SECTION 10, TWP. 29 S., RNG. 15 E., PINELLAS COUNTY, FLORIDA

LEGAL DESCRIPTION

LOT 1, GREENFIELD SUBDIVISION, AS RECORDED IN PLAT BOOK 31, PAGE 28, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

CONTAINS 136,459 SQFT OR 3.13 ACRES, MORE OR LESS.

FLOOD ZONE

THE ABOVE DESCRIBED PROPERTY APPEARS TO BE IN ZONE X, X "SHADED", AND IN ZONE AE (BASE FLOOD ELEVATION OF 20 FEET), IN ACCORDANCE WITH THE FIRM MAP OF THE CITY OF CLEARWATER, PINELLAS COUNTY, COMMUNITY NUMBER 125096 (MAP NUMBER 12103C-0106-J), MAP DATED AUGUST 24, 2021.

PREPARED FOR

TO: CRA; ST. BENEDICT HOLDINGS

THIS IS TO CERIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2026 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A,B), 7(A), 8, 9, 10, 13, 14, 16, 18, 19 & 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MAY 4, 2026.

DATE OF PLAT OR MAP: 5-4-2026

MEAGAN R. ATTEBERY KRSYAK
PROFESSIONAL SURVEYOR AND MAPPER LICENSE NO. 7573

PREPARED FOR

ZONED: I (INSTITUTIONAL DISTRICT)

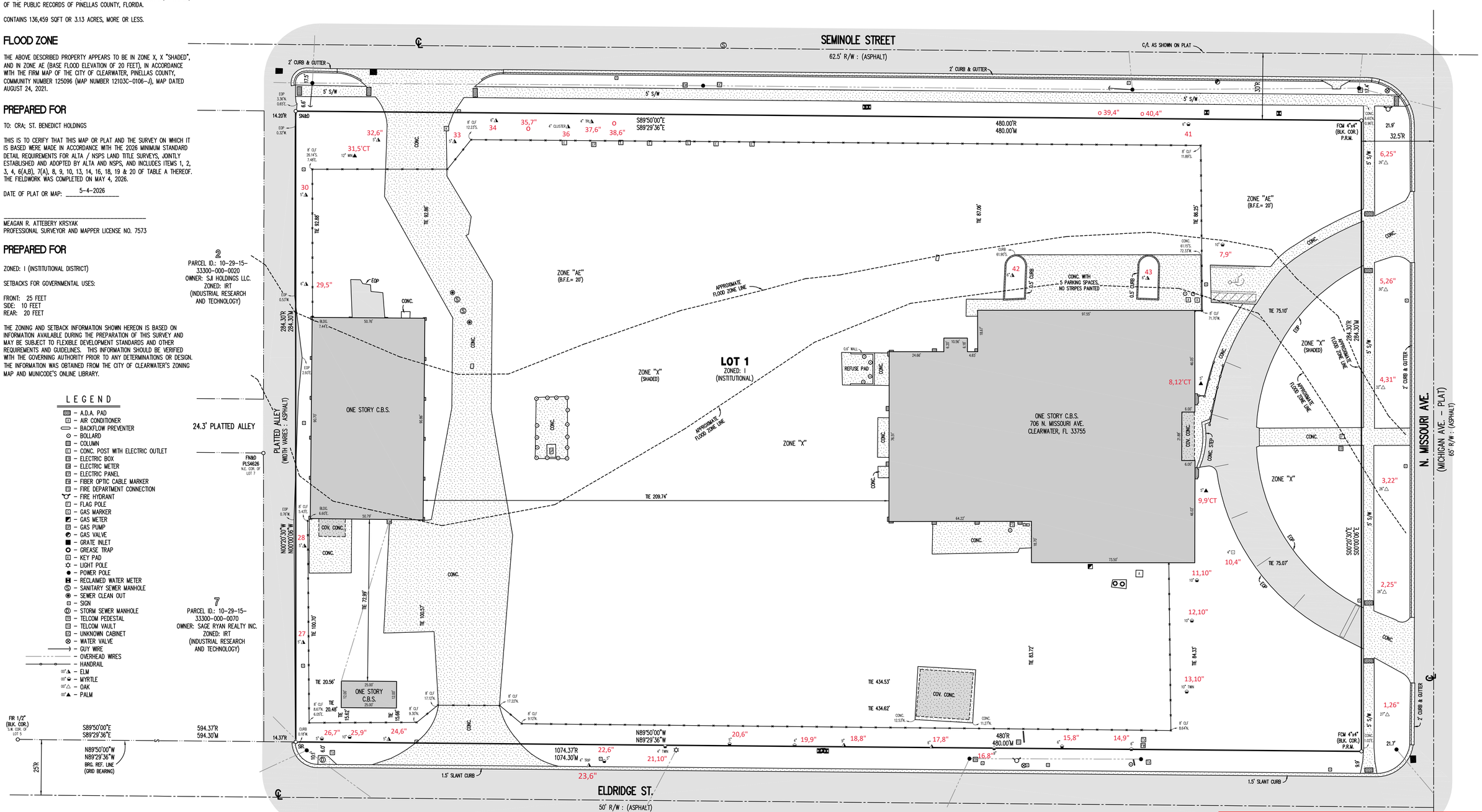
SETBACKS FOR GOVERNMENTAL USES:

FRONT: 25 FEET
SIDE: 10 FEET
REAR: 20 FEET

THE ZONING AND SETBACK INFORMATION SHOWN HEREON IS BASED ON INFORMATION AVAILABLE DURING THE PREPARATION OF THIS SURVEY AND MAY BE SUBJECT TO FLEXIBLE DEVELOPMENT STANDARDS AND OTHER REQUIREMENTS AND GUIDELINES. THIS INFORMATION SHOULD BE VERIFIED WITH THE GOVERNING AUTHORITY PRIOR TO ANY DETERMINATIONS OR DESIGN. THE INFORMATION WAS OBTAINED FROM THE CITY OF CLEARWATER'S ZONING MAP AND MUNICODE'S ONLINE LIBRARY.

LEGEND

- A.D.A. PAD
- AIR CONDITIONER
- BACKFLOW PREVENTER
- BOLLARD
- COLUMN
- CONC. POST WITH ELECTRIC OUTLET
- ELECTRIC BOX
- ELECTRIC METER
- ELECTRIC PANEL
- FIBER OPTIC CABLE MARKER
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- FLAG POLE
- GAS MARKER
- GAS METER
- GAS PUMP
- GAS VALVE
- GRATE INLET
- GREASE TRAP
- KEY PAD
- LIGHT POLE
- POWER POLE
- RECLAIMED WATER METER
- SANITARY SEWER MANHOLE
- SEWER CLEAN OUT
- SIGN
- STORM SEWER MANHOLE
- TELCOM PEDESTAL
- TELCOM VAULT
- UNKNOWN CABINET
- WATER VALVE
- GUY WIRE
- OVERHEAD WIRES
- HANDRAIL
- ELM
- MYRTLE
- OAK
- PALM



TREE INVENTORY CORRESPONDING NUMBERED TREE SURVEY
PREPARED BY: URBAN FORESTRY SOLUTIONS, LLC
RICK ALBEE, ISA CERTIFIED ARBORIST #SO-0989A
MAY 12th, 2026

PARKING SPACE TABLE	
	EXISTING
STANDARD	10
HANDICAPPED	1
TOTAL	11

ALTA / NSPS SURVEY - SHEET 1 OF 2

CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREON SUBSTANTIALLY MEETS THE STANDARDS OF PRACTICE FOR LAND SURVEYING DESCRIBED IN THE STATE OF FLORIDA RULE 5J-17, F.A.C. FURTHERMORE, THIS CERTIFICATION SHALL NOT EXTEND TO ANY OTHER PERSONS OR PARTIES OTHER THAN THOSE NAMED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE UNDERSIGNED SURVEYOR WITHOUT THE THIRD PARTY VERIFIED DIGITAL SEAL AND SIGNATURE OF THE FLORIDA LICENSED SURVEYOR AND MAPPER. PRINTED COPIES OF THIS DOCUMENT WILL NOT BE CONSIDERED SIGNED AND SEALED.

