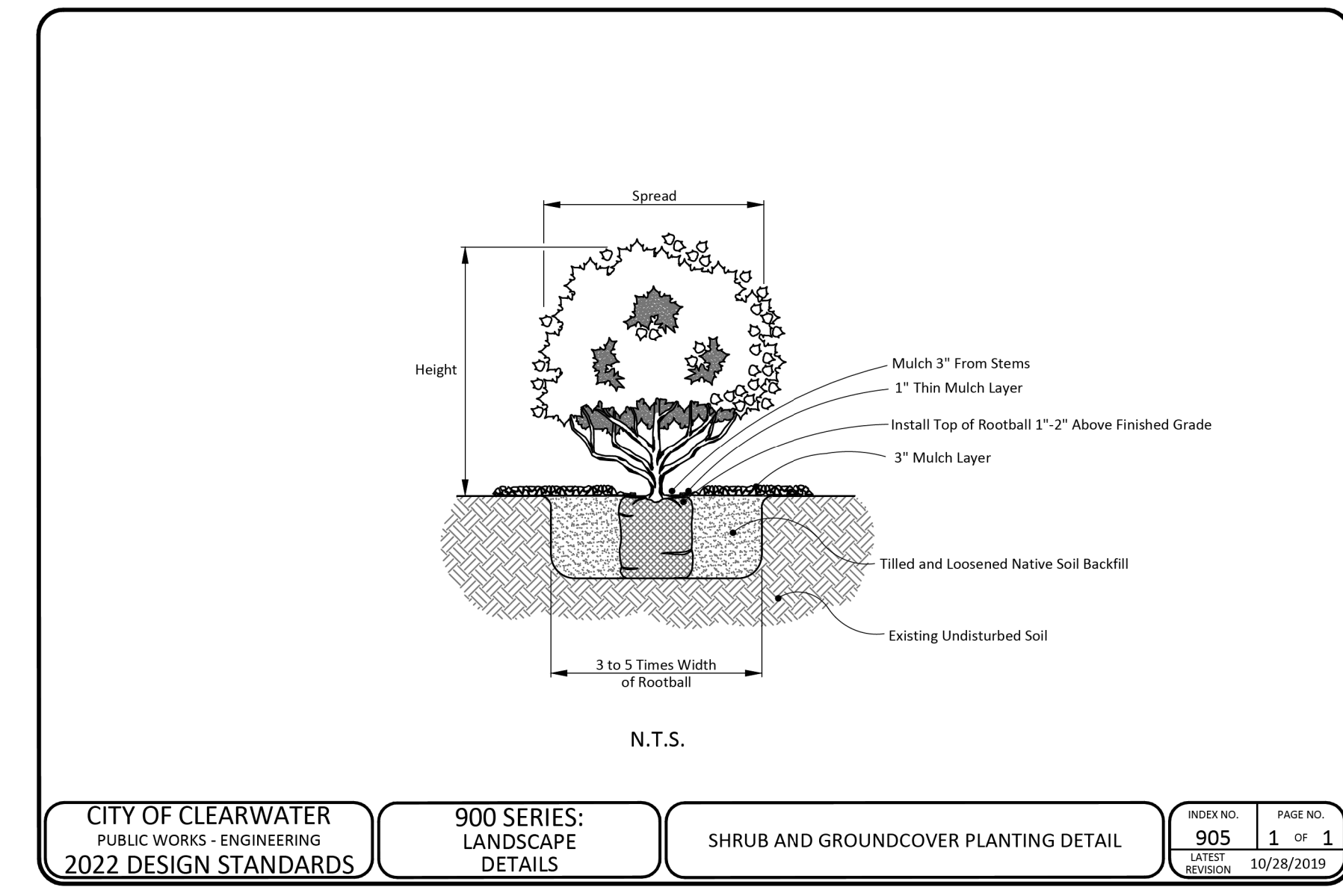
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Revision:
No. Date Description:
Job No. 25-1046

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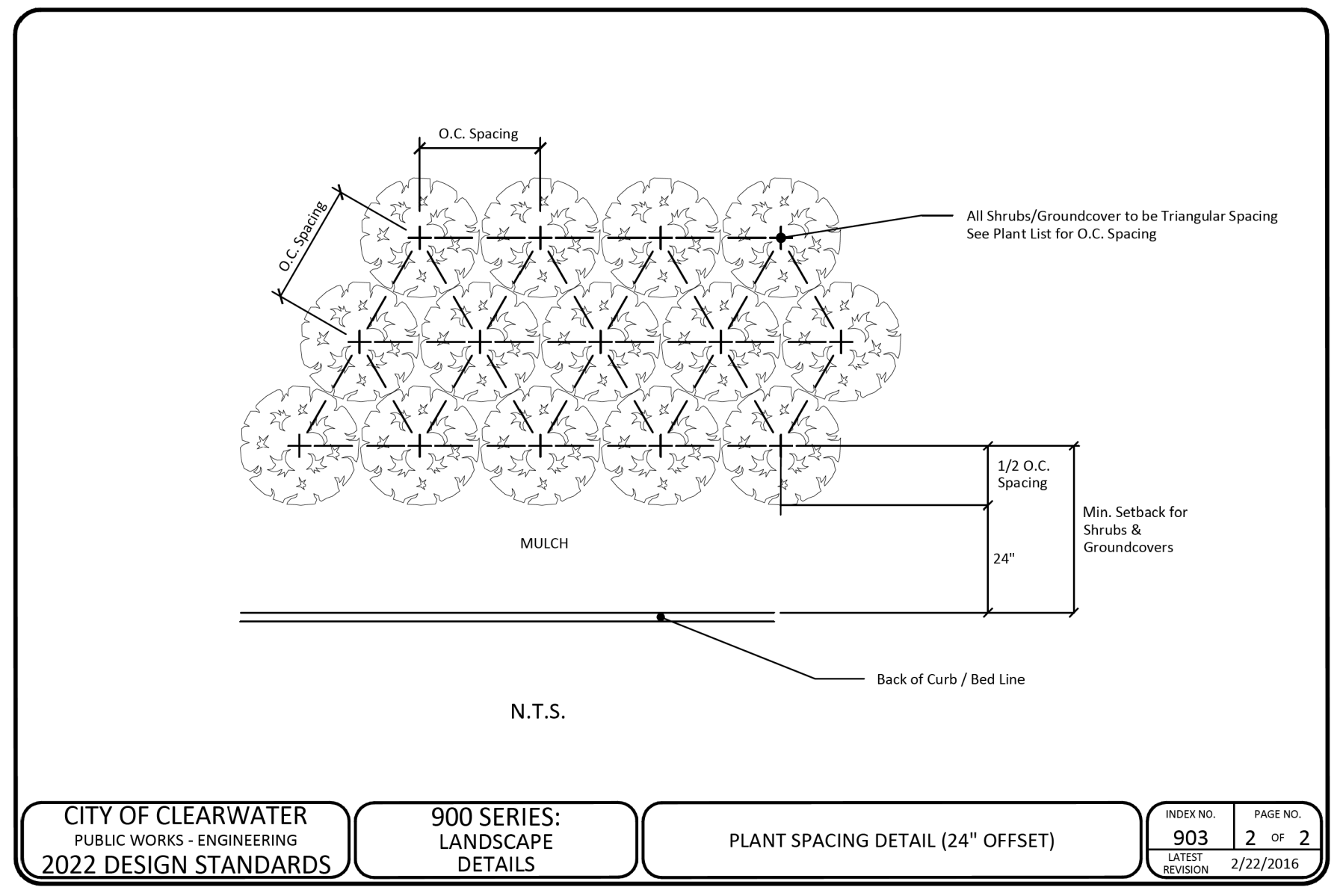
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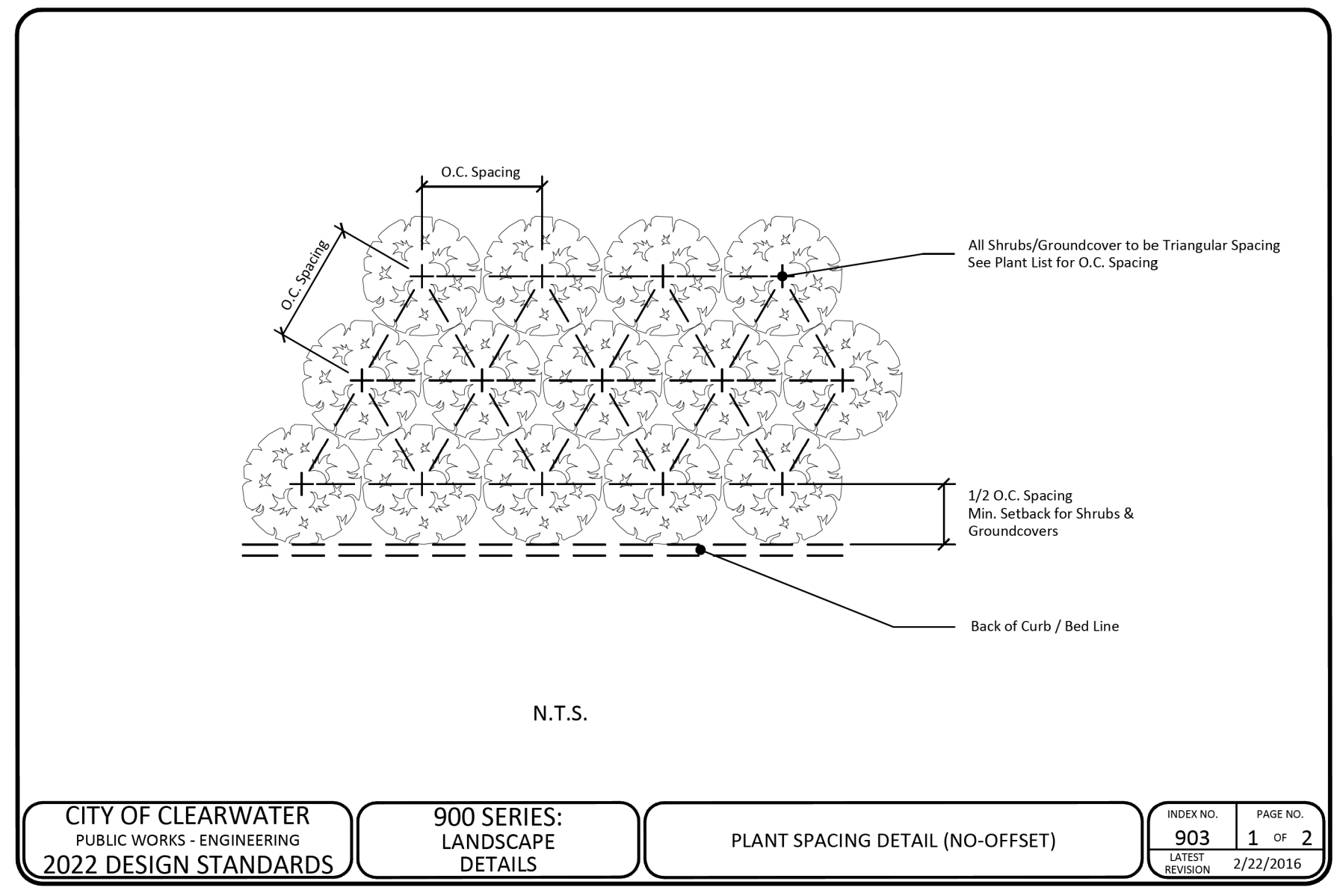
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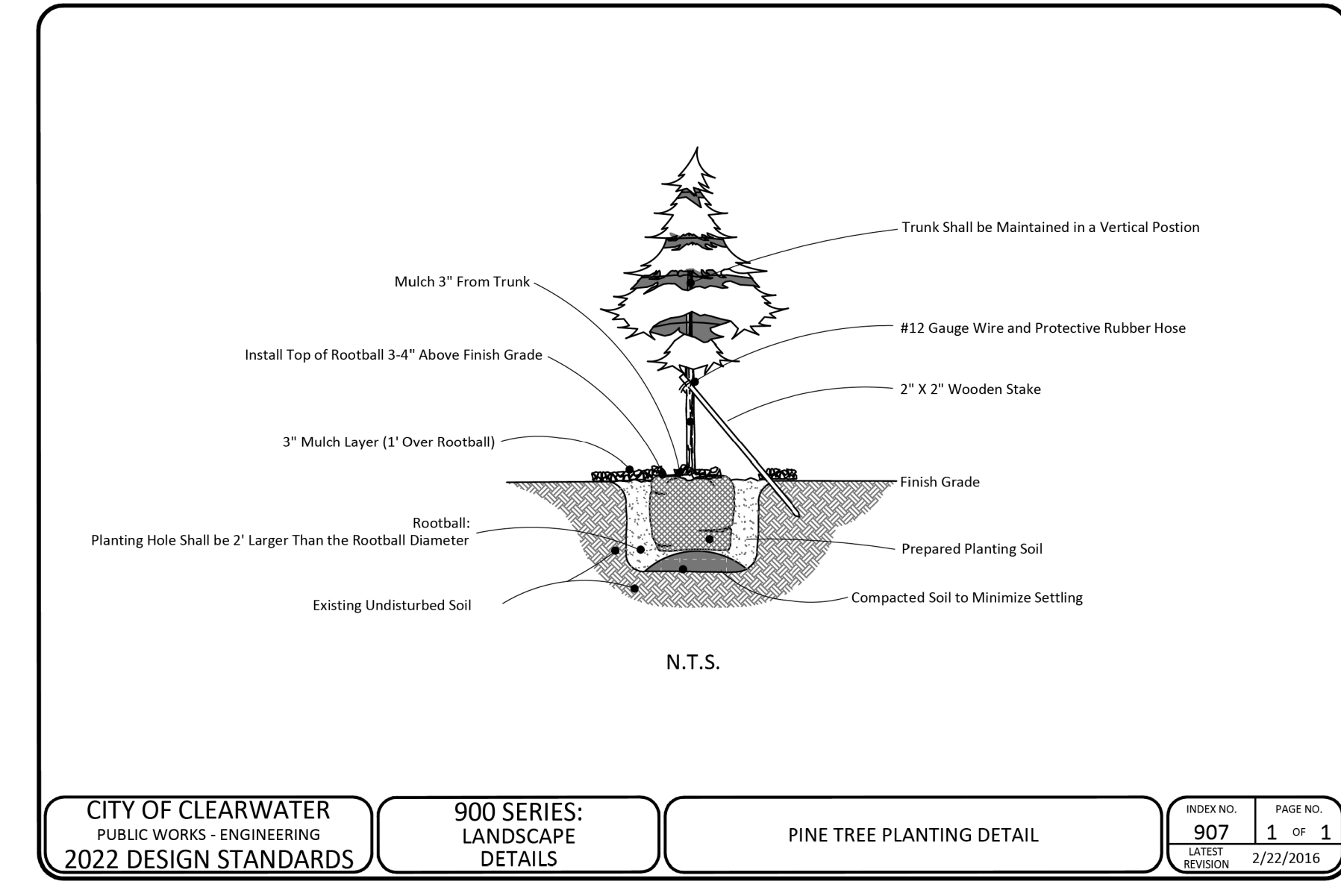
CITY OF CLEARWATER PUBLIC WORKS - ENGINEERING 2022 DESIGN STANDARDS
900 SERIES: LANDSCAPE DETAILS
SHRUB AND GROUNDCOVER PLANTING DETAIL
INDEX NO. 905 PAGE NO. 1 OF 1
LATEST REVISION: 10/28/2019



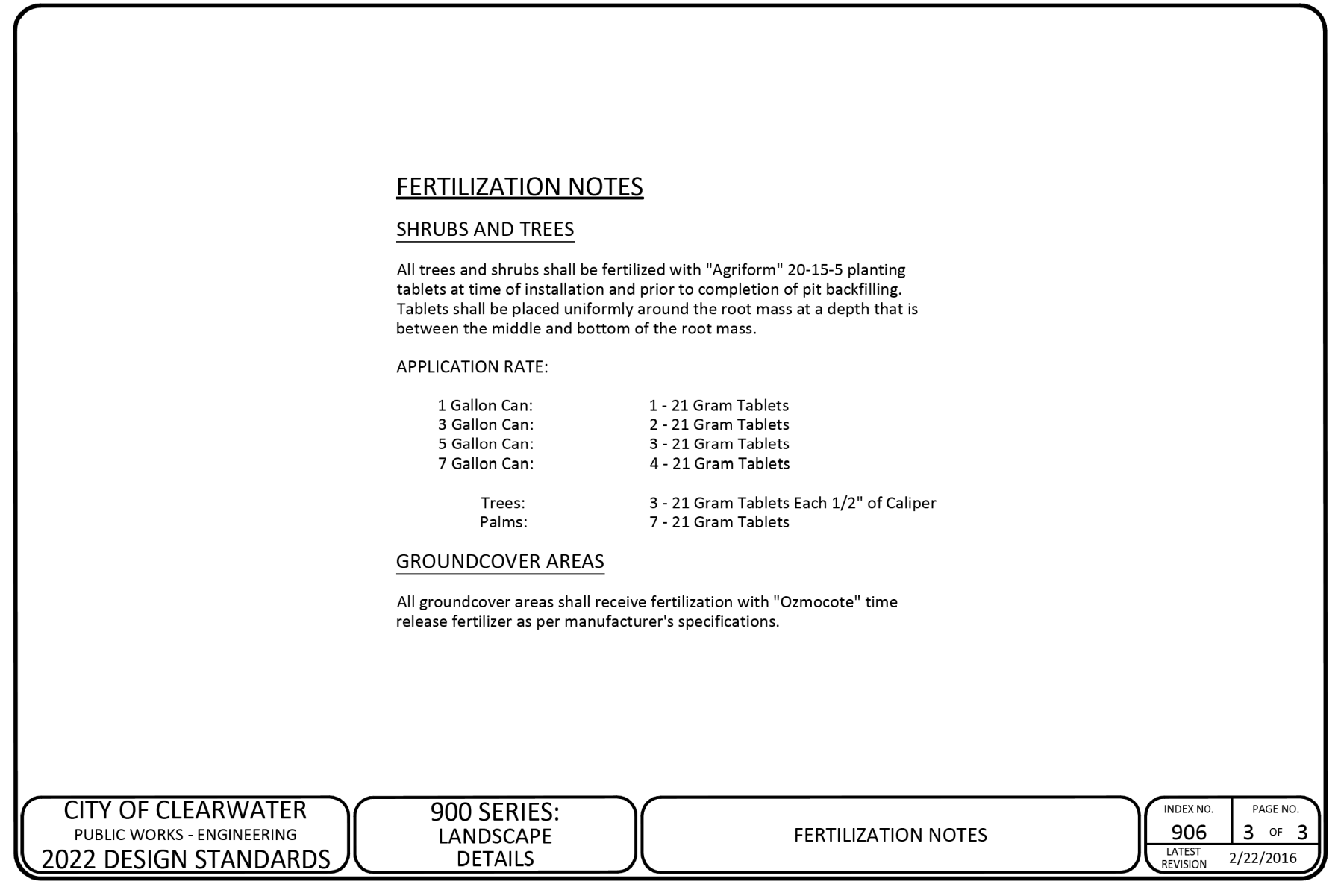
CITY OF CLEARWATER PUBLIC WORKS - ENGINEERING 2022 DESIGN STANDARDS
900 SERIES: LANDSCAPE DETAILS
PLANT SPACING DETAIL (24" OFFSET)
INDEX NO. 903 PAGE NO. 2 OF 2
LATEST REVISION: 2/22/2016



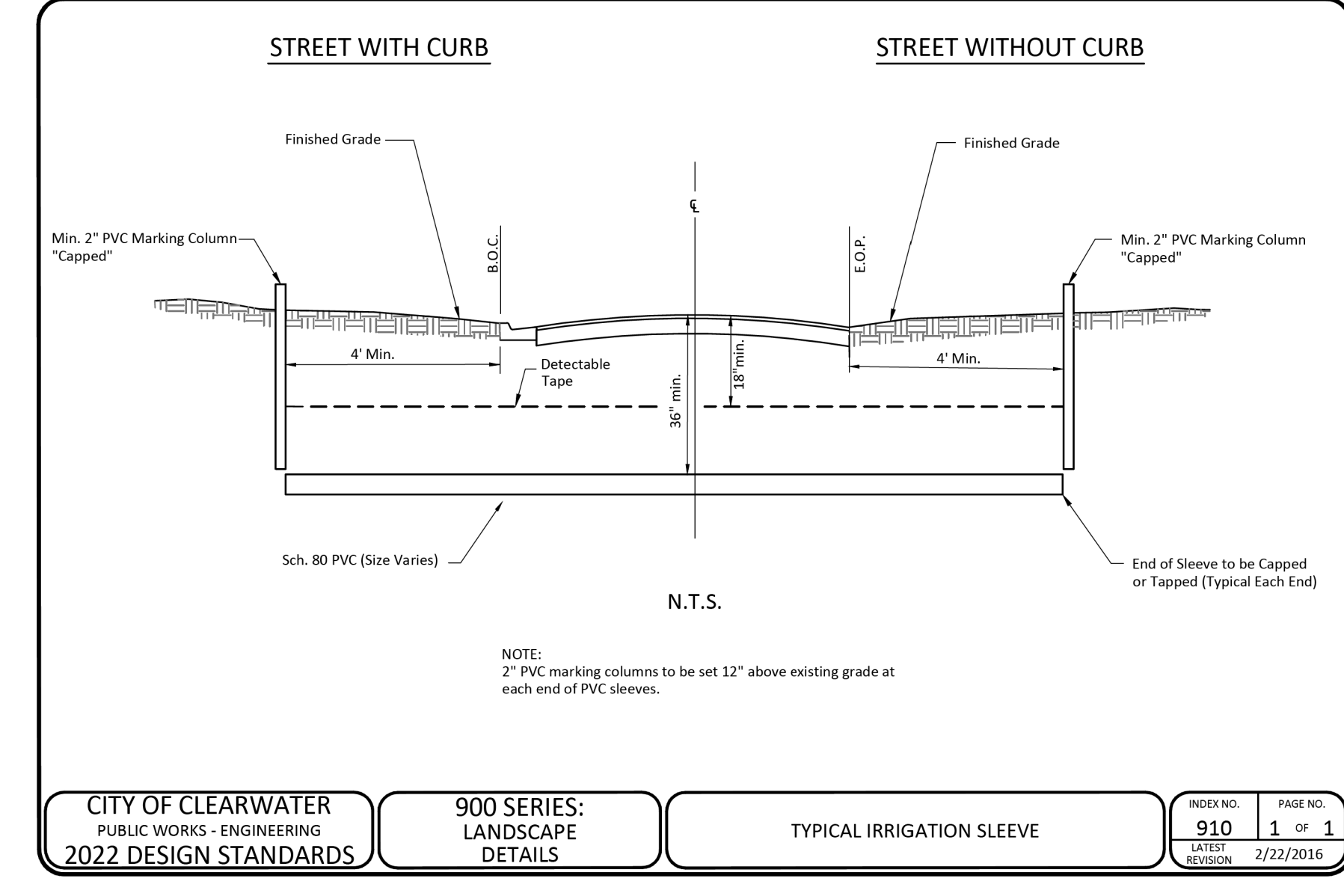
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900 SERIES: LANDSCAPE DETAILS
PLANT SPACING DETAIL (NO-OFFSET)
INDEX NO. 903 PAGE NO. 1 OF 2
LATEST REVISION: 2/22/2016



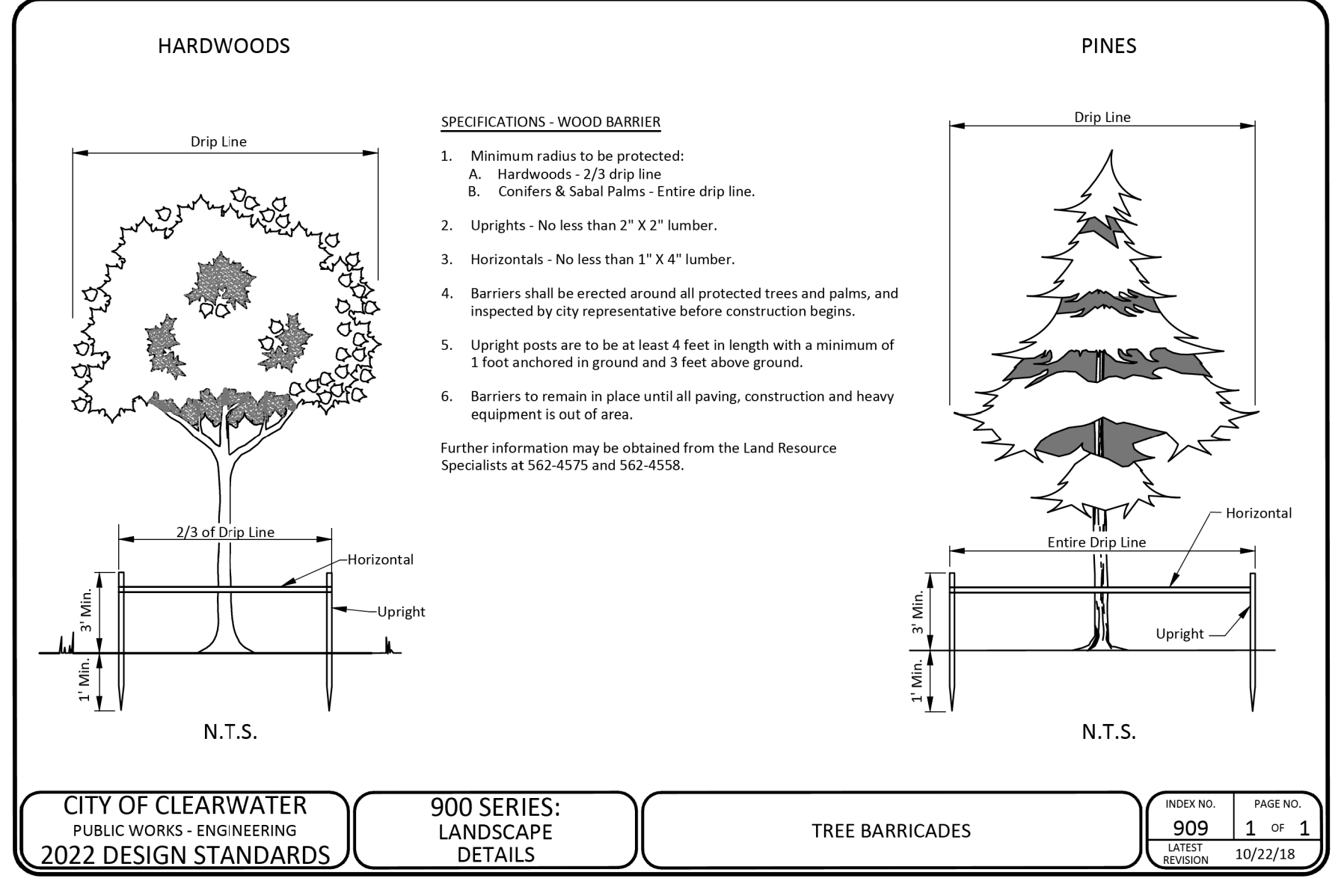
CITY OF CLEARWATER PUBLIC WORKS - ENGINEERING 2022 DESIGN STANDARDS
900 SERIES: LANDSCAPE DETAILS
PINE TREE PLANTING DETAIL
INDEX NO. 907 PAGE NO. 1 OF 1
LATEST REVISION: 3/22/2016



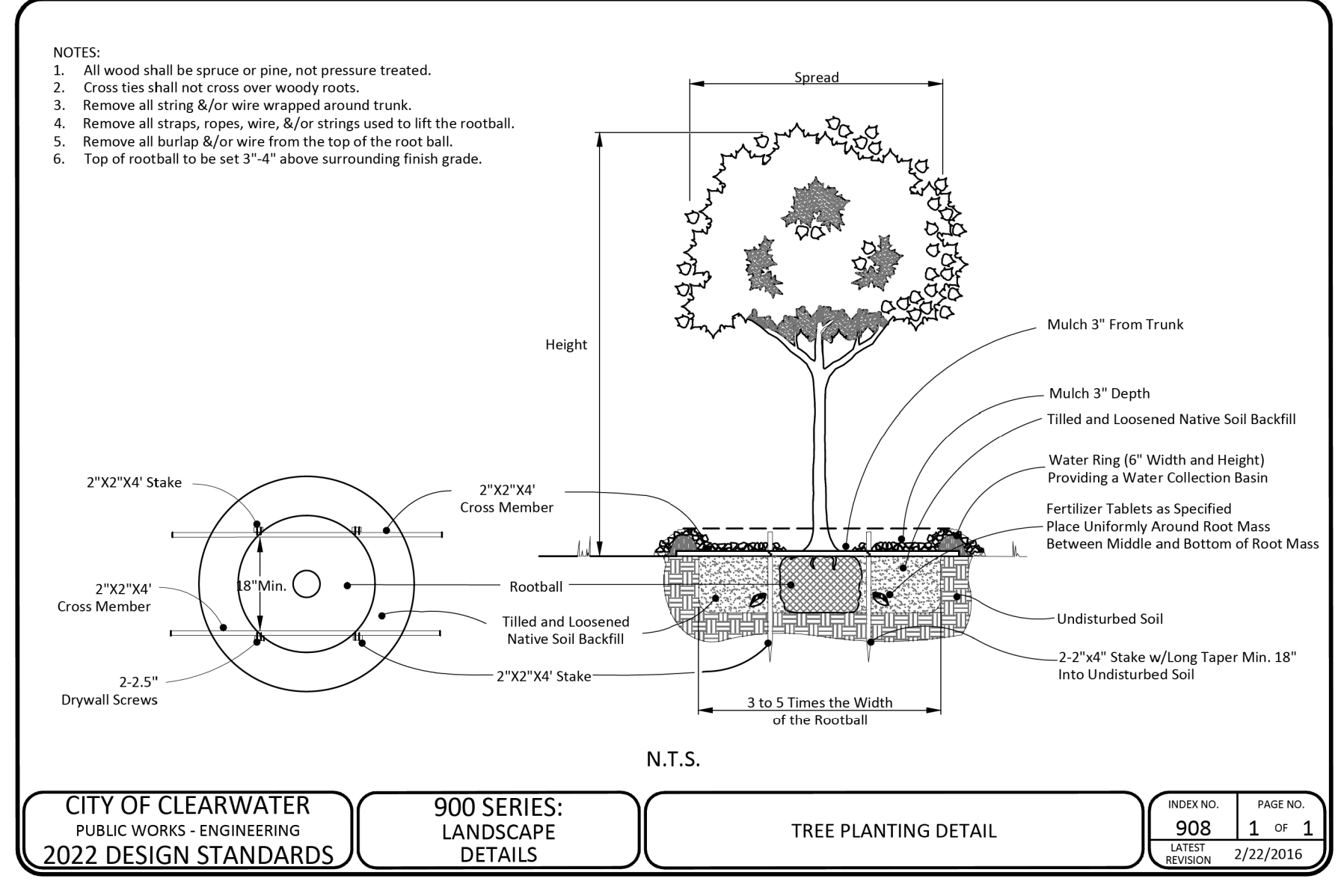
CITY OF CLEARWATER PUBLIC WORKS - ENGINEERING 2022 DESIGN STANDARDS
900 SERIES: LANDSCAPE DETAILS
FERTILIZATION NOTES
INDEX NO. 906 PAGE NO. 3 OF 3
LATEST REVISION: 3/22/2016