MEAGAN R. ATTEBERY KRYSAK, PROFESSIONAL SURVEYOR & MAPPER No. 7573
THIS SURVEY IS NOT COMPLETE OR VALID WITHOUT THE SURVEYOR'S REPORT (SHEET 2)

JOB NUMBER: 260088	DATE SURVEYED: 5-4-2026
DRAWING FILE: 260088.DWG	DATE DRAWN: 5-8-2026
LAST REVISION: N/A	X REFERENCE: N/A

GEORGE A. SHIMP II AND ASSOCIATES, INCORPORATED
LAND SURVEYORS LAND PLANNERS
3301 DeSOTO BOULEVARD, SUITE D
PALM HARBOR, FLORIDA 34683
PHONE (727) 784-5496 FAX (727) 786-1256
M.A. LB 1834

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DO NOT COPY OR REPRODUCE

SURVEYOR'S REPORT
SHEET 2 OF 2

SURVEY ABBREVIATIONS

A = ARC LENGTH
A/C = AIR CONDITIONER
AF = ALUMINUM FENCE
ALUM = ALUMINUM
ASPH = ASPHALT
BFE = BASE FLOOD ELEVATION
BLDG = BUILDING
BLK = BLOCK
BM = BENCH MARK
BNDY = BOUNDARY
BRG = BEARING
BWF = BARBED WIRE FENCE
C = CALCULATED
CB = CHORD BEARING
CBS = CONCRETE BLOCK STRUCTURE
CHD = CHORD
CL = CENTERLINE
CLF = CHAIN LINK FENCE
CLOS = CLOSURE
COL = COLUMN
CONC = CONCRETE
CR = COUNTY ROAD
C/S = CONCRETE SLAB
COR = CORNER
COV = COVERED AREA
D = DEED
DOT = DEPARTMENT OF TRANSPORTATION
DRNG = DRAINAGE
D/W = DRIVEWAY
EL OR ELEV = ELEVATION
EOP = EDGE OF PAVEMENT
EOW = EDGE OF WATER
ESM'T = EASEMENT
FCM = FOUND CONCRETE MONUMENT
FES = FLARED END SECTION
FIP = FOUND IRON PIPE
FIR = FOUND IRON ROD
FL = FLOW LINE
FLD = FIELD
FND = FOUND
FOP = FOUND OPEN PIPE
FPC = FLORIDA POWER CORP.
FPP = FOUND PINCHED PIPE
FRM = FRAME
FZL = FLOOD ZONE LINE
GAR = GARAGE
G/E = GLASS ENCLOSURE
HWF = HOG WIRE FENCE
HWL = HIGH WATER LINE
INV = INVERT
LB = LAND SURVEYING BUSINESS
LFE = LOWEST FLOOR ELEV
LHSM = LOWEST HORIZONTAL STRUCTURAL MEMBER
LS = LAND SURVEYOR
M = MEASURED
MAS = MASONRY
MES = MITERED END SECTION
MH = MANHOLE
MHWL = MEAN HIGH WATER LINE
MSL = MEAN SEA LEVEL
N&B = NAIL AND BOTTLE CAP
N&D = NAIL AND DISK
N&T = NAIL AND TAB
NGVD = NATIONAL GEODETIC VERTICAL DATUM
NO = NUMBER
O/A = OVERALL
OHW = OVERHEAD WIRE(S)
OR = OFFICIAL RECORDS
O/S = OFFSET
P = PLAT
PB = PLAT BOOK
PC = POINT OF CURVE
PCC = POINT OF COMPOUND CURVE
PCP = PERMANENT CONTROL POINT
PG = PAGE
PK = PARKER KALON
PL = PROPERTY LINE
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
POL = POINT ON LINE
PP = POWER POLE
PRC = POINT OF REVERSE CURVATURE
PRM = PERMANENT REFERENCE MONUMENT
PROP = PROPERTY
PSM = PROFESSIONAL SURVEYOR & MAPPER
PVCF = PVC FENCE
PVM'T = PAVEMENT
RAD = RADIUS
R = RECORD
REF = REFERENCE
RES = RESIDENCE
RL = RADIAL LINE
RLS = REGISTERED LAND SURVEYOR
RND = ROUND
RNG = RANGE
RRS = RAIL ROAD SPIKE
R/W = RIGHT-OF-WAY
SCM = SET CONCRETE MONUMENT
S/E = SCREENED ENCLOSURE
SEC = SECTION
SET N&D = SET NAIL AND DISK LB# 1834
SIR = SET 1/2" IRON ROD LB# 1834
SQ = SQUARE
SRF = SPLIT RAIL FENCE
SR = STATE ROAD
STY = STORY
SUB = SUBDIVISION
S/W = SIDEWALK
TB = "T" BAR
TBM = TEMPORARY BENCH MARK
TC = TOP OF CURB
TOB = TOP OF BANK
TOS = TOE OF SLOPE
TRANS = TRANSFORMER
TWP = TOWNSHIP
TYP = TYPICAL
UG = UNDERGROUND
UTIL = UTILITY
WD = WOOD
WF = WOOD FENCE
WFS = WOOD FRAME STRUCTURE
WIF = WROUGHT IRON FENCE
WIT = WITNESS
WRF = WIRE FENCE
WV = WATER VALVE

*** ABBREVIATIONS MAY ALSO BE CONCATENATED AS REQUIRED.
*** OTHER COMMONLY RECOGNIZED AND/OR ACCEPTED ABBREVIATIONS ARE ALSO UTILIZED BUT NOT SPECIFIED HEREON.

GENERAL NOTES

1.) THIS SURVEY HAS BEEN EXCLUSIVELY PREPARED FOR THE NAMED ENTITIES (THE "CERTIFIED PARTIES") SHOWN HEREON AND IS NOT TRANSFERABLE. NO OTHER PERSON OR ENTITY IS ENTITLED TO RELY UPON AND/OR RE-USE THIS SURVEY FOR ANY PURPOSE WITHOUT THE EXPRESSED, WRITTEN CONSENT OF GEORGE A. SHIMP II & ASSOCIATES, INC. (THE "SURVEY FIRM") AND THE CERTIFYING PROFESSIONAL SURVEYOR AND MAPPER (THE "SIGNING SURVEYOR"), HEREINAFTER COLLECTIVELY REFERRED TO AS "THE SURVEYOR". NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THE CERTIFIED PARTIES SHOWN ON THIS SURVEY.

2.) UNAUTHORIZED COPIES AND/OR REPRODUCTIONS VIA ANY MEDIUM OF THIS SURVEY OR ANY PORTIONS THEREOF ARE EXPRESSLY PROHIBITED WITHOUT THE SURVEYOR'S EXPRESSED, WRITTEN CONSENT.

3.) THE WORD "CERTIFY" AS SHOWN AND USED HEREON, MEANS AN EXPRESSION OF THE SURVEYOR'S OPINION REGARDING THE FACTS OF THE SURVEY BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT THUS CONSTITUTES NEITHER A GUARANTEE NOR A WARRANTY, EITHER EXPRESSED OR IMPLIED.

4.) THIS SURVEY SHALL BE VALID FOR ONE (1) YEAR FROM THE DATE OF FIELD SURVEY SHOWN HEREON.

5.) THIS PROPERTY WAS SURVEYED BASED ON THE PROPERTY'S LEGAL DESCRIPTION, AS SHOWN HEREON, WHICH UNLESS OTHERWISE STATED, WAS PROVIDED TO THE SURVEYOR BY THE CLIENT, OR CLIENT'S DESIGNATED AGENT.

6.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE OR TITLE COMMITMENT AND IS SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS AND/OR OTHER MATTERS OF RECORD. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR, EXCEPT AS SHOWN.

7.) THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER MATTERS OF RECORD THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. THERE MAY BE ADDITIONAL EASEMENTS, RESERVATIONS, RESTRICTIONS AND/OR OTHER MATTERS OF RECORD AFFECTING THIS PROPERTY THAT ARE NOT SHOWN HEREON AND MAY (OR MAY NOT) BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

8.) BASIS OF BEARINGS: MEASURED BEARINGS ARE IN REFERENCE TO FLORIDA STATE PLANE COORDINATE GRID NORTH, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 READJUSTMENT), AS ESTABLISHED BY THE NATIONAL GEODETIC SURVEY.

9.) THERE ARE NO VISIBLE ENCROACHMENTS, EXCEPT AS SHOWN HEREON.

10.) THIS SURVEY SHOWS VISIBLE, ABOVE GROUND FEATURES. NO UNDERGROUND FEATURES, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, STRUCTURES, INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS SHOWN HEREON.

11.) ALL BUILDING TIES, PROPERTY MARKER LOCATIONS AND OTHER SITE IMPROVEMENT LOCATIONS SHOWN HEREON ARE MEASURED PERPENDICULAR TO ADJACENT BOUNDARY LINES, UNLESS OTHERWISE STATED.