CITY OF CLEARWATER PUBLIC WORKS - ENGINEERING 2022 DESIGN STANDARDS
900 SERIES: LANDSCAPE DETAILS
TYPICAL IRRIGATION SLEEVE
INDEX NO. 910 PAGE NO. 1 OF 1
LATEST REVISION: 2/22/2016

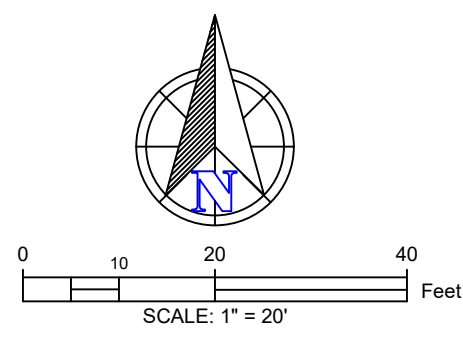


CITY OF CLEARWATER PUBLIC WORKS - ENGINEERING 2022 DESIGN STANDARDS
900 SERIES: LANDSCAPE DETAILS
TREE BARRICADES
INDEX NO. 909 PAGE NO. 1 OF 1
LATEST REVISION: 10/22/18



CITY OF CLEARWATER PUBLIC WORKS - ENGINEERING 2022 DESIGN STANDARDS
900 SERIES: LANDSCAPE DETAILS
TREE PLANTING DETAIL
INDEX NO. 908 PAGE NO. 1 OF 1
LATEST REVISION: 2/22/2016

SPECIFICATIONS 1/2



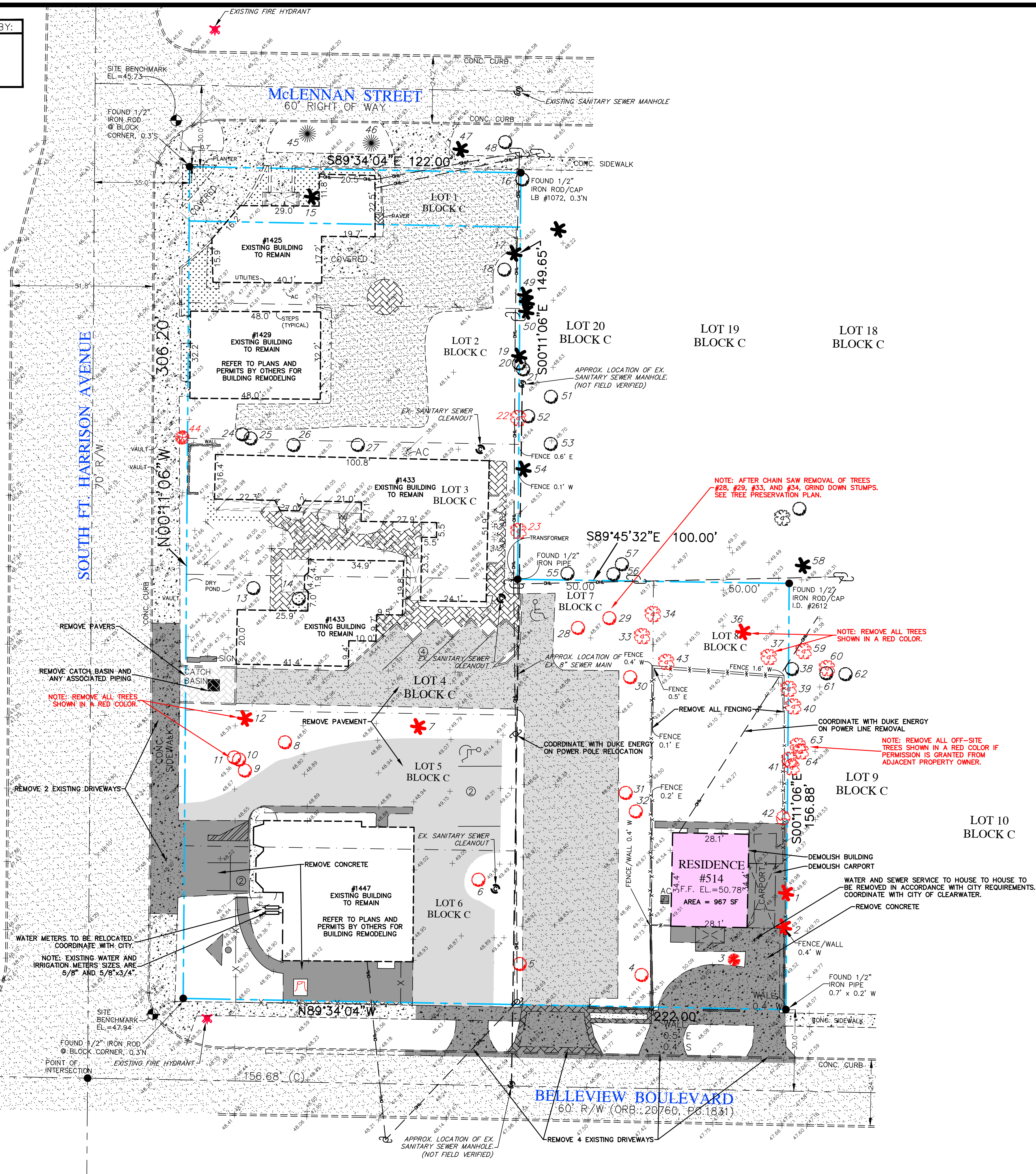
SURVEY INFORMATION PROVIDED BY:
 COMPASS SURVEYING
 6250 N. MILITARY TRAIL, SUITE 102
 WEST PALM BEACH, FL 33407
 PHONE: 561-640-4800
 LB # 7463

DEMOLITION LEGEND

	REMOVE HOUSE
	REMOVE PAVEMENT
	REMOVE CONCRETE

Alan Mayberry Tree Consulting
 Tree Inventory Report
 Note: See Separate Report submitted to City

Tree #	Size	Species
1	16" CT	Sabal Palm
2	14" CT	Sabal Palm
3	11"	Slash Pine
4	12"	Live Oak
5	19"	Live Oak
6	36"	Live Oak
7	7" CT	Sabal Palm
8	24"	Live Oak
9	27"	Live Oak
10	15"	Live Oak
11	15"	Live Oak
12	11" CT	Sabal Palm
13	28"	Live Oak
14	25"	Live Oak
15	18" CT	Foxtail Palm
16	16"	Live Oak
17	7" CT	Sabal Palm
18	30"	Live Oak
19	4" CT	Sabal Palm
20	7"	Unidentifiable
21	8"	Live Oak
22	8"	Cherry Laurel
23	8"	Cherry Laurel
24	10"	Live Oak
25	11"	Live Oak
26	6"	Laurel Oak
27	15"	Laurel Oak
28	34"	Live Oak
29	28"	Live Oak
30	43"	Live Oak
31	30"	Live Oak
32	19"	Live Oak
33	8"	Cherry Laurel
34	5"	Cherry Laurel
35	no tree	no tree
36	12" CT	Queen Palm
37	8"	Cherry Laurel
38	11"	Live Oak
39	5"	Cherry Laurel
40	6"	Cherry Laurel
41	15"	Cherry Laurel
42	9"	Golden Palm
43	6"	Cherry Laurel
44	18"	Ear Tree
45	16"	Weeping Bottlebrush
46	11"	Weeping Bottlebrush
47	9" CT	Sabal Palm
48	7"	Laurel Oak
49	7" CT	Sabal Palm
50	6" CT	Sabal Palm
51	12"	Laurel Oak
52	20"	Laurel Oak
53	14"	Laurel Oak
54	20" CT	Sabal Palm
55	8"	Cherry Laurel
56	6"	Cherry Laurel
57	36"	Live Oak
58	18" CT	Sabal Palm
59	7"	Cherry Laurel
60	7"	Cherry Laurel
61	11"	Live Oak
62	16"	Live Oak
63	12"	Cherry Laurel
64	7"	Cherry Laurel



OVERHEAD POWER LINE NOTE:
 CONTRACTOR SHALL COMPLY WITH OSHA'S STANDARDS 29 CFR PART 1926, SUBPART CC FOR VERTICAL AND HORIZONTAL CLEARANCES TO THE OVERHEAD DISTRIBUTION AND TRANSMISSION POWER LINES.

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL SAW CUT THE EXISTING EDGE OF PAVEMENT PRIOR TO REMOVAL OF ANY CURB OR PAVEMENT.
2. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO REMOVING ANY ABOVE OR BELOW GROUND UTILITIES.
3. DURING DEMOLITION AND CONSTRUCTION PHASES THE SITE SHALL UTILIZE A SOIL TRACKING PREVENTION DEVICE. SEE EROSION CONTROL PLAN.
4. DURING DEMOLITION AND CONSTRUCTION PHASES THE SITE SHALL BE SURROUNDED BY A SILT FENCE. SEE EROSION CONTROL PLAN.
5. THE EXISTING ASPHALT, BASE, SUBBASE AND OTHER IMPERVIOUS OR SEMI-IMPERVIOUS MATERIALS SHALL BE REMOVED UNTIL VIRGIN GROUND IS REACHED. THIS IS IMPORTANT TO ENSURE THE FUTURE PERVIOUS PAVERS AND UNDERGROUND STORMWATER SYSTEM WILL BE ABLE TO ALLOW WATER TO PERCOLATE INTO THE GROUND.
6. ANY FILL BROUGHT ON-SITE SHALL BE CLEAN FINE SAND MEETING SPECIFICATIONS PER THE SITE SPECIFIC GEOTECHNICAL REPORT.
7. THE CONTRACTOR SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED IN THE SITE SPECIFIC GEOTECHNICAL REPORT.

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL DEMOLISH AND REMOVE ALL INFRASTRUCTURE AS SHOWN AND AS NECESSARY TO ALLOW FOR CONSTRUCTION OF THE FUTURE IMPROVEMENTS.
2. ALL EXISTING BELOW GROUND UTILITIES SERVING THE EXISTING BUILDINGS SHALL REMAIN UNDISTURBED.
3. THE CONTRACTOR SHALL SAW CUT THE EXISTING EDGE OF PAVEMENT PRIOR TO REMOVAL OF ANY CURB OR PAVEMENT.
4. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO REMOVING ANY ABOVE OR BELOW GROUND UTILITIES.
5. CONTRACTOR TO COORDINATE WITH DUKE ENERGY TO COORDINATE ANY UTILITY POLE RELOCATION AND FOR GUIDELINES/REQUIREMENTS WHEN WORKING IN VICINITY OF THEIR FACILITIES.
6. DURING DEMOLITION AND CONSTRUCTION PHASES THE SITE SHALL BE SURROUNDED BY A SILT FENCE. SEE EROSION CONTROL PLAN.
7. THE EXISTING CONCRETE, ASPHALT, BASE, SUBBASE AND OTHER IMPERVIOUS OR SEMI-IMPERVIOUS MATERIALS SHALL BE REMOVED UNTIL VIRGIN GROUND IS REACHED. THIS IS IMPORTANT TO ENSURE THE FUTURE PERVIOUS PAVERS AND UNDERGROUND STORMWATER SYSTEM WILL BE ABLE TO ALLOW WATER TO PERCOLATE INTO THE GROUND.
8. ANY FILL BROUGHT ON-SITE SHALL BE CLEAN FINE SAND MEETING SPECIFICATIONS PER THE SITE SPECIFIC GEOTECHNICAL REPORT.
9. THE CONTRACTOR SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED IN THE SITE SPECIFIC GEOTECHNICAL REPORT.

GEOTECHNICAL ENGINEER CERTIFICATION REQUIRED

1. THE CONTRACTOR SHALL HAVE A GEOTECHNICAL ENGINEER CERTIFY THAT ALL IMPERVIOUS OR SEMI-IMPERVIOUS AREAS HAVE BEEN PROPERLY REMOVED IN THE VICINITY OF WHERE THE FUTURE PERVIOUS PAVERS WILL BE INSTALLED.
2. THE CONTRACTOR SHALL HAVE A GEOTECHNICAL ENGINEER CERTIFY THAT ANY IMPORTED MATERIAL MEETS THE MINIMUM REQUIREMENTS AS SPECIFIED IN THE SITE SPECIFIC GEOTECHNICAL REPORT.

TREE PROTECTION NOTES:

1. REFER TO TREE PROTECTION NOTES ON SHEET 4.

FROM SURVEY:
 ORIGINATION BENCHMARK
 PINELLAS COUNTY
 BENCHMARK "HARRIS R"
 N.A.V.D. ELEVATION = 31.80'

DATUM NOTE:
 NOTE: ALL ELEVATIONS ARE IN NAVD 1988 DATUM. REFER TO SURVEY.

3-12-2026	REVISED PER CITY BRC COMMENTS
4-4-2026	REVISED PER CITY BRC COMMENTS
11-2025	REVISED PER CITY BRC COMMENTS
12-22-2025	REVISED PER CITY BRC COMMENTS
12-22-2025	REVISED PER CITY BRC COMMENTS

Design: ELM Scale: 1"=20'
 Drawn: ELM Date: 12-22-2025
 Checked: JCL Job No.: 882-01

WHITEHURST DEVELOPMENT
 EXISTING CONDITIONS & DEMOLITION PLAN

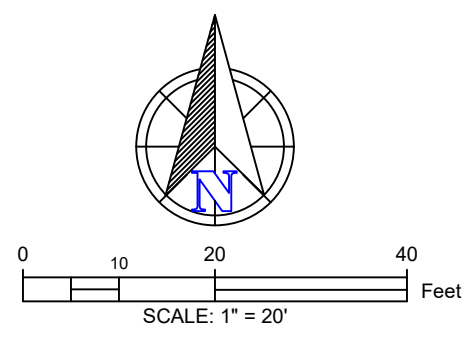
WHITEHURST & CO, LLC
 650 E LAKE DRIVE
 TARPON SPRINGS, FL 34688

LMA
 Landon, Moore & Associates, Inc.
 Civil & Environmental Engineers - Planners - Surveyors
 31629 U.S. 49 NORTH PALM HARBOR, FLORIDA 34684
 Phone: (727)789-6010, Fax: (727)787-1394
 Toll Free: 1-800-882-9860, WWW.LMAENGR.COM

Erik Madsen
 State of Florida, Professional Engineer, License No. 58102

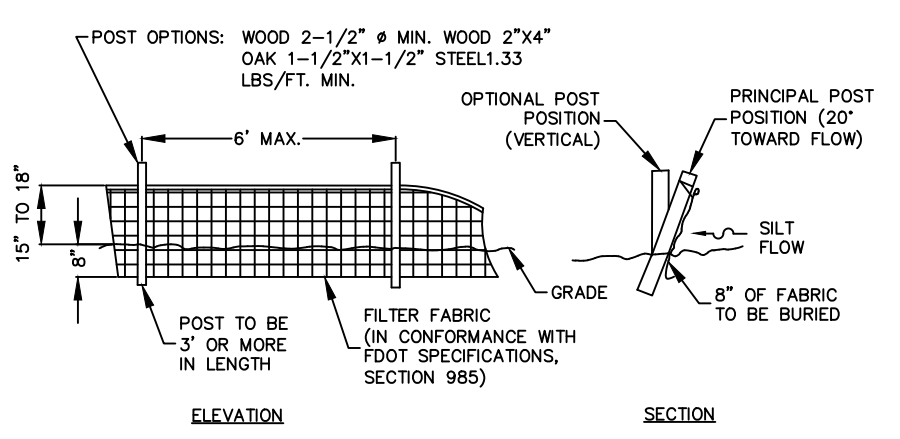
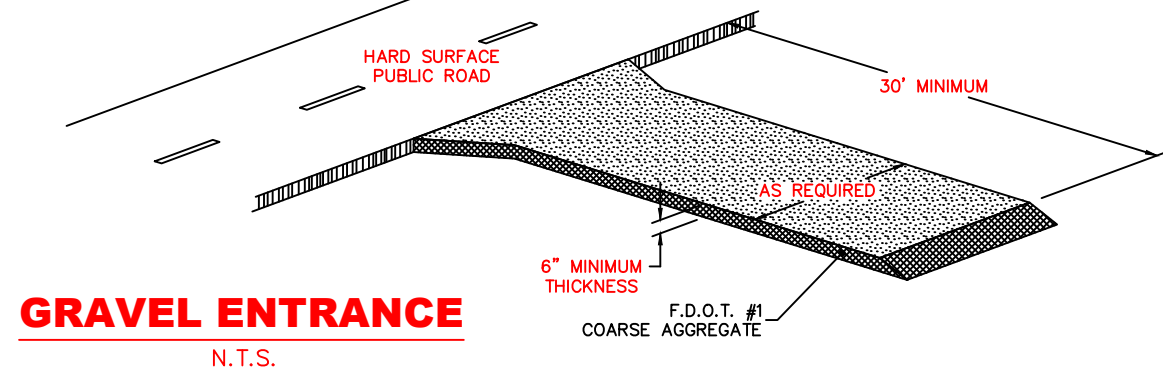
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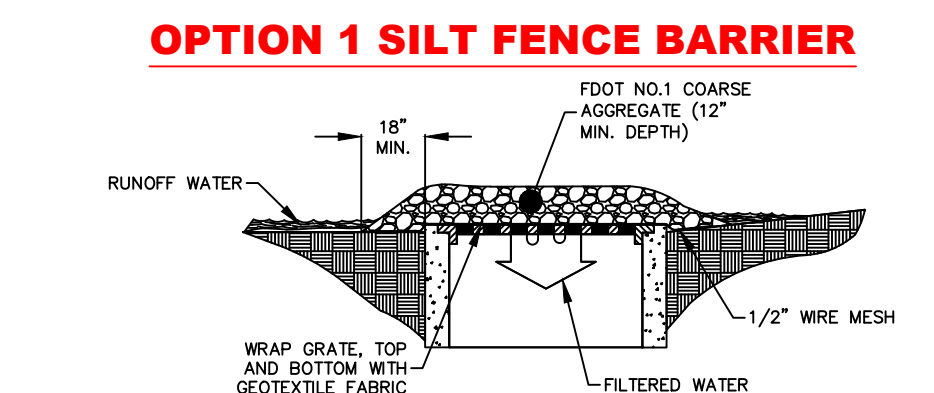
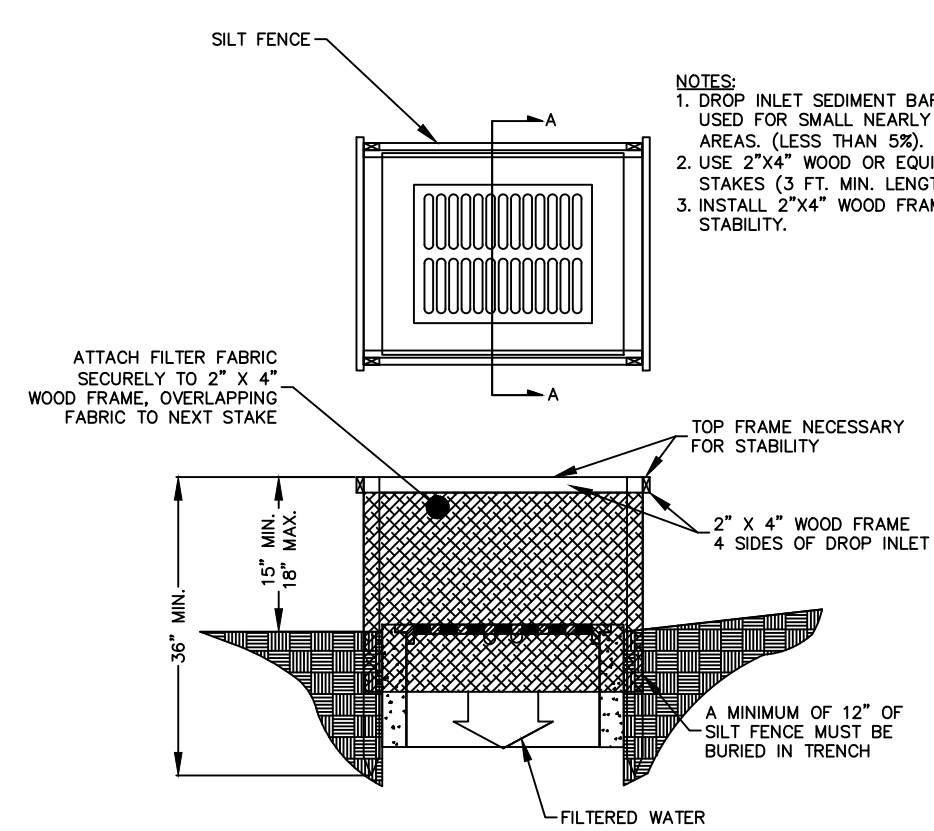
STORMWATER POLLUTION PREVENTION NOTES

- The contractor shall at a minimum implement the stormwater pollution prevention measures as shown in this plan set. These measures may include, but not limited to, the construction of retention/detention ponds, control structures, tree barricades, and silt fences.
- In addition to the measures shown in this plan set, the contractor shall take all necessary and practical measures in order to reduce erosion and sedimentation to both on-site and off-site surface waters, lakes, and wetlands. These measures may include, but not limited to, hay bales at stormwater inlets, floating turbidity barriers, hay bale dikes, stabilization of steep slopes with sodding or seeding/mulching, site entrance/exit control stabilization with gravel, temporary sediment basins and berms.
- In addition to the measures shown in this plan set, the contractor shall take all necessary and practical measures in order to reduce airborne transportation of sediments. These measures may include, but not limited to, site watering and additional silt fence installation.
- The contractor shall at a minimum inspect the above referenced measures at least once a week or within 24 hours after 0.25 inches of rainfall. An inspection report shall be completed for each inspection. Any permit violation shall be noted and corrective measures taken shall be noted. This report shall be given to Landon, Moore & Assoc., Inc. after construction completion.
- In order to meet FDEP NPDES requirements, the contractor shall prepare a SWPPP following standard industry practices. The contractor can find training, samples, guidance, and templates to help in the development of the SWPPP on FDEP's web page: <http://www.dep.state.fl.us/water/stormwater/npdes/construction3.htm>
- At least a week before construction begins, the contractor shall submit to FDEP a CGP Notice of Intent (NOI) form to obtain coverage. This form is available on FDEP's web page: <http://www.dep.state.fl.us/water/stormwater/npdes/construction3.htm>
- The cost of implementing the above measures are to be included within the contractors contract with the developer.



- NOTES:**
- THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.
 - TEMPORARY EROSION CONTROL TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY THE ENGINEER OR AREAS ON SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL MAY BE REMOVED AFTER UPSLOPE AREA HAS BEEN STABILIZED BY SOIL, OR COMPACTED AS DETERMINED BY THE ENGINEER.
 - PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.
 - TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMIC, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.
 - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.
 - NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
 - MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.

SILT FENCE AND EROSION CONTROL DETAIL
N.T.S.



SILT FENCE NOTE

- NOTE: ALL SILT FENCING AND OTHER EROSION CONTROL MEASURES WILL BE INSTALLED PRIOR TO THE COMMENCEMENT OF SITE WORK AND MAINTAINED THROUGHOUT THE PROJECT.

SILT FENCE TRENCHING NEAR TREES NOTES

- IN AREAS WHERE TREES WILL REMAIN, THE SILT FENCE SHALL NOT BE TRENCHED WHERE IT WILL DAMAGE EXISTING TREE ROOTS. CONTRACTOR TO COORDINATE WITH THE PROJECT ARBORIST AND/OR THE CITY OF CLEARWATER TO DETERMINE THE LIMITS OF WHERE TRENCHING SHALL NOT BE CONDUCTED.

TREE PROTECTION NOTES

TREES NOT SHOWN FOR REMOVAL ON THE DEMOLITION PLAN THAT ARE LOCATED ON THE PROPERTY SHALL BE PRESERVED. THE CONTRACTOR SHALL ADHERE TO ALL PERMIT REQUIREMENTS OF THE CITY OF CLEARWATER RELATED TO TREE PRESERVATION. THIS INCLUDES COMPLIANCE WITH THE TREE PRESERVATION PLAN AND COORDINATION WITH THE PROJECT ARBORIST, CITY ARBORIST, AND LANDSCAPE ARCHITECT.

THE PROJECT ARBORIST SHALL PREPARE A TREE PRESERVATION PLAN THAT SHALL BE SUBMITTED TO THE CITY ALONG WITH THE CONSTRUCTION PLANS. THIS PRESERVATION PLAN SHALL DESCRIBE IN DETAIL THE MEASURE THAT WILL BE IMPLEMENTED TO ENSURE THE SURVIVAL OF TREES CHOSEN FOR PRESERVATION.

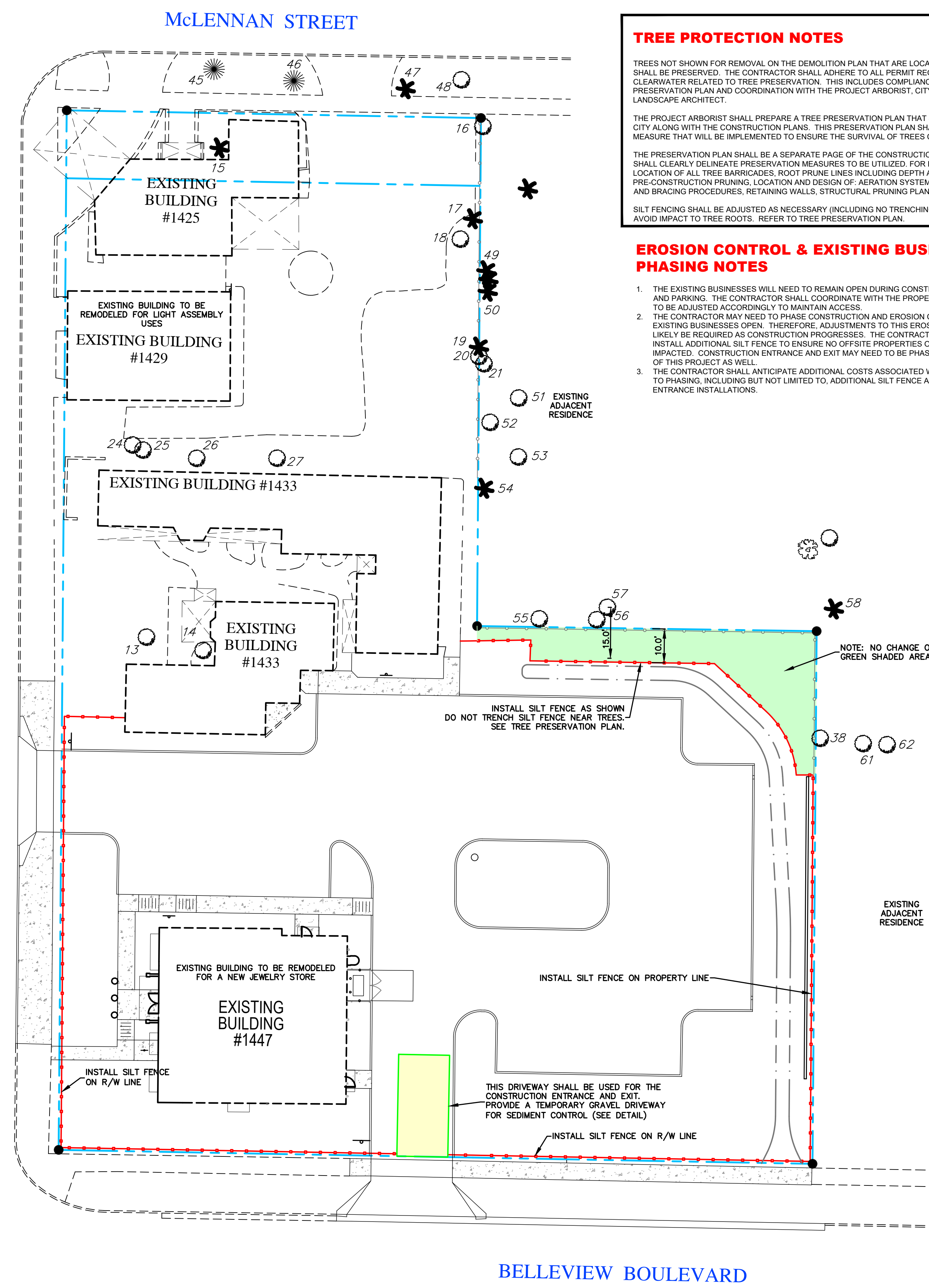
THE PRESERVATION PLAN SHALL BE A SEPARATE PAGE OF THE CONSTRUCTION PLANS AND SHALL CLEARLY DELINEATE PRESERVATION MEASURES TO BE UTILIZED. FOR EXAMPLE: TYPE AND LOCATION OF ALL TREE BARRICADES, ROOT PRUNE LINES INCLUDING DEPTH AND LENGTH, PRE-CONSTRUCTION PRUNING, LOCATION AND DESIGN OF AERATION SYSTEMS, MULCH, CABLING AND BRACING PROCEDURES, RETAINING WALLS, STRUCTURAL PRUNING PLANS, ETC.

SILT FENCINGS SHALL BE ADJUSTED AS NECESSARY (INCLUDING NO TRENCHING IN TREE ROOT ZONES) TO AVOID IMPACT TO TREE ROOTS. REFER TO TREE PRESERVATION PLAN.

EROSION CONTROL & EXISTING BUSINESSES PHASING NOTES

- THE EXISTING BUSINESSES WILL NEED TO REMAIN OPEN DURING CONSTRUCTION INCLUDING ACCESS AND PARKING. THE CONTRACTOR SHALL COORDINATE WITH THE PROPERTY OWNER. SILT FENCING TO BE ADJUSTED ACCORDINGLY TO MAINTAIN ACCESS.
- THE CONTRACTOR MAY NEED TO PHASE CONSTRUCTION AND EROSION CONTROL TO KEEP THE EXISTING BUSINESSES OPEN. THEREFORE, ADJUSTMENTS TO THIS EROSION CONTROL PLAN WILL LIKELY BE REQUIRED AS CONSTRUCTION PROGRESSES. THE CONTRACTOR SHALL ADJUST AND INSTALL ADDITIONAL SILT FENCE TO ENSURE NO OFFSITE PROPERTIES OR RIGHT-OF-WAYS ARE IMPACTED. CONSTRUCTION ENTRANCE AND EXIT MAY NEED TO BE PHASED DURING CONSTRUCTION OF THIS PROJECT AS WELL.
- THE CONTRACTOR SHALL ANTICIPATE ADDITIONAL COSTS ASSOCIATED WITH EROSION CONTROL DUE TO PHASING, INCLUDING BUT NOT LIMITED TO, ADDITIONAL SILT FENCE AND GRAVEL DRIVEWAY ENTRANCE INSTALLATIONS.