12.) THE FLOOD ZONE DETERMINATION IS BASED ON THE FLOOD INSURANCE RATE MAP, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND DOES NOT IMPLY THAT THE PROPERTY WILL OR WILL NOT BE FREE FROM FLOODING AND DAMAGE. LARGER FLOODS THAN THOSE PREDICATED ON SAID MAP MAY OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THE FLOOD INSURANCE RATE MAP "IS FOR INSURANCE PURPOSES ONLY" AND ANY DAMAGES THAT MAY RESULT FROM RELIANCE ON THIS FLOOD ZONE DETERMINATION SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR. THE FLOOD ZONE LINES (IF ANY) SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON A SCALED INTERPRETATION FROM THE FLOOD INSURANCE RATE MAP AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

13.) UNLESS OTHERWISE SHOWN, THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP LINES, LINES AFFECTED BY ADVERSE USE, LINES OF CONFLICTING/OVERLAPPING DEEDS, OR OTHER LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.

14.) NO INFORMATION ON ADJOINING PROPERTY OWNERS OR ADJOINING PROPERTY RECORDING INFORMATION WAS PROVIDED TO THE SURVEYOR.

15.) BECAUSE OF THE POSSIBILITY OF MOVEMENT OF THE MONUMENTATION FROM ITS ORIGINAL PLACEMENT BY PERSONS OTHER THAN THE SURVEYOR, IT IS RECOMMENDED THAT PRIOR TO ANY NEW IMPROVEMENTS ON THE PROPERTY THAT THE POSITION OF THE MONUMENTATION BE VERIFIED.

16.) FENCES AND WALLS (IF ANY) SHOWN ALONG THE BOUNDARIES OF THIS SURVEY ARE EXAGGERATED FOR CLARITY AND OWNERSHIP IS NOT DETERMINED. THE TIES AT THE PROPERTY CORNERS OR AT SPECIFICALLY DESIGNATED POINTS ARE BASED UPON FIELD LOCATIONS. FENCES AND WALLS ALONG OTHER PROPERTY BOUNDARIES MEANDER AND ARE APPROXIMATE. PRIOR TO THE RECONSTRUCTION OF ANY FENCES OR WALLS, IT WOULD BE PRUDENT TO HAVE THE BOUNDARY LINE STAKED.

17.) THE PRINTED DIMENSIONS SHOWN ON THIS SURVEY SUPERSEDE ANY SCALED DIMENSIONS. THERE MAY BE ITEMS DRAWN OUT OF SCALE TO GRAPHICALLY SHOW THEIR LOCATION.

18.) THIS SURVEY IS A REPRESENTATION OF EXISTING FIELD CONDITIONS AT THE TIME OF THE FIELD SURVEY AND UNLESS OTHERWISE SHOWN, IS BASED ON EXISTING SURVEY MONUMENTATION AS FOUND IN THE FIELD.

19.) THE ACCURACY OF THIS SURVEY, AS OBTAINED BY FIELD-MEASURED CONTROL MEASUREMENTS AND CALCULATIONS, MEETS OR EXCEEDS THE MINIMUM RELATIVE DISTANCE ACCURACY REQUIREMENT AS SPECIFIED IN THE MINIMUM TECHNICAL STANDARDS (5J-17, FLORIDA ADMINISTRATIVE CODE).

20.) THIS SURVEY IS BEING CERTIFIED ACCORDING TO THE LAST DATE OF FIELD SURVEY AND NOT THE SIGNATURE DATE (IF ANY).

21.) THIS SURVEY SHALL NOT BE FILED FOR PUBLIC RECORDS WITHOUT THE KNOWLEDGE AND THE EXPRESSED, WRITTEN CONSENT OF THE SURVEYOR.

22.) UNLESS OTHERWISE SHOWN, THE DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND ARE BASED ON THE DEFINITION OF A FOOT AS ADOPTED BY THE UNITED STATES BUREAU OF STANDARDS AND REFER TO THE HORIZONTAL PLANE.

23.) TREES BY NATURE ARE IRREGULAR IN SHAPE AND SIZE AND EVERY EFFORT IS MADE TO ACCURATELY LOCATE THEM. THE TREE SIZE IS DETERMINED AT CHEST HEIGHT DIAMETER AND THE TREE LOCATION IS CENTER OF THE TREE TRUNK. ANY TREE LOCATIONS THAT ARE CRITICAL TO DESIGN SHOULD BE FIELD VERIFIED. EVERY EFFORT HAS BEEN MADE TO PROPERLY IDENTIFY THE TREES SHOWN HEREON. HOWEVER, TREE IDENTIFICATION IS OUTSIDE THE AREA OF EXPERTISE OF A PROFESSIONAL SURVEYOR AND MAPPER, THEREFORE, THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR IDENTIFICATION OF TREE SPECIES. ALL TREE TYPES SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY AND ANY TREE SPECIES THAT ARE CRITICAL SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

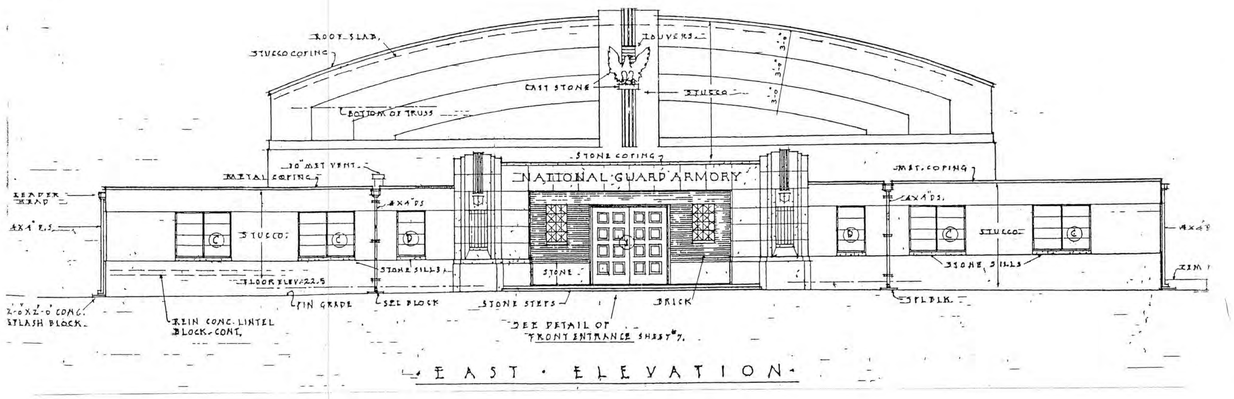
24.) THIS SURVEY SHALL NOT BE USED WITH A SURVEY AFFIDAVIT. AN INCORRECT SURVEY AFFIDAVIT CAN INCREASE THE OWNER/BUYER'S LIABILITY, DECREASE THEIR LEGAL RIGHTS AND PROTECTIONS WHICH ARE AFFORDED BY A CURRENT SURVEY AND MAY RESULT IN COSTLY LITIGATION AS WELL. AN INCORRECT SURVEY AFFIDAVIT CAN BE THE RESULT OF CHANGES MADE TO THE PROPERTY SINCE THE DATE OF THE LAST SURVEY, WHICH MAY INCLUDE IMPROVEMENTS MADE BY THE OWNER, ADJACENT OWNERS OR UTILITY COMPANIES OR CHANGES IN THE SURVEY BOUNDARY MONUMENTATION. USE OF THIS SURVEY BY A LENDING INSTITUTION OR TITLE COMPANY IN CONJUNCTION WITH A SURVEY AFFIDAVIT IS STRICTLY PROHIBITED AND SHALL RENDER THIS SURVEY NULL AND VOID.

25.) THIS DOCUMENT IS ONLY VALID FOR THE REVIEW PROCESS BY THE AUTHORITY HAVING JURISDICTION AND MUST CONTAIN THE THIRD PARTY VERIFIED DIGITAL SIGNATURE AND SEAL. DISTRIBUTION OF THIS DOCUMENT TO THIRD PARTIES WILL RENDER THIS DOCUMENT INVALID AND NO LIABILITY WILL BE ASSUMED BY THE SIGNING SURVEYOR.