SOUTH FT. HARRISON AVENUE



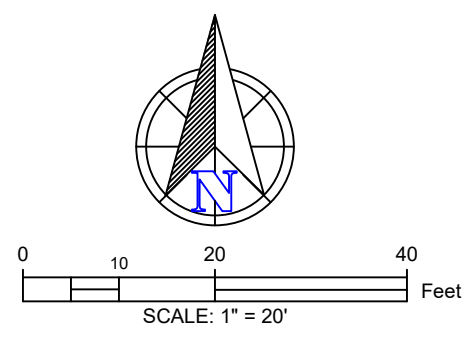
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DRAWN: ELM	DATE: 12-22-2025	REVISED PER CITY DRC COMMENTS
CHECKED: JCL	JOB NO.: 882-01	REVISED PER CITY COMMENTS
<p>WHITEHURST DEVELOPMENT EROSION CONTROL PLAN</p> <p>WHITEHURST & CO, LLC 550 E LAKE DRIVE TARPOON SPRINGS, FL 34688</p>		
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Landon, Moore & Associates, Inc.
Civil & Environmental Engineers - Planners - Surveyors
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Erik Madsen
State of Florida, Professional Engineer, License No. 58102

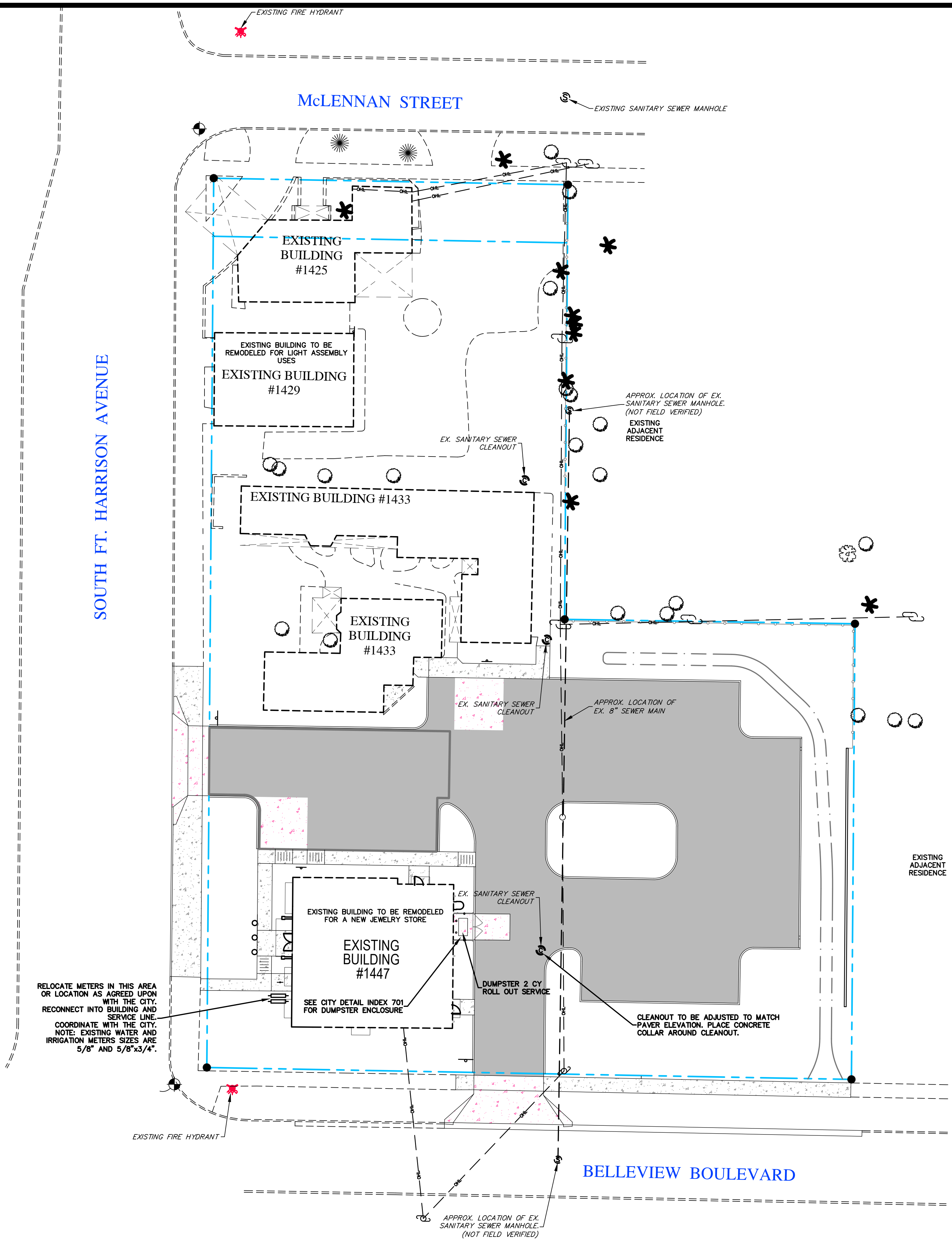
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PROPOSED LEGEND

	PERVIOUS PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK



SIGHT TRIANGLES NOTE
 WITHIN SIGHT VISIBILITY TRIANGLES, UNOBSTRUCTED SIGHT LINES AND CROSS VISIBILITY SHALL BE MAINTAINED BETWEEN A HEIGHT OF 30 INCHES AND EIGHT FEET ABOVE GRADE. NO STRUCTURE, OBJECT, AND/OR VEGETATION SHALL BE PLACED AND/OR MAINTAINED IN A MANNER WHICH MATERIALLY IMPEDES THE VISIBILITY FROM A STREET, ALLEY OR DRIVEWAY OF LAWFULLY ONCOMING TRAFFIC FROM ANY DIRECTION IN THE INTERSECTING PUBLIC STREET.

DESIGN:	ELM Scale: 1"=20'	REVISED PER CITY DRC COMMENTS PER OWNER AND ARCHITECT CHANGES
DRAWN:	ELM Date: 12-22-2025	REVISED PER CITY DRC COMMENTS
CHECKED:	JCL Job No.: 882-01	REVISED PER CITY COMMENTS
NOTICE TO CONTRACTOR/OWNER CONSTRUCTION IS NOT AUTHORIZED UNTIL PLANS HAVE BEEN ISSUED BY LANDON, MOREE & ASSOCIATES, INC.'S STAMPED/ISSUED FOR CONSTRUCTION.		

WHITEHURST DEVELOPMENT
UTILITY PLAN

WHITEHURST & CO, LLC
550 E. LAKE DRIVE
TARPOON SPRINGS, FL 34688

EB #4096

LMA
Landon, Moree & Associates, Inc.
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Erik Madsen
State of Florida, Professional Engineer, License No. 58102

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LAYER	MATERIAL TYPE*	MINIMUM MATERIAL THICKNESS (IN) - PERMEABLE PAVERS					
		MODERATE VEHICULAR		LIGHT VEHICULAR		PEDESTRIAN	
		GOOD SOILS**	POOR SOILS**	GOOD SOILS**	POOR SOILS**	GOOD SOILS**	POOR SOILS**
A	PERMEABLE PAVERS	3 1/8	3 1/8	3 1/8	3 1/8	3 1/8	3 1/8
B	BEDDING LAYER ASTM NO. 8	2	2	2	2	2	2
C	BASE LAYER ASTM NO. 57	6	6	6	6	6	6
D	RESERVOIR/SUBBASE LAYER ASTM NO. 2, 3, OR 57	22	28	-	10	-	-