GEORGE A. SHIMP II
AND ASSOCIATES, INCORPORATED
LAND SURVEYORS LAND PLANNERS
3301 DeSOTO BOULEVARD, SUITE D
PALM HARBOR, FLORIDA 34683
PHONE (727) 784-5496 FAX (727) 786-1256
LB 1834

MEAGAN R. ATTEBERY KRYSAK, PROFESSIONAL SURVEYOR & MAPPER No. 7573

260088	5-4-2026
JOB NUMBER	DATE SURVEYED



CITY of CLEARWATER

Dept. of Parks and Recreation

The National Guard Armory Remodeling

PROJECT NUMBER: 06-0036-PR

OWNER:

CITY of CLEARWATER

DEPT. of PARKS and RECREATION
100 S. MYRTLE AVENUE
CLEARWATER, FLORIDA.
727. 562. 4800

MAYOR:

HON. FRANK HIBBARD

112 SOUTH OSCEOLA AVENUE
CLEARWATER, FLORIDA

COUNCIL MEMBERS:

CARLEN A. PETERSEN
(VICE MAYOR/COUNCIL MEMBER)
GEORGE N. CRETEKOS
JOHN DORAN
PAUL F. GIBSON

CITY MANAGER

WILLIAM B. HORNE II

PARK & RECREATION DEPARTMENT DIRECTOR

KEVIN E. DUNBAR

APPROVED
CITY OF CLEARWATER
ENGINEERING DEPARTMENT
By: [signature]
Date: 04-04-07

CITY OF CLEARWATER
ENGINEERING DEPARTMENT
All Sod, Sidewalk and Sprinkler Damage Shall be Repaired Prior to Final Engineering Inspection

DRAWING LIST

CS-1	COVER SHEET
1 of 3	SITE PLAN
2 of 3	AREA TABULATION PLAN
3 of 3	SITE DETAILS
1 of 2	LANDSCAPE PLAN
2 of 2	IRRIGATION PLAN

MAIN BUILDING:

A-1.1	FLOOR PLAN & SCHEDULES
A-1.2	INTERIOR ELEVATIONS & DETAILS
A-1.3	REFLECTED CEILING AND FRAMING PLAN
A-1.3A	MEZZANINE FRAMING PLAN (ALTERNATE #1)
A-1.3B	SECTIONS & DETAILS (ALTERNATE #1)
A-1.4	INTERIOR ELEVATIONS & DETAILS
E-0	ELECTRICAL SPECIFICATIONS & LEGEND
E-1	ELECTRICAL SITE PLAN
E-2	ELECTRICAL LIGHTING PLAN
E-3	ELECTRICAL POWER PLAN
E-4	FIRE ALARM & SECURITY CONDUIT PLAN
E-5	RISER DIAGRAM, PANEL SECEHULES & LOAD CALC'S.
M-0	MECHANICAL SPECIFICATIONS & SCHEDULES
M-1	MECHANICAL PLANS
M-2	MECHANICAL DETAILS
P-1.0	PLUMBING SPECIFICATIONS & DETAILS
P-1.1	PLUMBING FIXTURE SCHEDULE
P-1.2	PLUMBING PLAN
P-1.3	WATER RISER DIAGRAM
P-1.4	SANITARY PLAN & RISER
FP-1	FIRE SPRINKLER SITE PLAN
FP-2	FIRST LEVEL FIRE SPRINKLER PLAN
FP-3	MEZZANING LEVEL FIRE SPRINKLER PLAN
DWGS. 1 THRU 13	DRAWINGS OF EXISTING FOR INFORMATION ONLY

~~ELECTRICAL BLDG.:~~

~~(FORMERLY MOTOR VEHICLES)~~

~~EA-1.1~~	~~FLOOR PLAN & SCHEDULES~~
~~E-1.2~~	~~MEZZANINE PLAN & DETAILS~~
~~EE-0~~	~~SPEC'S., LEGEND & SCHEDULE~~
~~EE-1~~	~~ELECTRICAL SITE PLAN~~
~~EE-2~~	~~ELECTR. & MECHANICAL PLANS~~
~~DWGS. 1 THRU 7~~	~~DRAWINGS OF EXISTING FOR INFORMATION ONLY~~

SCOPE of WORK:

1 INTERIOR PARTITIONS, NEW ELECTRICAL SERVICE & FIXTURES, NEW HVAC SYSTEMS, MODIFICATIONS TO THE EXISTING PLUMBING FACILITIES, AND RELEATED SITE WORK.

2 PRESSURE WASH EXTERIOR AND PAINT EAST ELEVATION W/ ELASTOMERIC PAINT SYSTEM.

DESIGN CRITERIA

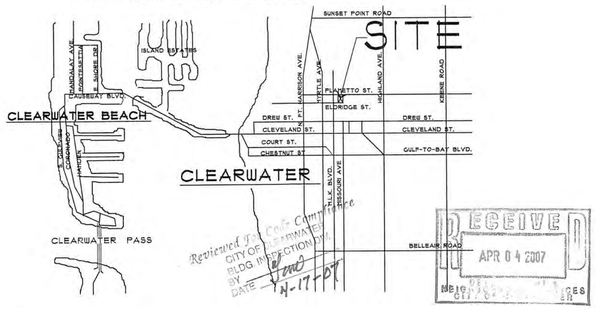
OCCUPANCY TYPE : BUSINESS, GROUP B
CONSTRUCTION TYPE: TYPE V, B; SPRINKLERED
ALLOWABLE BUILDING AREA: NOT LIMITED
PROPOSED BUILDING AREA: 14,144 S.F.
ALLOWABLE BUILDING HEIGHT: 2 STORIES
PROPOSED BUILDING HEIGHT: 2 STORIES

CODE INFORMATION:

Basic Wind Speed: 128 mph
Wind importance factor: 1.0
Building Catagory: ENCLOSED, LOW-RISE BUILDING; SIMPLE DIAPHRAM
Wind Exposure Catagory: "B"

WIND LOADING DETERMINED BY: F.B.C.2004 (CHAPTER 16)

THIS REMODELING DESIGN COMPLYS WITH FBC, 2004, THE FLORIDA FIRE PREVENTION CODE, 2004; THE CITY of CLEAWATER DESIGN DEVELOPMENT CODE, and NATIONAL ELECTRICAL CODE, 2005; TO THE BEST of OUR KNOWLEDGE and BELIEF.



Reviewed by City of Clearwater BLDG. INSPECTION DIV. BY [signature] DATE 11-17-07

RECEIVED APR 04 2007

LOCATION MAP

North
NO SCALE

FOWLER ASSOCIATES ARCHITECTS, INC.
1421 COURT STREET ■ CLEARWATER, FLORIDA 33756 ■ (727) 461-5293 ■ FAX (727) 461-5294
STATE OF FLORIDA ARCHITECTURAL LICENSE NUMBER AR-0006443
CERTIFICATE OF CORPORATE AUTHORIZATION NUMBER C000665
STEPHEN R. FOWLER, AR0006541

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DATE	NO.	REVISION	BY
22-Feb-01	1	PRINTED FOR REVIEW BY OWNER	
2-APR-01	2	PRINTED FOR PERMIT APPLICATION	

DRAWN: SRF.
DATE:

706 N MISSOURI AVE
BCP2007-04094
INTERIOR RENOVATION WAREHOUSE
NATIONAL GUARD ARMORY WAREHOUS
Zoning: I

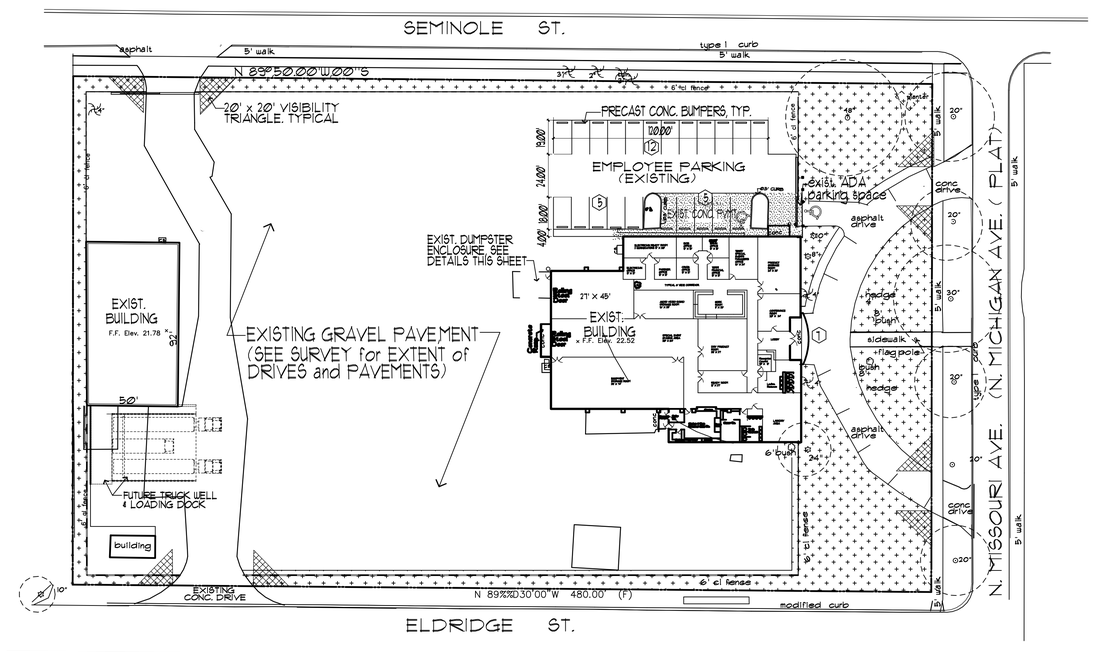
COVER SHEET
National Guard Armory: Remodeling
City of Clearwater, Department of Parks & Recreation
760 N. Missouri Avenue
Clearwater, Flo

706 N MISSOURI AVE
BCP2007-04092
INTERIOR RENOVATION
NATIONAL GUARD ARMORY
Zoning: I

PROJECT NO. 06-214
SHEET NO. CS-1

EXTRA

2007047



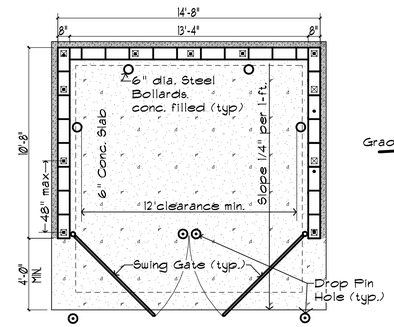
SITE PLAN

Plan North

SCALE: 1" = 30'-0"

Land Use Data

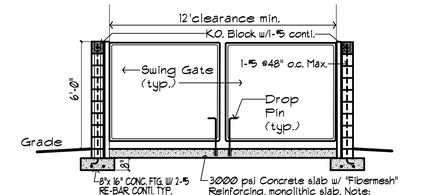
	EXISTING	PROPOSED	required MIN. or MAX.
Zoning district:	INSTITUTIONAL (I)	INSTITUTIONAL (I)	
Use:	CITY P & R	OFFICES/WAREHOUSE	T.B.D.
Lot area (s.f. and acres)	36,363 s.f. = 3.13Ac	36,363 s.f. = 3.13Ac	T.B.D.
Lot width:	284.09 ft.	284.09 ft.	
Building Area:	8,525 s.f.	8,525 s.f.	
Floor Area Ratio (FAR):	0.136	0.136	T.B.D.
Setbacks:			
Front	73'-2"	73'-2"	T.B.D.
Side	86'-9"	64'-0	T.B.D.
Rear	7'-6"	7'-6"	T.B.D.
Building Height:	30'	30'	T.B.D.
Area of Walks & Pavement:	86,353 s.f.	86,353 s.f.	
Landscape Areas:	21,072 s.f. =15.4%	21,072 s.f. =15.4%	T.B.D.
Impervious Surface Ratio (IRS)	66.7%	66.7%	T.B.D.
Number of Cars Parked:	29	29	21



DUMPSTER ENCL. PLAN

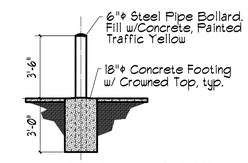
SEE SITE PLAN FOR LOCATION

SCALE: 1/4"=1'-0"



ELEVATION/SECTION

SCALE: 1/4"=1'-0"



BOLLARD DETAIL

NO SCALE

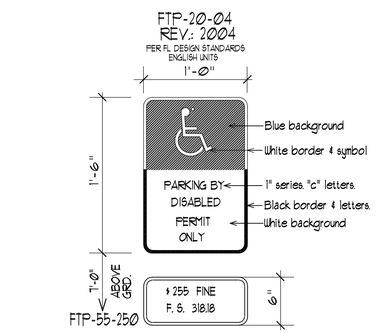
NOTES:

1. WALLS
   a.) New construction:
   Maximum 6'-0" high and constructed of concrete block (8"x8"x16"). Materials used should be consistent with those used in the construction of and architectural style of the principal building. (City of Clearwater Community Development Code Section 3-802 Materials)
2. FOOTINGS8"x16" concrete w/ ~ #5 continuous rebar imbedded.
3. CONCRETE SLABMonolithic, min. 6" thickness w/imbedded 6"x6"/ 10x10 welded wire fabric(W.W.F.), 3000 PSI with fiber mesh reinforcing.
4. CONCRETE FILLED CELLS With 1-#5 vertical rebar tied to footer steel at each corner and every 4'O.C.
5. GATES Constructed of min. 1-1/2" diameter galvanized tubular steel w/privacy-type slats inserted in galvanized steel mesh fabric, hinge-mounted on min. 3" diameter galvanized steel post. (Gates and post constructed and installed per applicable building code by licensed fence contractor).
6. DROP PIN 1/2" dia. 18" long metal rod gate latch. Provide 3/4" dia. hole 6" into concrete for rods. In asphalt provide a 3/4" P.V.C. sleeve, 6" long, or equal.
7. SOIL
   Soil bearing capacity to be at least 2,500 PSF.
8. BOLLARDS 3'-6" high, 6" diameter steel pipe bollard filled with concrete, painted traffic yellow, imbedded 3'-0" deep in 18" concrete foundatn. (See Detail)

CONCRETE MASONRY WALL CONSTRUCTIONMASONRY WALL CONSTRUCTION

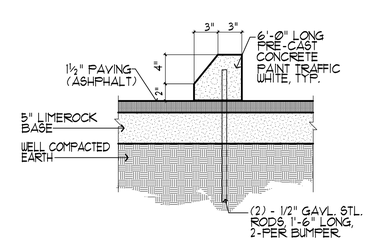
Materials, construction and quality control of masonry shall be in accordance with Florida Building Code Chapter 21.

1. All reinforcing steel shall be deformed bars conformig to ASTM A-615, Grade 40. Vertical reinforcement shall be placed in the center of the masonry cell, and shall be held in position at the top and bottom.
2. If a slab dowel does not line-up with a vertical core, it shall not be sloped more than onehorizontal in six verticals (1:6).
3. Horizontal wall reinforcement shall be standard truss type DUR-O-WALL (or equivalent) at 16" o.c.
4. Hollow Load-bearing Concrete Masonry Units shall be normal weight conforming to ASTM -90, with a minimum compressive strength of 1,900 PSI.
5. Mortar shall be type M or S, in accordance with ASTM C-270. Place all masonry in running bond with 3/8" mortar joints. Provide complete coverage face shell mortar bedding, horizontal and vertial.
6. Coarse grout shall conform to ASTM C-476, with a maximum aggregate size of 3/8", 8" to 10" slump, and a minimum compressive strength of 2,500 PSI at 28 days.
7. Minimum 3" X 3" clean-out holes (saw-cut) are required at the bottom course of ll cells to verify grout placement. Clean-outs shall be sealed after masonry inspection-provided in accordance with ACI 531-4.6, and before grouting.
8. Prior to grouting, the grout space shall be clean, with no mortar projections greater the ". mortar droppings or other foreign material. All cells shall be in vertical alignment, and shall solidly be filled with coarse grout as specified.
9. During placing, grout shall be consolidated with flexible cable vibrator. First gout pour shall be stopped a minimum of 1 - 1/2" below the top of the middle bond beam masonry.



DISABLED PARKING SIGN DETAIL

NO SCALE



BUMPER DETAIL

NOTE: ALL PARKING SPACES ARE TO BE PAINTED W/ 4" STRIPES, COLOR: WHITE, TYPICAL

NO SCALE

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STEPHEN R. FOWLER AR0009541

FOWLER ASSOCIATES ARCHITECTS, INC.
1401 COURT STREET, STE. D CLEARWATER, FL 33756 T/727.443.2071 F/727.443.5339
STATE OF FLORIDA ARCHITECTURAL LICENSE NUMBER AAC-0009541
CERTIFICATE OF CORPORATE AUTHORIZATION NUMBER 0006665

DATE	NO.	REVISION	BY

DRAWN: SRF

DATE: Prelim -5.1 10 July '26

Site Plan & Data

Yo Mama's.

Remodeling & Expansions.
111 Missouri Ave.
Clearwater, Florida 33757

PROJECT NO. 24-230

SHEET NO. SD-1.1

LEGAL DESCRIPTION

LOT 1, GREENFIELD SUBDIVISION, AS RECORDED IN PLAT BOOK 31, PAGE 28, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

CONTAINS 136,459 SQFT OR 3.13 ACRES, MORE OR LESS.