DESIGNER NOTES

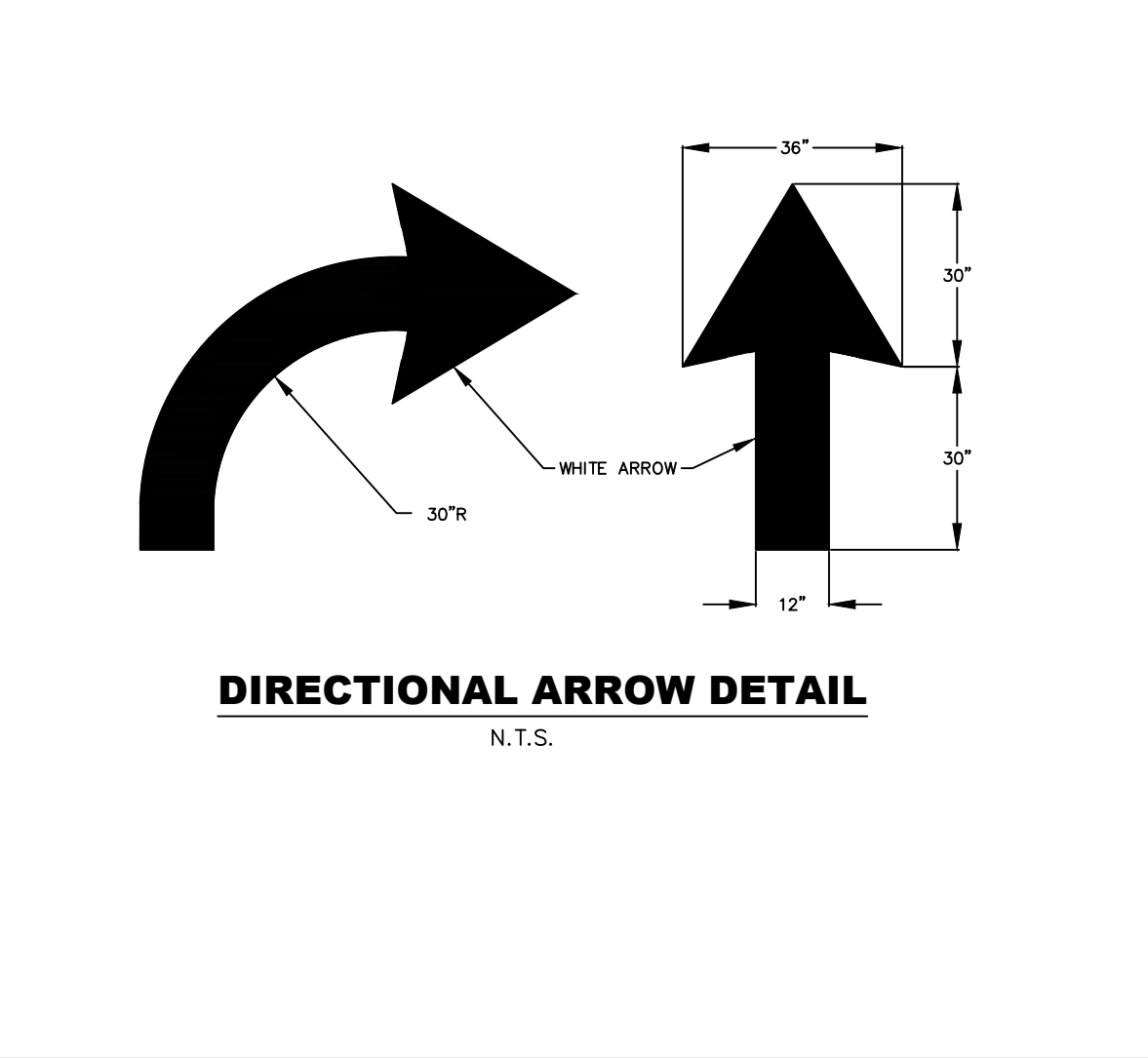
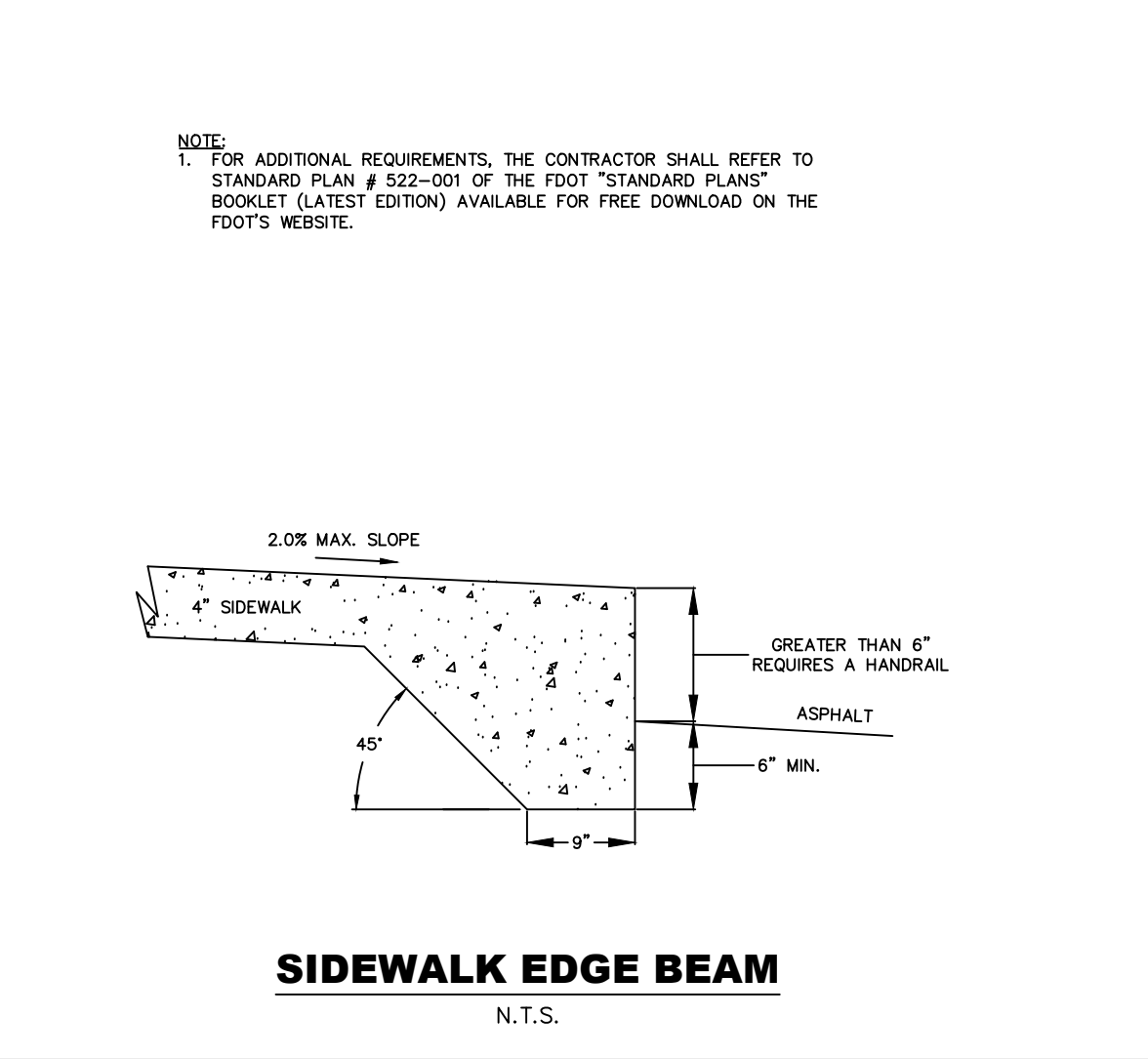
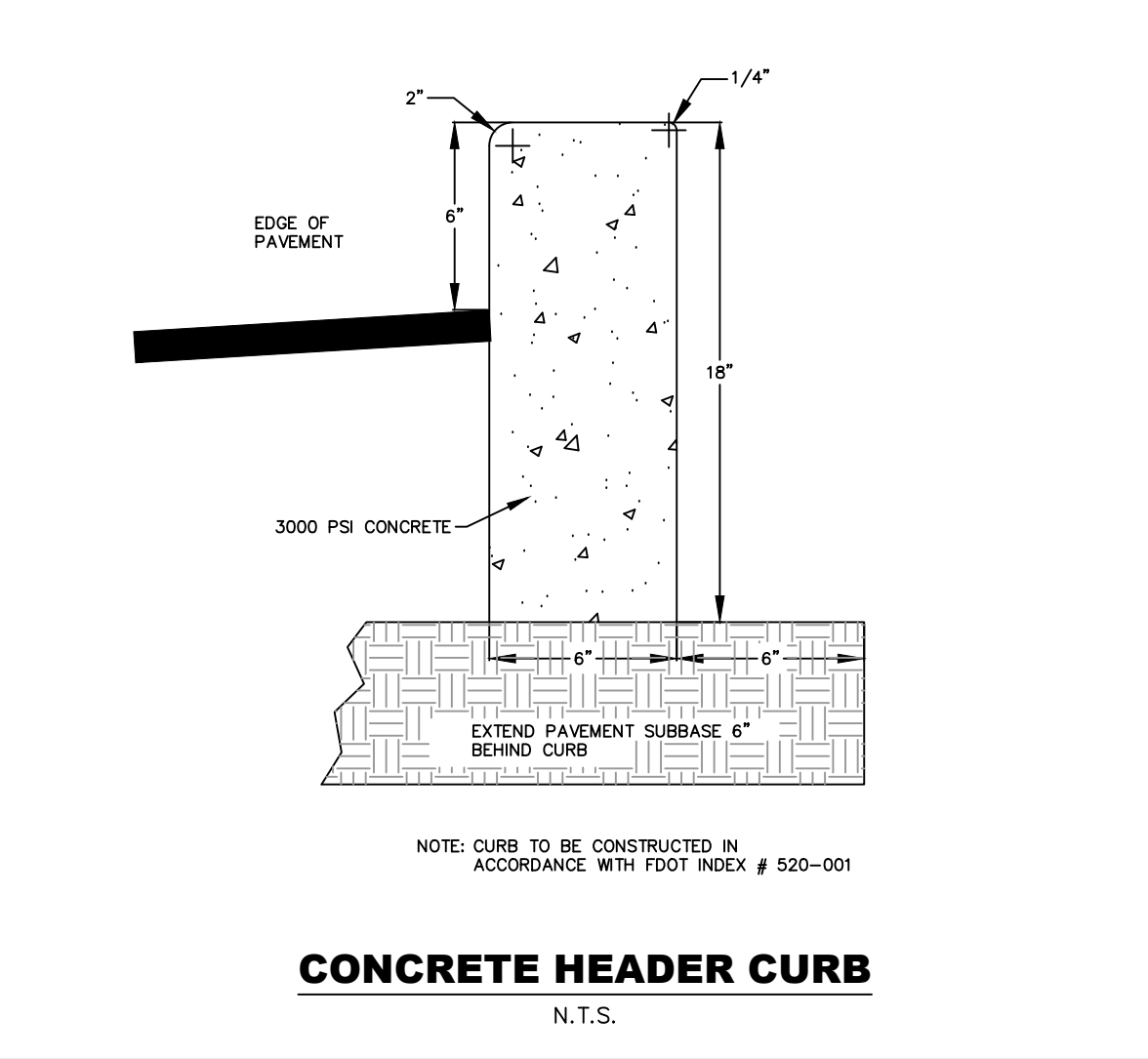
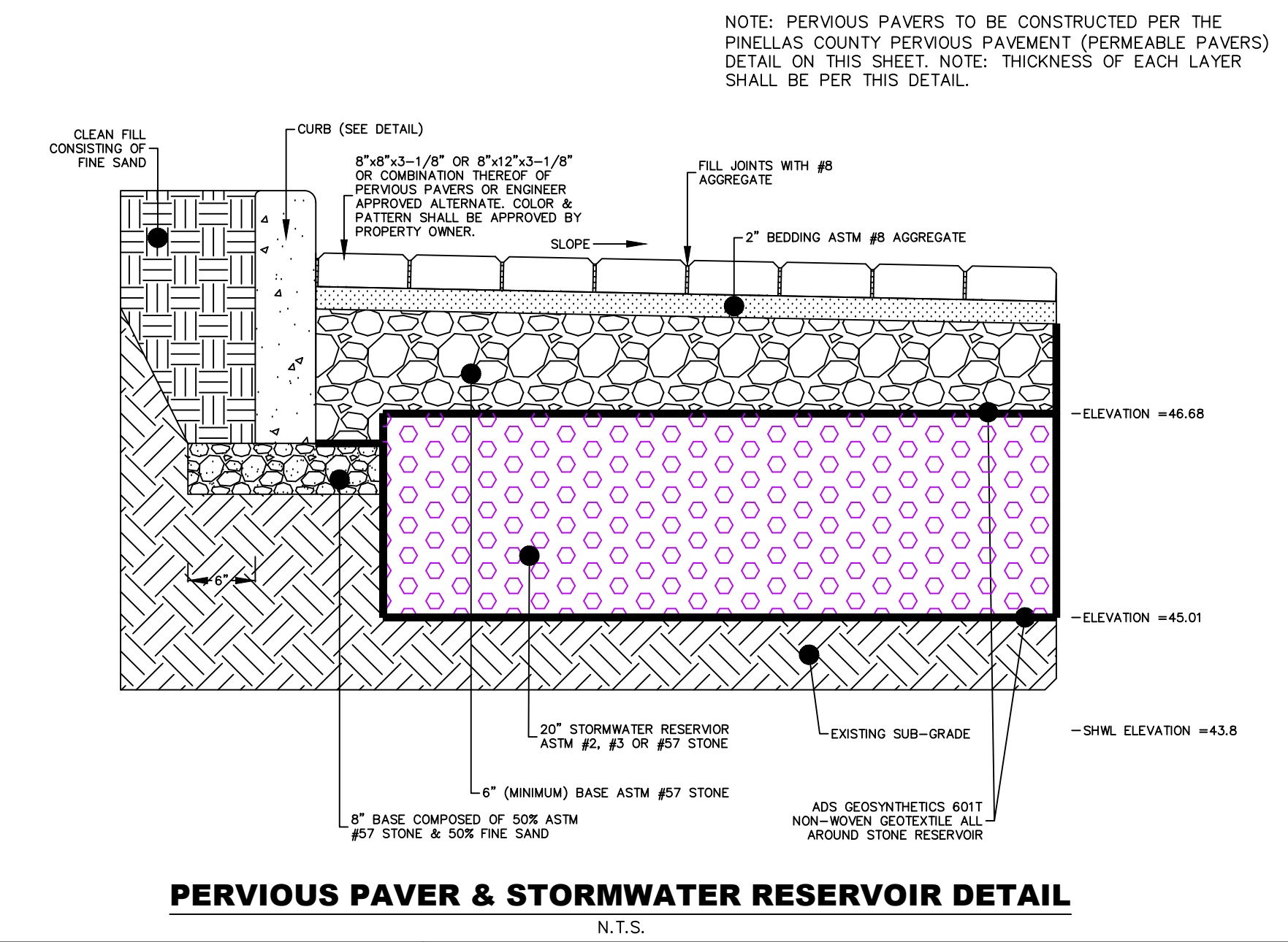
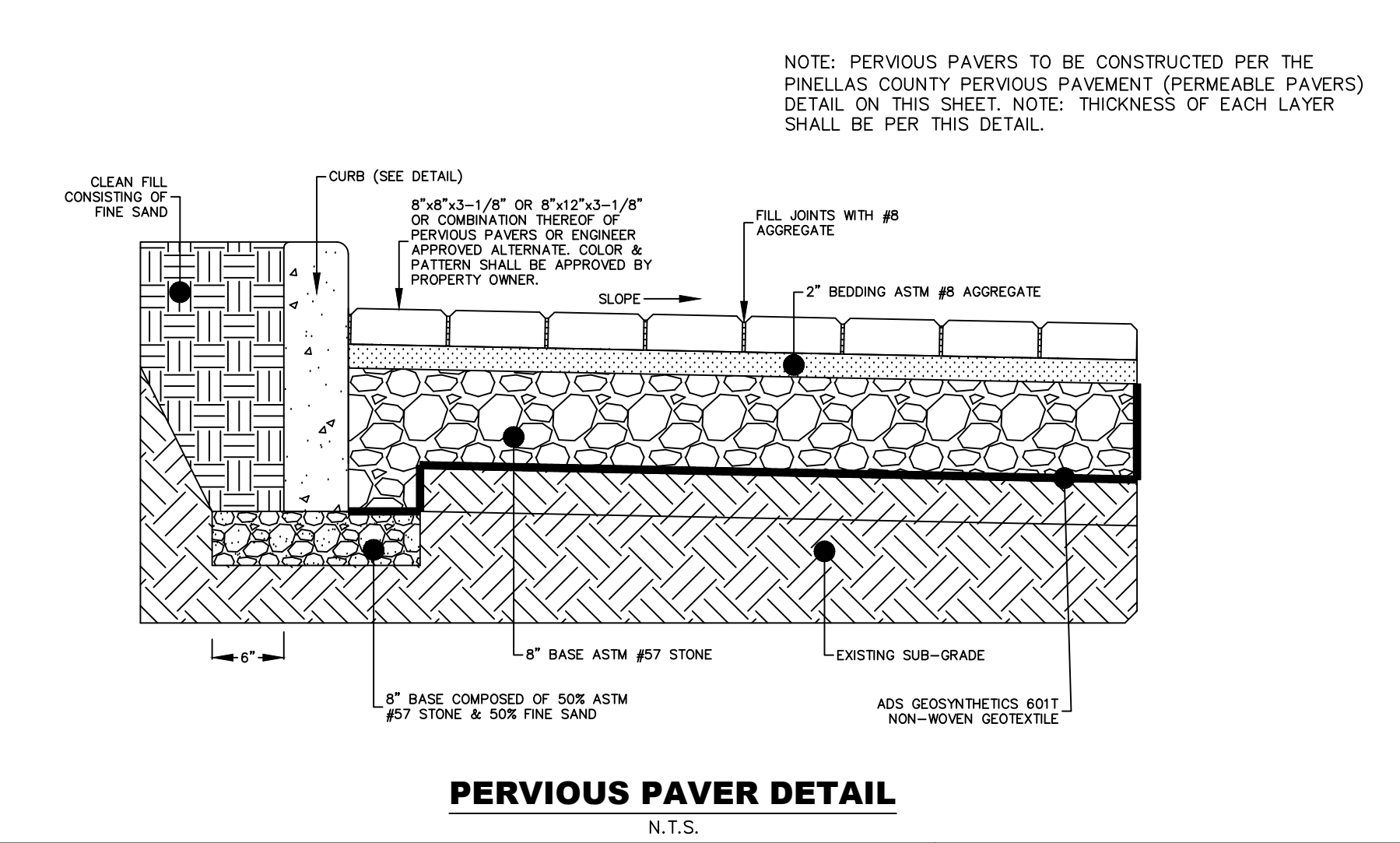
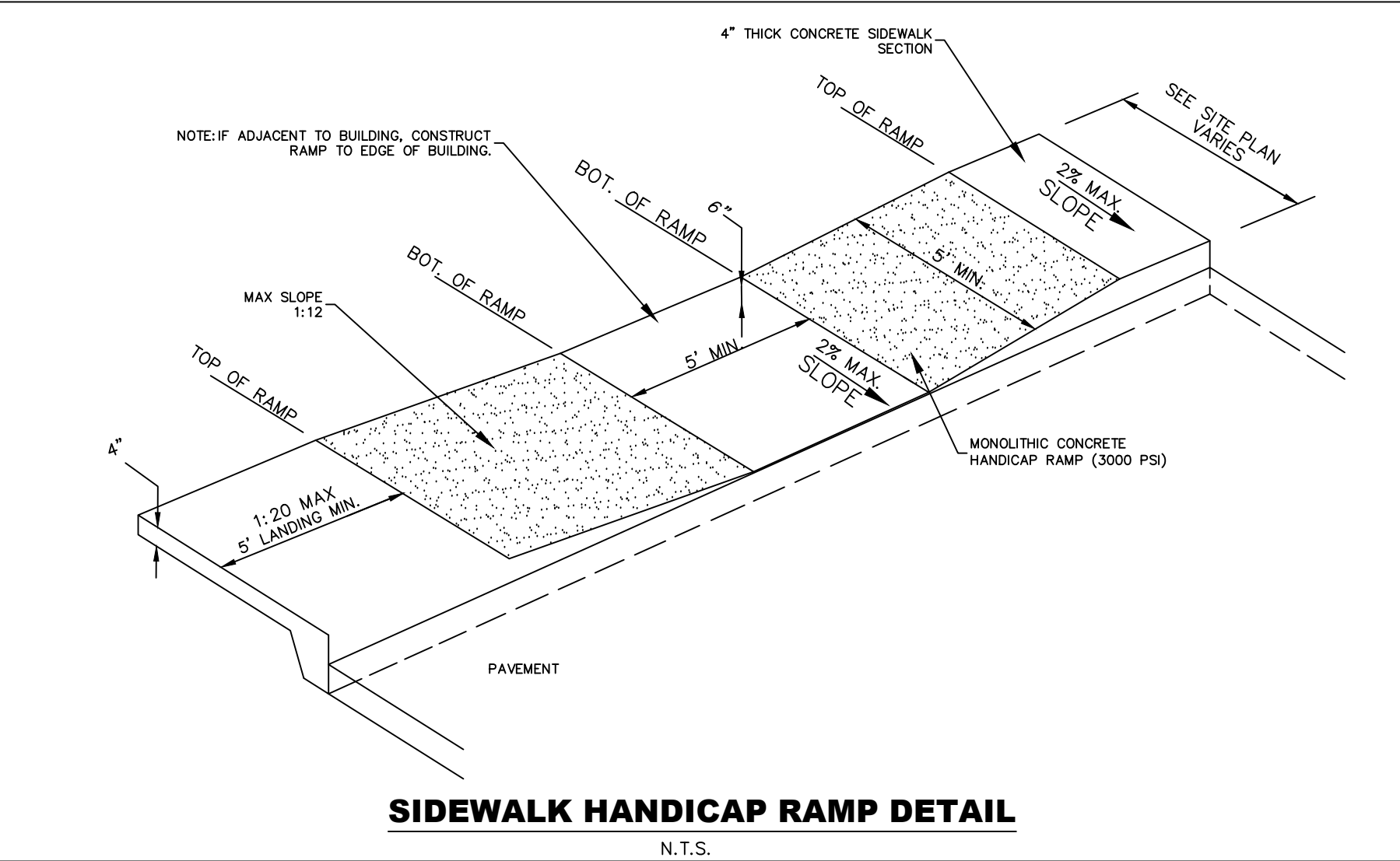
- FOR PUBLIC PROJECTS, ALL ELEMENTS MUST BE WITHIN THE RIGHT OF WAY OR APPROPRIATE EASEMENTS.
- NO PRIVATE SYSTEMS SHALL BE PLACED IN THE PUBLIC RIGHT OF WAY.
- SEE PERMEABLE UNIT PAVERS SPECIFICATIONS FOR WEARING COURSE, PAVEMENT BASE, SUBGRADE, AND OTHER REQUIREMENTS FOR PERMEABLE UNIT PAVEMENT FACILITIES.
- FILTER FABRIC MUST HAVE PERMEABILITY GREATER THAN THE SOIL BELOW.
- UNDERDRAIN REQUIRED IF THE SHGW IS WITHIN 24" FROM THE BOTTOM OF THE PERVIOUS PAVEMENT SYSTEM OR IF THE NATIVE SOIL INFILTRATION DOES NOT ALLOW ADEQUATE INFILTRATION. UNDERDRAIN TO BE DESIGNED BY ENGINEER PER PINELLAS COUNTY DETAIL INDEX NUMBER 1230.
- MINIMUM UTILITY SETBACKS AND PROTECTION MEASURES MUST CONFORM TO CURRENT PINELLAS COUNTY STANDARDS. COORDINATE WITH ENGINEER IN THE EVENT OF UTILITY CROSSING AND UTILITY CONFLICTS.
- DESIGN ENGINEER MUST ENSURE FINAL DESIGN ADHERES TO ALL APPLICABLE COUNTY CODES.

PINELLAS COUNTY

PERVIOUS PAVEMENT
(PERMEABLE PAVERS)

DETAIL INDEX I.D.:
DATE: **SEP/2020**
NOT TO SCALE
REVISION:

Figure 4.6.1. Pinellas County CAD Template for Permeable Pavers



5-18-2026 REVISED PER CITY COMMENTS

Design: ELM Scale: 1"=20'
Drawn: ELM Date: 12-22-2025
Checked: JCL Job No.: 832-01

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CONSTRUCTION IS NOT AUTHORIZED UNTIL PLANS HAVE BEEN ISSUED BY LONDON, MOREE & ASSOCIATES, INC. STAMPED, ISSUED FOR CONSTRUCTION. DO NOT COPY OR REPRODUCE.