FLOOD ZONE

THE ABOVE DESCRIBED PROPERTY APPEARS TO BE IN ZONE X, X "SHADED", AND IN ZONE AE (BASE FLOOD ELEVATION OF 20 FEET), IN ACCORDANCE WITH THE FIRM MAP OF THE CITY OF CLEARWATER, PINELLAS COUNTY, COMMUNITY NUMBER 125096 (MAP NUMBER 12103C-0106-J), MAP DATED AUGUST 24, 2021.

PREPARED FOR

TO: CRA; ST. BENEDICT HOLDINGS

THIS IS TO CERIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2026 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A,B), 7(A), 8, 9, 10, 13, 14, 16, 18, 19 & 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MAY 4, 2026.

DATE OF PLAT OR MAP: 5-4-2026

MEAGAN R. ATTEBERY KRSYAK
PROFESSIONAL SURVEYOR AND MAPPER LICENSE NO. 7573

PREPARED FOR

ZONED: I (INSTITUTIONAL DISTRICT)

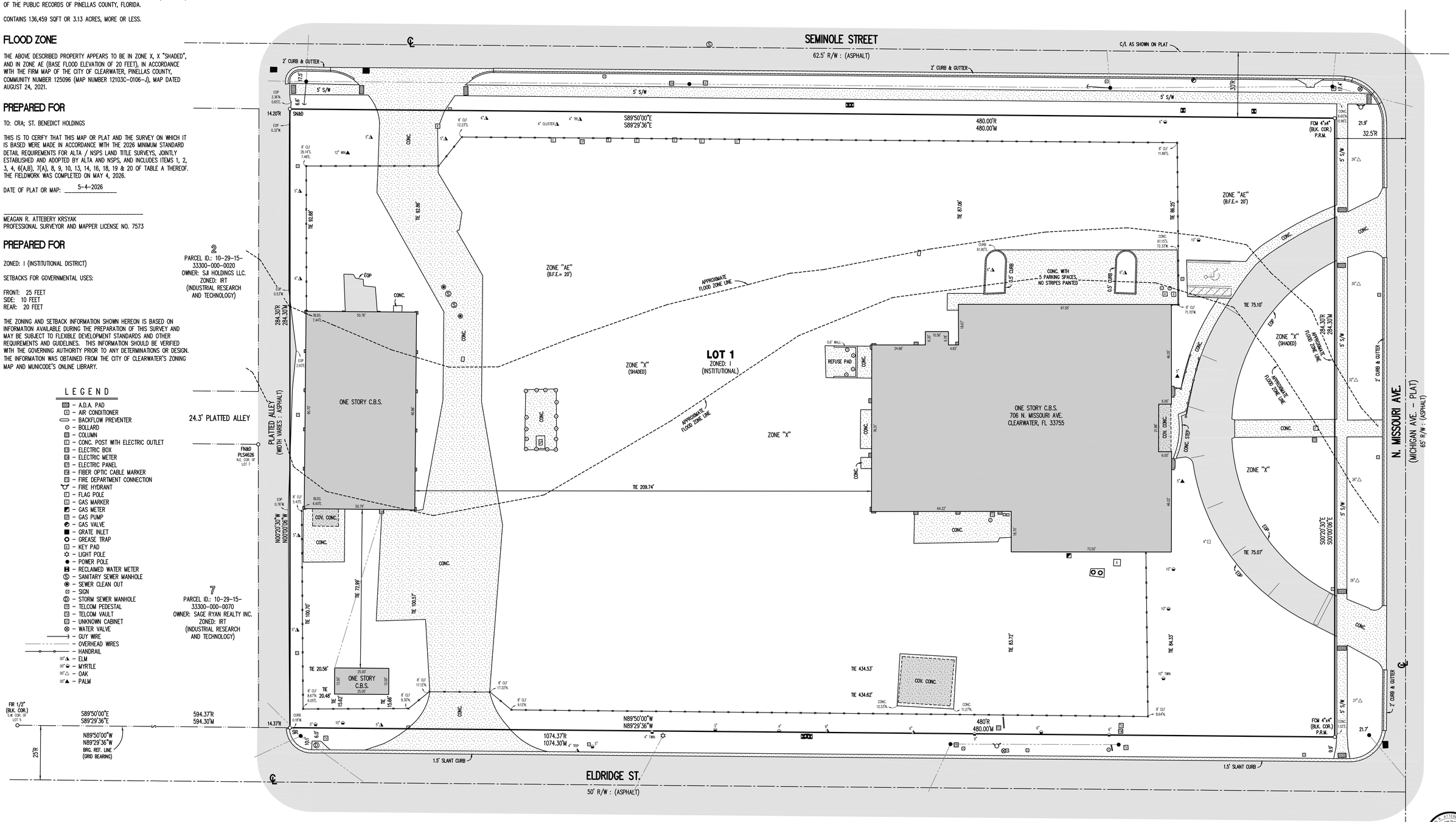
SETBACKS FOR GOVERNMENTAL USES:

FRONT: 25 FEET
SIDE: 10 FEET
REAR: 20 FEET

THE ZONING AND SETBACK INFORMATION SHOWN HEREON IS BASED ON INFORMATION AVAILABLE DURING THE PREPARATION OF THIS SURVEY AND MAY BE SUBJECT TO FLEXIBLE DEVELOPMENT STANDARDS AND OTHER REQUIREMENTS AND GUIDELINES. THIS INFORMATION SHOULD BE VERIFIED WITH THE GOVERNING AUTHORITY PRIOR TO ANY DETERMINATIONS OR DESIGN. THE INFORMATION WAS OBTAINED FROM THE CITY OF CLEARWATER'S ZONING MAP AND MUNICODE'S ONLINE LIBRARY.

LEGEND

- A.D.A. PAD
- AIR CONDITIONER
- BACKFLOW PREVENTER
- BOLLARD
- COLUMN
- CONC. POST WITH ELECTRIC OUTLET
- ELECTRIC BOX
- ELECTRIC METER
- ELECTRIC PANEL
- FIBER OPTIC CABLE MARKER
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- FLAG POLE
- GAS MARKER
- GAS METER
- GAS PUMP
- GAS VALVE
- GRATE INLET
- GREASE TRAP
- KEY PAD
- LIGHT POLE
- POWER POLE
- RECLAIMED WATER METER
- SANITARY SEWER MANHOLE
- SEWER CLEAN OUT
- SIGN
- STORM SEWER MANHOLE
- TELCOM PEDESTAL
- TELCOM VAULT
- UNKNOWN CABINET
- WATER VALVE
- GUY WIRE
- OVERHEAD WIRES
- HANDRAIL
- ELM
- MYRTLE
- OAK
- PALM



PARKING SPACE TABLE	
	EXISTING
STANDARD	10
HANDICAPPED	1
TOTAL	11

ALTA / NSPS SURVEY - SHEET 1 OF 2

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DO NOT COPY OR REPRODUCE

CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREON SUBSTANTIALLY MEETS THE STANDARDS OF PRACTICE FOR LAND SURVEYING DESCRIBED IN THE STATE OF FLORIDA RULE 5J-17, F.A.C. FURTHERMORE, THIS CERTIFICATION SHALL NOT EXTEND TO ANY OTHER PERSONS OR PARTIES OTHER THAN THOSE NAMED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE UNDERSIGNED SURVEYOR WITHOUT THE THIRD PARTY VERIFIED DIGITAL SEAL AND SIGNATURE OF THE FLORIDA LICENSED SURVEYOR AND MAPPER. PRINTED COPIES OF THIS DOCUMENT WILL NOT BE CONSIDERED SIGNED AND SEALED.

Meagan R. Atteberry Krysak

MEAGAN R. ATTEBERY KRYSAK, PROFESSIONAL SURVEYOR & MAPPER No. 7573
THIS SURVEY IS NOT COMPLETE OR VALID WITHOUT THE SURVEYOR'S REPORT (SHEET 2)

JOB NUMBER: 260088	DATE SURVEYED: 5-4-2026
DRAWING FILE: 260088.DWG	DATE DRAWN: 5-8-2026
LAST REVISION: N/A	X REFERENCE: N/A

GEORGE A. SHIMP II
AND ASSOCIATES, INCORPORATED
LAND SURVEYORS LAND PLANNERS
3301 DeSOTO BOULEVARD, SUITE D
PALM HARBOR, FLORIDA 34683
PHONE (727) 784-5496 FAX (727) 786-1256
M.A. LB 1834

SURVEYOR'S REPORT
SHEET 2 OF 2

SURVEY ABBREVIATIONS

A = ARC LENGTH
A/C = AIR CONDITIONER
AF = ALUMINUM FENCE
ALUM = ALUMINUM
ASPH = ASPHALT
BFE = BASE FLOOD ELEVATION
BLDG = BUILDING
BLK = BLOCK
BM = BENCH MARK
BNDY = BOUNDARY
BRG = BEARING
BWF = BARBED WIRE FENCE
C = CALCULATED
CB = CHORD BEARING
CBS = CONCRETE BLOCK STRUCTURE
CHD = CHORD
CL = CENTERLINE
CLF = CHAIN LINK FENCE
CLOS = CLOSURE
COL = COLUMN
CONC = CONCRETE
CR = COUNTY ROAD
C/S = CONCRETE SLAB
COR = CORNER
COV = COVERED AREA
D = DEED
DOT = DEPARTMENT OF TRANSPORTATION
DRNG = DRAINAGE
D/W = DRIVEWAY
EL OR ELEV = ELEVATION
EOP = EDGE OF PAVEMENT
EOW = EDGE OF WATER
ESM'T = EASEMENT
FCM = FOUND CONCRETE MONUMENT
FES = FLARED END SECTION
FIP = FOUND IRON PIPE
FIR = FOUND IRON ROD
FL = FLOW LINE
FLD = FIELD
FND = FOUND
FOP = FOUND OPEN PIPE
FPC = FLORIDA POWER CORP.
FPP = FOUND PINCHED PIPE
FRM = FRAME
FZL = FLOOD ZONE LINE
GAR = GARAGE
G/E = GLASS ENCLOSURE
HWF = HOG WIRE FENCE
HWL = HIGH WATER LINE
INV = INVERT
LB = LAND SURVEYING BUSINESS
LFE = LOWEST FLOOR ELEV
LHSM = LOWEST HORIZONTAL STRUCTURAL MEMBER
LS = LAND SURVEYOR
M = MEASURED
MAS = MASONRY
MES = MITERED END SECTION
MH = MANHOLE
MHWL = MEAN HIGH WATER LINE
MSL = MEAN SEA LEVEL
N&B = NAIL AND BOTTLE CAP
N&D = NAIL AND DISK
N&T = NAIL AND TAB
NGVD = NATIONAL GEODETIC VERTICAL DATUM
NO = NUMBER
O/A = OVERALL
OHW = OVERHEAD WIRE(S)
OR = OFFICIAL RECORDS
O/S = OFFSET
P = PLAT
PB = PLAT BOOK
PC = POINT OF CURVE
PCC = POINT OF COMPOUND CURVE
PCP = PERMANENT CONTROL POINT
PG = PAGE
PK = PARKER KALON
PL = PROPERTY LINE
POB = POINT OF BEGINNING
POC = POINT OF COMMENCEMENT
POL = POINT ON LINE
PP = POWER POLE
PRC = POINT OF REVERSE CURVATURE
PRM = PERMANENT REFERENCE MONUMENT
PROP = PROPERTY
PSM = PROFESSIONAL SURVEYOR & MAPPER
PVCF = PVC FENCE
PVM'T = PAVEMENT
RAD = RADIUS
R = RECORD
REF = REFERENCE
RES = RESIDENCE
RL = RADIAL LINE
RLS = REGISTERED LAND SURVEYOR
RND = ROUND
RNG = RANGE
RRS = RAIL ROAD SPIKE
R/W = RIGHT-OF-WAY
SCM = SET CONCRETE MONUMENT
S/E = SCREENED ENCLOSURE
SEC = SECTION
SET N&D = SET NAIL AND DISK LB# 1834
SIR = SET 1/2" IRON ROD LB# 1834
SQ = SQUARE
SRF = SPLIT RAIL FENCE
SR = STATE ROAD
STY = STORY
SUB = SUBDIVISION
S/W = SIDEWALK
TB = "T" BAR
TBM = TEMPORARY BENCH MARK
TC = TOP OF CURB
TOB = TOP OF BANK
TOS = TOE OF SLOPE
TRANS = TRANSFORMER
TWP = TOWNSHIP
TYP = TYPICAL
UG = UNDERGROUND
UTIL = UTILITY
WD = WOOD
WF = WOOD FENCE
WFS = WOOD FRAME STRUCTURE
WIF = WROUGHT IRON FENCE
WIT = WITNESS
WRF = WIRE FENCE
WV = WATER VALVE

*** ABBREVIATIONS MAY ALSO BE CONCATENATED AS REQUIRED.
*** OTHER COMMONLY RECOGNIZED AND/OR ACCEPTED ABBREVIATIONS ARE ALSO UTILIZED BUT NOT SPECIFIED HEREON.

GENERAL NOTES

1.) THIS SURVEY HAS BEEN EXCLUSIVELY PREPARED FOR THE NAMED ENTITIES (THE "CERTIFIED PARTIES") SHOWN HEREON AND IS NOT TRANSFERABLE. NO OTHER PERSON OR ENTITY IS ENTITLED TO RELY UPON AND/OR RE-USE THIS SURVEY FOR ANY PURPOSE WITHOUT THE EXPRESSED, WRITTEN CONSENT OF GEORGE A. SHIMP II & ASSOCIATES, INC. (THE "SURVEY FIRM") AND THE CERTIFYING PROFESSIONAL SURVEYOR AND MAPPER (THE "SIGNING SURVEYOR"), HEREINAFTER COLLECTIVELY REFERRED TO AS "THE SURVEYOR". NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THE CERTIFIED PARTIES SHOWN ON THIS SURVEY.

2.) UNAUTHORIZED COPIES AND/OR REPRODUCTIONS VIA ANY MEDIUM OF THIS SURVEY OR ANY PORTIONS THEREOF ARE EXPRESSLY PROHIBITED WITHOUT THE SURVEYOR'S EXPRESSED, WRITTEN CONSENT.

3.) THE WORD "CERTIFY" AS SHOWN AND USED HEREON, MEANS AN EXPRESSION OF THE SURVEYOR'S OPINION REGARDING THE FACTS OF THE SURVEY BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT THUS CONSTITUTES NEITHER A GUARANTEE NOR A WARRANTY, EITHER EXPRESSED OR IMPLIED.

4.) THIS SURVEY SHALL BE VALID FOR ONE (1) YEAR FROM THE DATE OF FIELD SURVEY SHOWN HEREON.

5.) THIS PROPERTY WAS SURVEYED BASED ON THE PROPERTY'S LEGAL DESCRIPTION, AS SHOWN HEREON, WHICH UNLESS OTHERWISE STATED, WAS PROVIDED TO THE SURVEYOR BY THE CLIENT, OR CLIENT'S DESIGNATED AGENT.

6.) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE OR TITLE COMMITMENT AND IS SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS AND/OR OTHER MATTERS OF RECORD. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR, EXCEPT AS SHOWN.

7.) THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER MATTERS OF RECORD THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. THERE MAY BE ADDITIONAL EASEMENTS, RESERVATIONS, RESTRICTIONS AND/OR OTHER MATTERS OF RECORD AFFECTING THIS PROPERTY THAT ARE NOT SHOWN HEREON AND MAY (OR MAY NOT) BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

8.) BASIS OF BEARINGS: MEASURED BEARINGS ARE IN REFERENCE TO FLORIDA STATE PLANE COORDINATE GRID NORTH, WEST ZONE, NORTH AMERICAN DATUM OF 1983 (2011 READJUSTMENT), AS ESTABLISHED BY THE NATIONAL GEODETIC SURVEY.

9.) THERE ARE NO VISIBLE ENCROACHMENTS, EXCEPT AS SHOWN HEREON.

10.) THIS SURVEY SHOWS VISIBLE, ABOVE GROUND FEATURES. NO UNDERGROUND FEATURES, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, STRUCTURES, INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS SHOWN HEREON.

11.) ALL BUILDING TIES, PROPERTY MARKER LOCATIONS AND OTHER SITE IMPROVEMENT LOCATIONS SHOWN HEREON ARE MEASURED PERPENDICULAR TO ADJACENT BOUNDARY LINES, UNLESS OTHERWISE STATED.

12.) THE FLOOD ZONE DETERMINATION IS BASED ON THE FLOOD INSURANCE RATE MAP, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, AND DOES NOT IMPLY THAT THE PROPERTY WILL OR WILL NOT BE FREE FROM FLOODING AND DAMAGE. LARGER FLOODS THAN THOSE PREDICATED ON SAID MAP MAY OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THE FLOOD INSURANCE RATE MAP "IS FOR INSURANCE PURPOSES ONLY" AND ANY DAMAGES THAT MAY RESULT FROM RELIANCE ON THIS FLOOD ZONE DETERMINATION SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR. THE FLOOD ZONE LINES (IF ANY) SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON A SCALED INTERPRETATION FROM THE FLOOD INSURANCE RATE MAP AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

13.) UNLESS OTHERWISE SHOWN, THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP LINES, LINES AFFECTED BY ADVERSE USE, LINES OF CONFLICTING/OVERLAPPING DEEDS, OR OTHER LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.