WHITEHURST DEVELOPMENT
DETAILS

WHITEHURST & CO, LLC
550 E. LAKE DRIVE
TARPOON SPRINGS, FL 34688

EB #4096

LMA
London, Moree & Associates, Inc.
Civil & Environmental Engineers - Planners - Surveyors
31622 U.S. 19 NORTH PALM HARBOR, FLORIDA 34684
Phone: (727)789-5010, Fax: (727)787-4394
Toll Free: 1-800-282-7980, WWW.LMAENR.COM

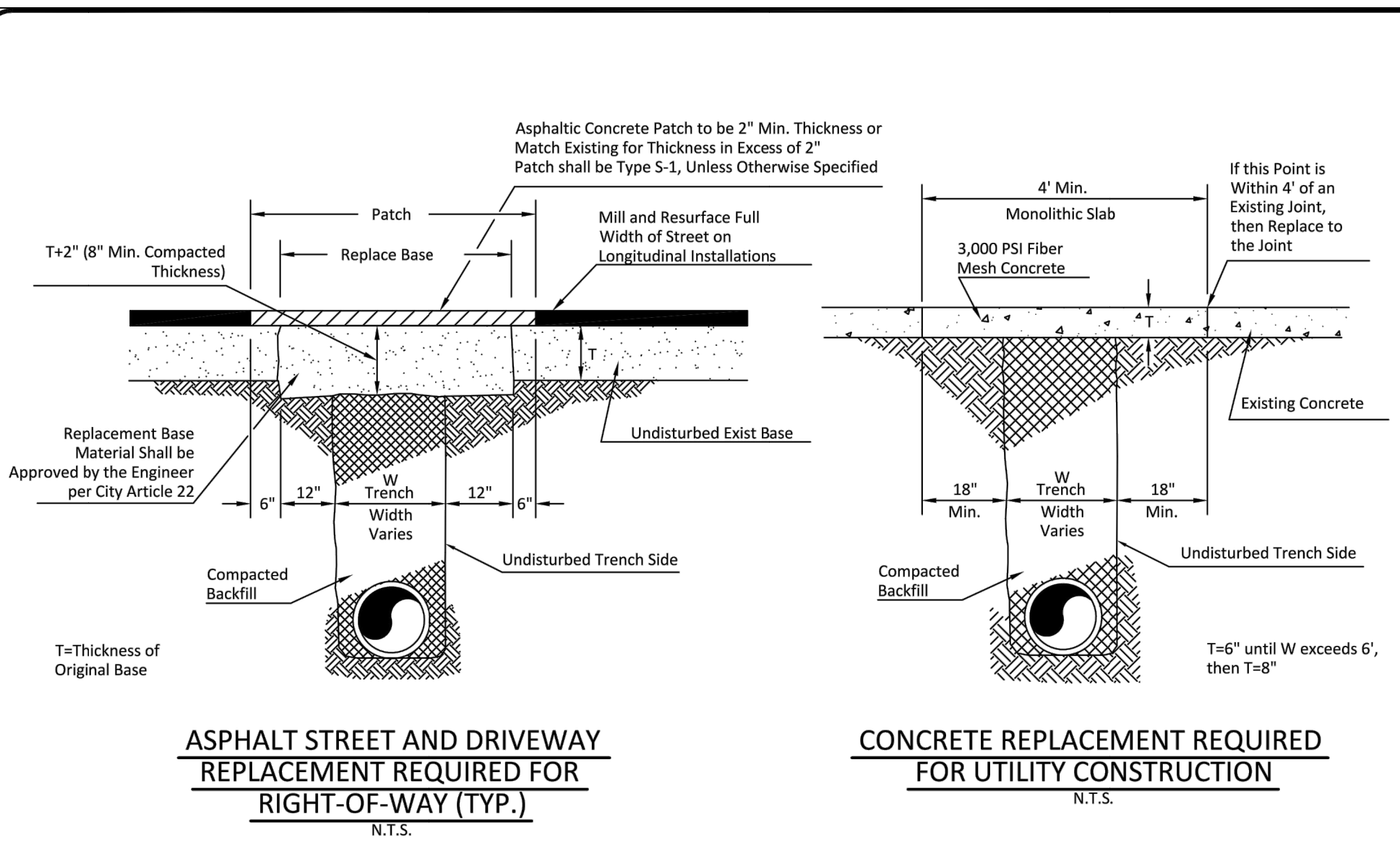
Erik Madsen
State of Florida, Professional Engineer, License No. 58102

This item has been digitally signed and sealed by Erik Madsen, P.E. on the date indicated here.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

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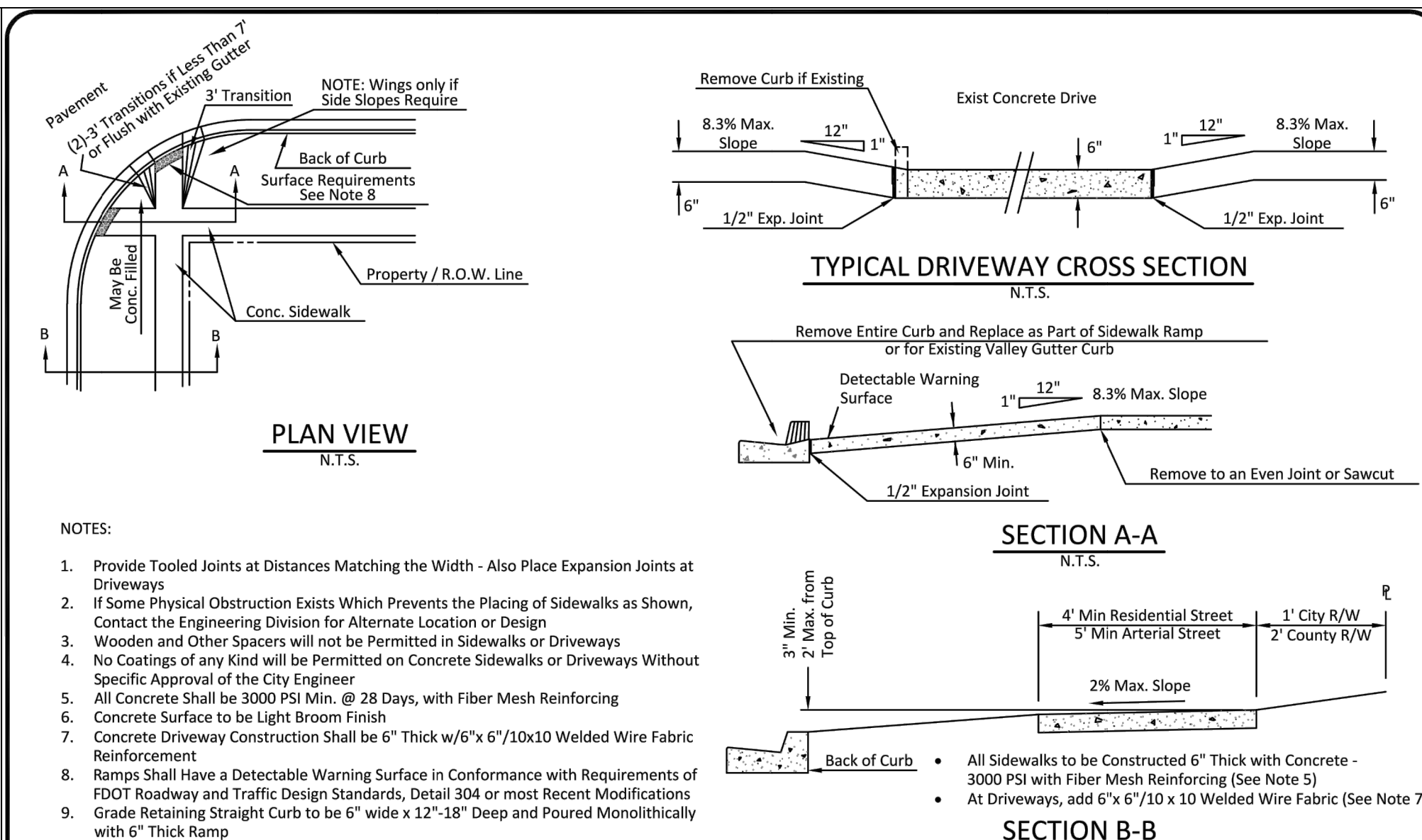
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100 SERIES: STREET SECTIONS AND DETAILS

STREET AND DRIVEWAY REPLACEMENT FOR CONCRETE AND ASPHALTIC CONCRETE SURFACES

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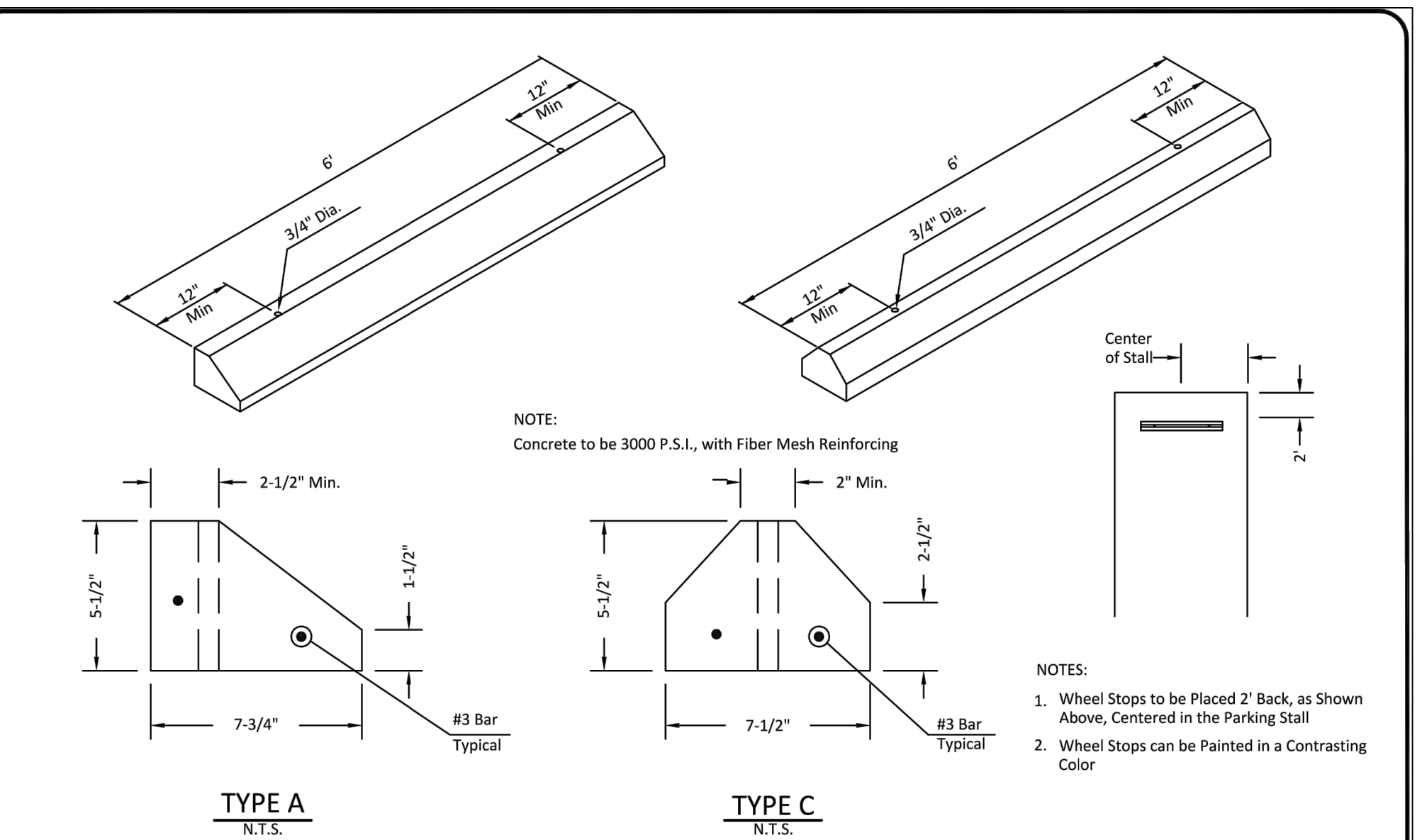
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TYPICAL SIDEWALK CONSTRUCTION AND RAMP DETAIL

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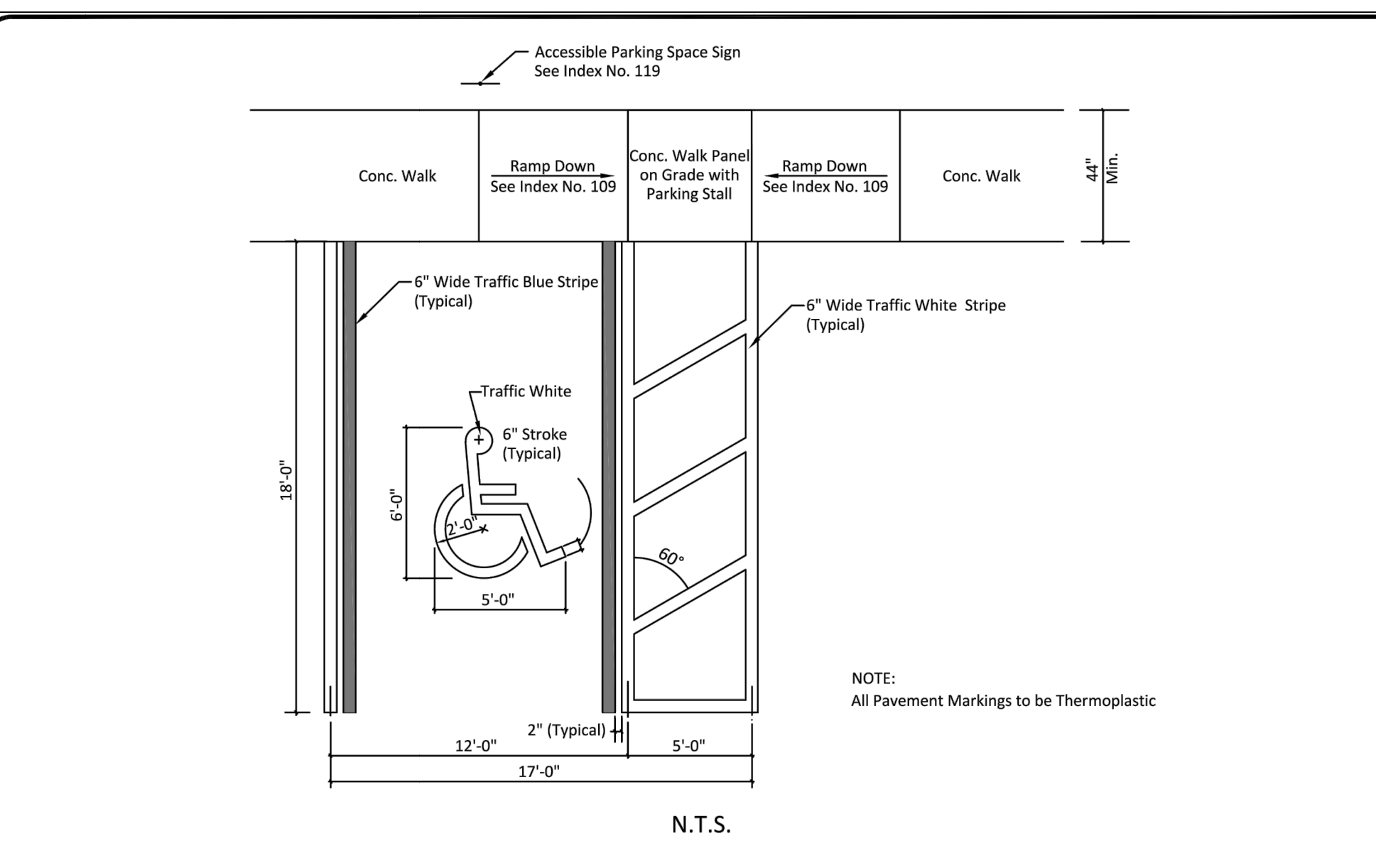
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WHEEL STOPS - REINFORCED CONCRETE

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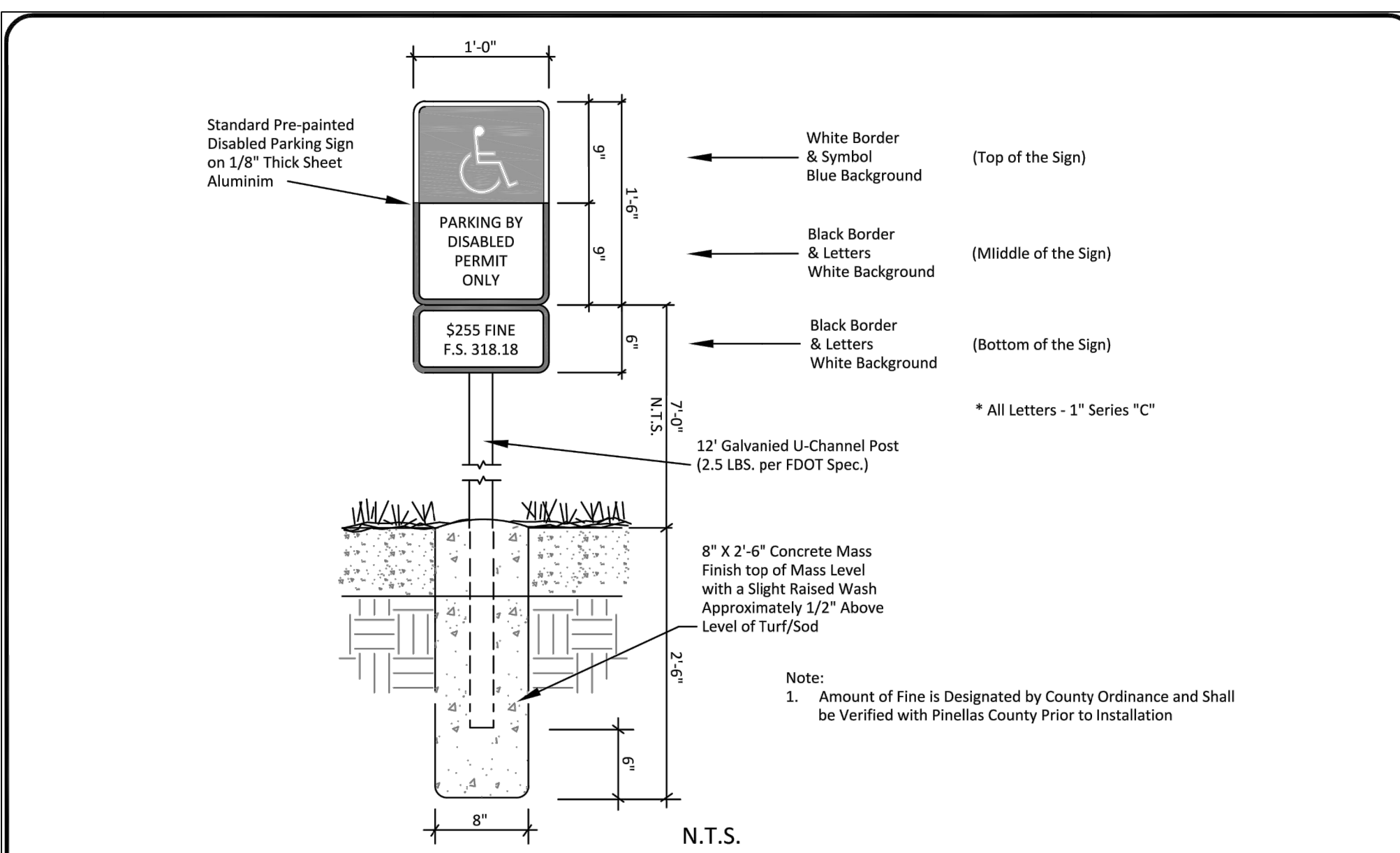
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ACCESSIBLE PARKING STALL - SINGLE

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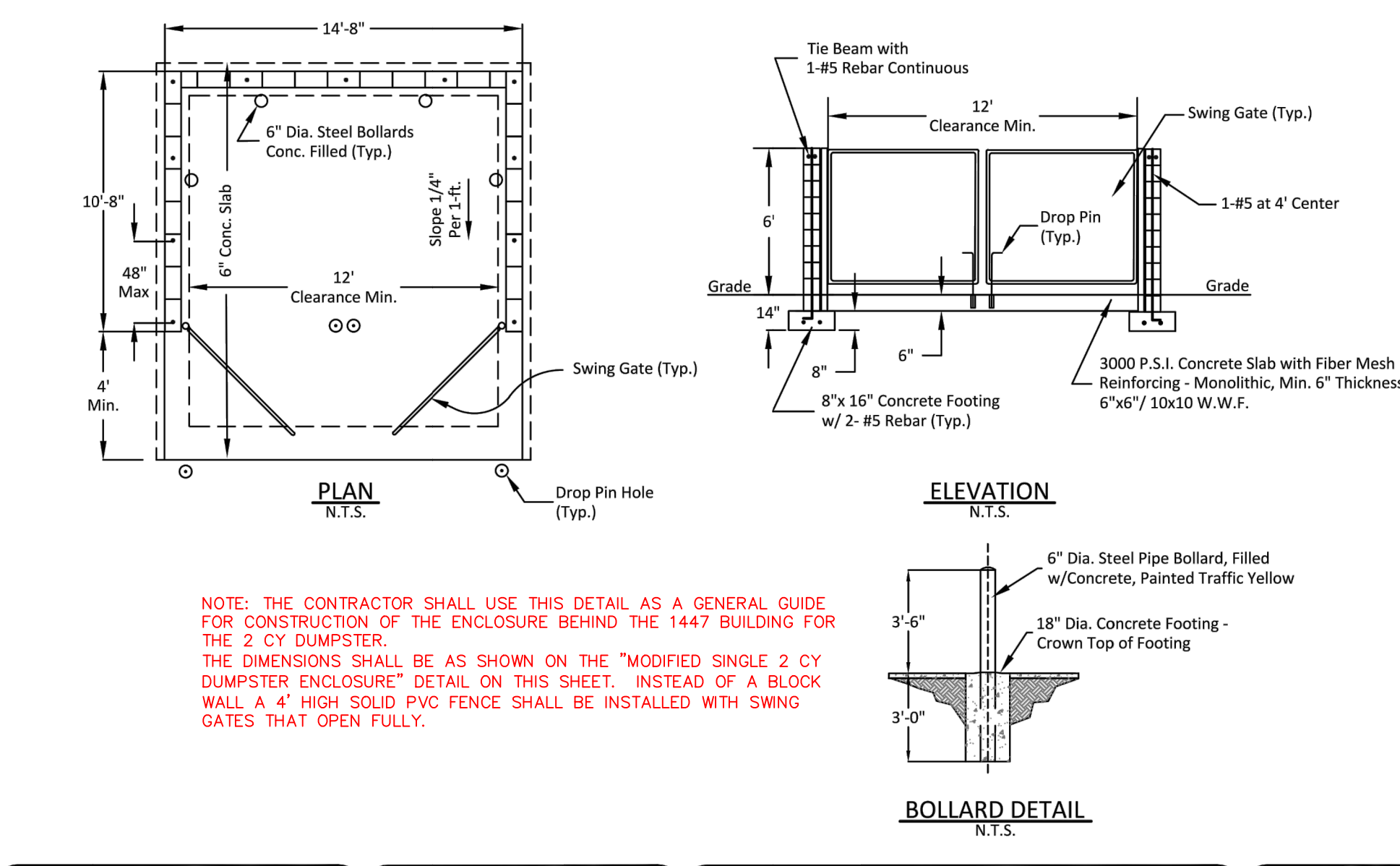
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TYPICAL ACCESSIBLE PARKING SIGN

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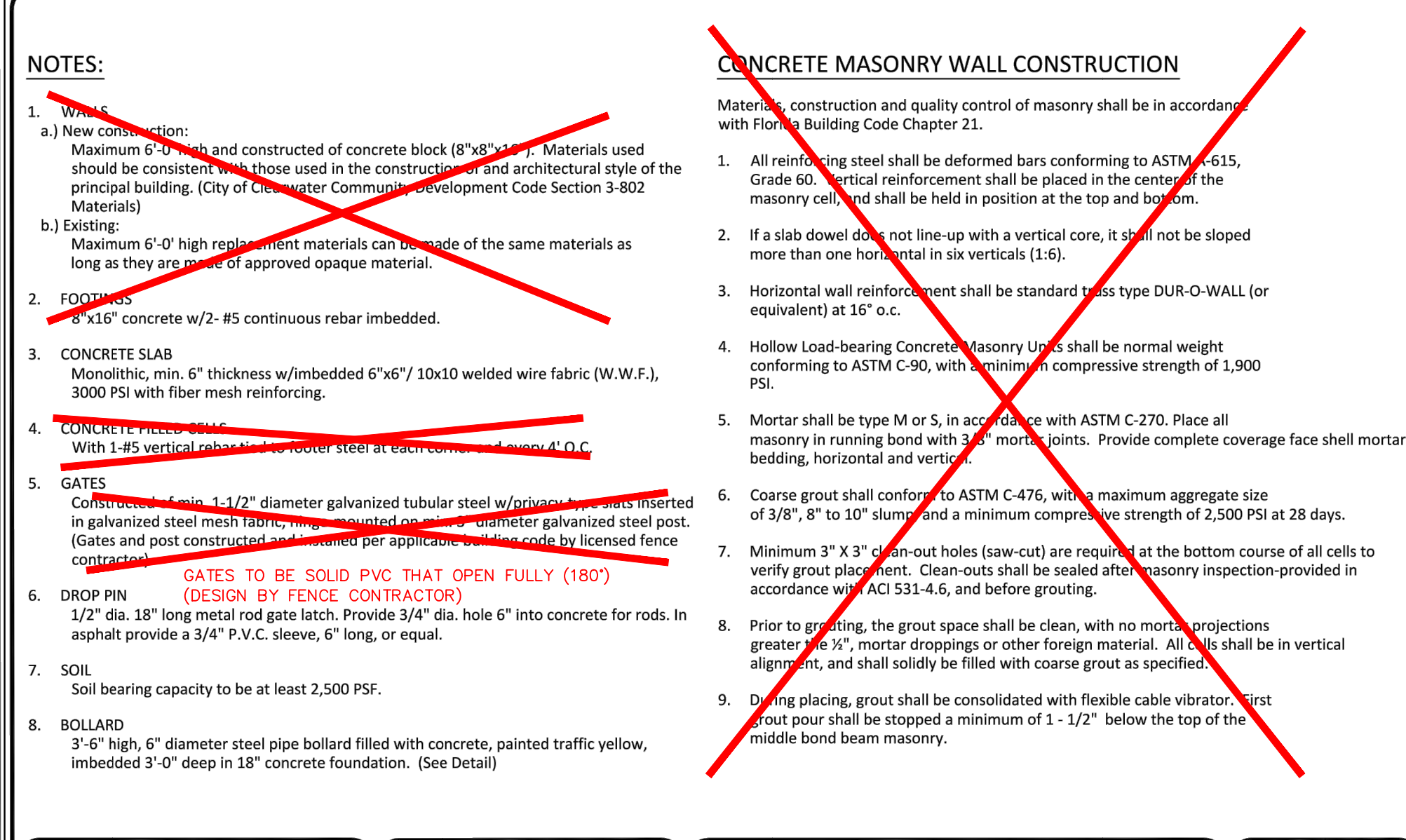
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700 SERIES: MISCELLANEOUS DETAILS

SINGLE DUMPSTER ENCLOSURE

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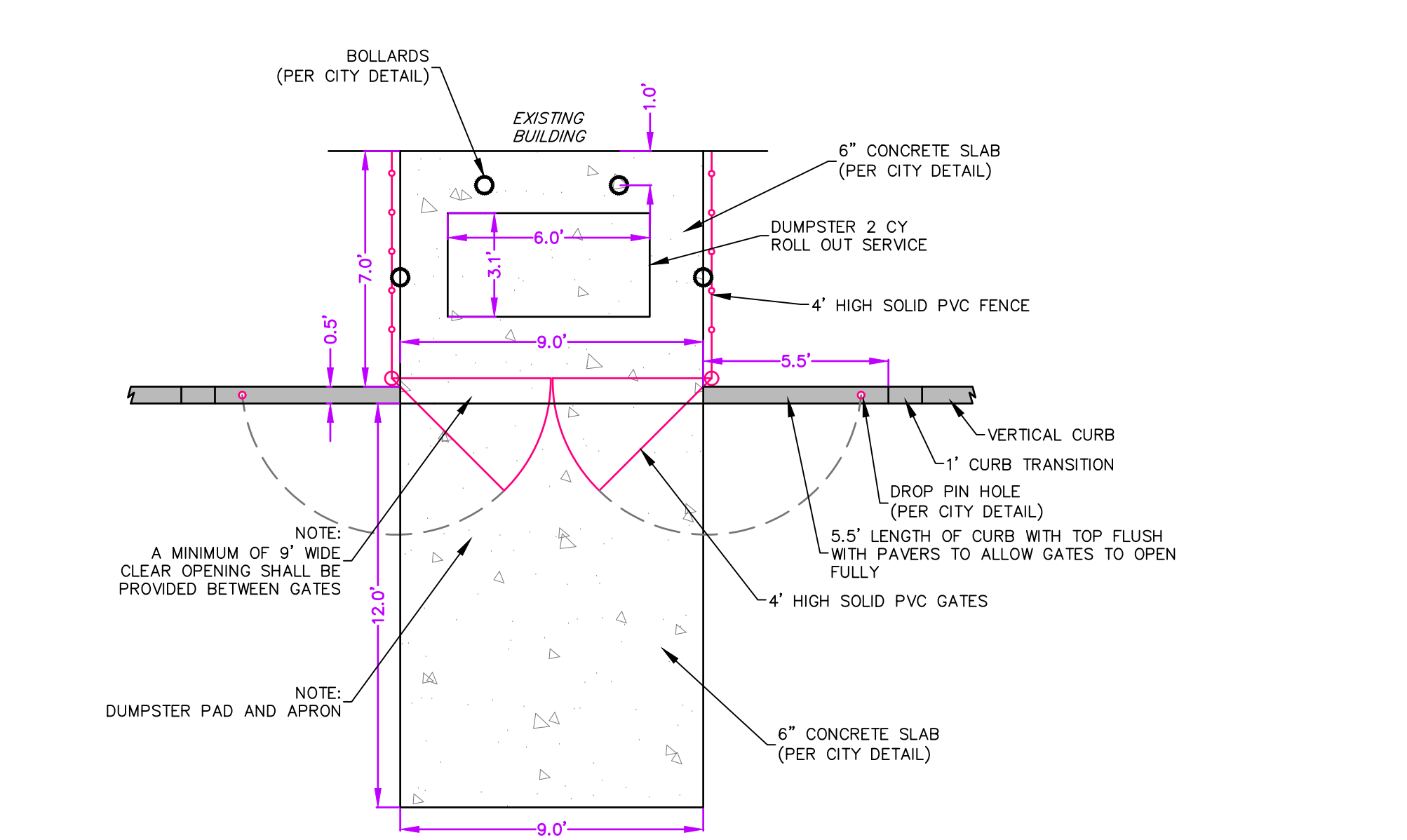
CITY OF CLEARWATER PUBLIC WORKS - ENGINEERING 2022 DESIGN STANDARDS

700 SERIES: MISCELLANEOUS DETAILS

DUMPSTER ENCLOSURE NOTES

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700 SERIES: MISCELLANEOUS DETAILS

MODIFIED SINGLE 2 CY DUMPSTER ENCLOSURE

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DESIGN: ELM Scale: 1"=20'

DRAWN: ELM Date: 12-22-2025

CHECKED: JCL Job No.: 832-01

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PAGE NO. 1 OF 1

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Erik Madsen
State of Florida, Professional Engineer, License No. 58102

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