14.) NO INFORMATION ON ADJOINING PROPERTY OWNERS OR ADJOINING PROPERTY RECORDING INFORMATION WAS PROVIDED TO THE SURVEYOR.

15.) BECAUSE OF THE POSSIBILITY OF MOVEMENT OF THE MONUMENTATION FROM ITS ORIGINAL PLACEMENT BY PERSONS OTHER THAN THE SURVEYOR, IT IS RECOMMENDED THAT PRIOR TO ANY NEW IMPROVEMENTS ON THE PROPERTY THAT THE POSITION OF THE MONUMENTATION BE VERIFIED.

16.) FENCES AND WALLS (IF ANY) SHOWN ALONG THE BOUNDARIES OF THIS SURVEY ARE EXAGGERATED FOR CLARITY AND OWNERSHIP IS NOT DETERMINED. THE TIES AT THE PROPERTY CORNERS OR AT SPECIFICALLY DESIGNATED POINTS ARE BASED UPON FIELD LOCATIONS. FENCES AND WALLS ALONG OTHER PROPERTY BOUNDARIES MEANDER AND ARE APPROXIMATE. PRIOR TO THE RECONSTRUCTION OF ANY FENCES OR WALLS, IT WOULD BE PRUDENT TO HAVE THE BOUNDARY LINE STAKED.

17.) THE PRINTED DIMENSIONS SHOWN ON THIS SURVEY SUPERSEDE ANY SCALED DIMENSIONS. THERE MAY BE ITEMS DRAWN OUT OF SCALE TO GRAPHICALLY SHOW THEIR LOCATION.

18.) THIS SURVEY IS A REPRESENTATION OF EXISTING FIELD CONDITIONS AT THE TIME OF THE FIELD SURVEY AND UNLESS OTHERWISE SHOWN, IS BASED ON EXISTING SURVEY MONUMENTATION AS FOUND IN THE FIELD.

19.) THE ACCURACY OF THIS SURVEY, AS OBTAINED BY FIELD-MEASURED CONTROL MEASUREMENTS AND CALCULATIONS, MEETS OR EXCEEDS THE MINIMUM RELATIVE DISTANCE ACCURACY REQUIREMENT AS SPECIFIED IN THE MINIMUM TECHNICAL STANDARDS (5J-17, FLORIDA ADMINISTRATIVE CODE).

20.) THIS SURVEY IS BEING CERTIFIED ACCORDING TO THE LAST DATE OF FIELD SURVEY AND NOT THE SIGNATURE DATE (IF ANY).

21.) THIS SURVEY SHALL NOT BE FILED FOR PUBLIC RECORDS WITHOUT THE KNOWLEDGE AND THE EXPRESSED, WRITTEN CONSENT OF THE SURVEYOR.

22.) UNLESS OTHERWISE SHOWN, THE DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF AND ARE BASED ON THE DEFINITION OF A FOOT AS ADOPTED BY THE UNITED STATES BUREAU OF STANDARDS AND REFER TO THE HORIZONTAL PLANE.

23.) TREES BY NATURE ARE IRREGULAR IN SHAPE AND SIZE AND EVERY EFFORT IS MADE TO ACCURATELY LOCATE THEM. THE TREE SIZE IS DETERMINED AT CHEST HEIGHT DIAMETER AND THE TREE LOCATION IS CENTER OF THE TREE TRUNK. ANY TREE LOCATIONS THAT ARE CRITICAL TO DESIGN SHOULD BE FIELD VERIFIED. EVERY EFFORT HAS BEEN MADE TO PROPERLY IDENTIFY THE TREES SHOWN HEREON. HOWEVER, TREE IDENTIFICATION IS OUTSIDE THE AREA OF EXPERTISE OF A PROFESSIONAL SURVEYOR AND MAPPER, THEREFORE, THE SURVEYOR ACCEPTS NO RESPONSIBILITY FOR IDENTIFICATION OF TREE SPECIES. ALL TREE TYPES SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY AND ANY TREE SPECIES THAT ARE CRITICAL SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

24.) THIS SURVEY SHALL NOT BE USED WITH A SURVEY AFFIDAVIT. AN INCORRECT SURVEY AFFIDAVIT CAN INCREASE THE OWNER/BUYER'S LIABILITY, DECREASE THEIR LEGAL RIGHTS AND PROTECTIONS WHICH ARE AFFORDED BY A CURRENT SURVEY AND MAY RESULT IN COSTLY LITIGATION AS WELL. AN INCORRECT SURVEY AFFIDAVIT CAN BE THE RESULT OF CHANGES MADE TO THE PROPERTY SINCE THE DATE OF THE LAST SURVEY, WHICH MAY INCLUDE IMPROVEMENTS MADE BY THE OWNER, ADJACENT OWNERS OR UTILITY COMPANIES OR CHANGES IN THE SURVEY BOUNDARY MONUMENTATION. USE OF THIS SURVEY BY A LENDING INSTITUTION OR TITLE COMPANY IN CONJUNCTION WITH A SURVEY AFFIDAVIT IS STRICTLY PROHIBITED AND SHALL RENDER THIS SURVEY NULL AND VOID.

25.) THIS DOCUMENT IS ONLY VALID FOR THE REVIEW PROCESS BY THE AUTHORITY HAVING JURISDICTION AND MUST CONTAIN THE THIRD PARTY VERIFIED DIGITAL SIGNATURE AND SEAL. DISTRIBUTION OF THIS DOCUMENT TO THIRD PARTIES WILL RENDER THIS DOCUMENT INVALID AND NO LIABILITY WILL BE ASSUMED BY THE SIGNING SURVEYOR.

LB 1834

GEORGE A. SHIMP II
AND ASSOCIATES, INCORPORATED

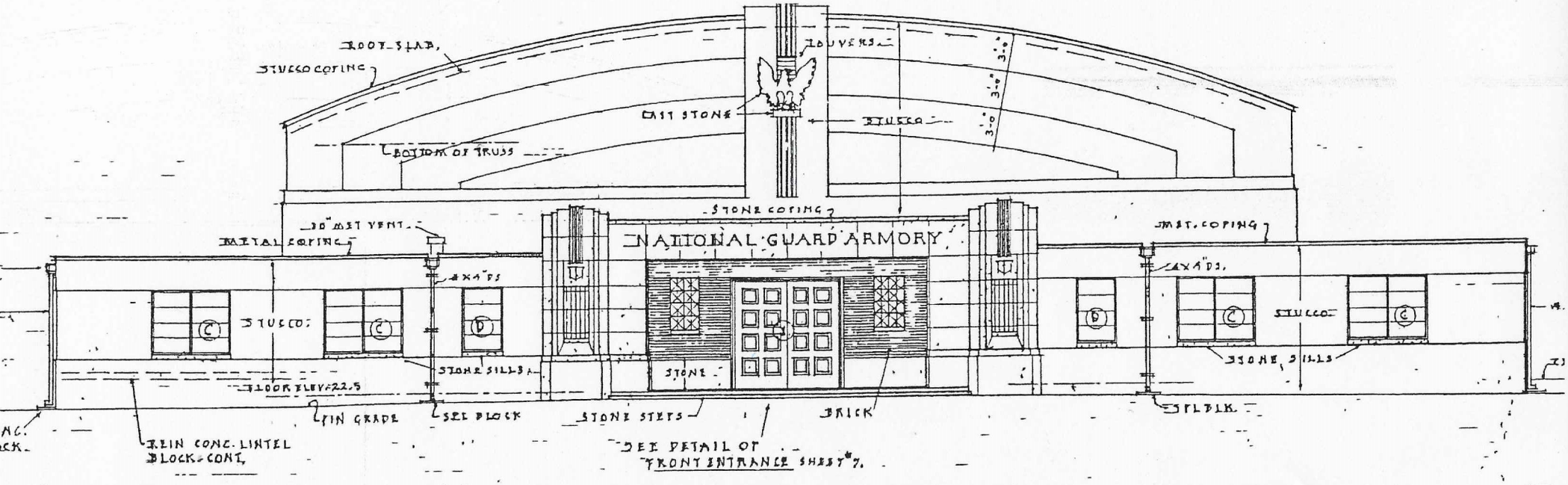
LAND SURVEYORS LAND PLANNERS
3301 DeSOTO BOULEVARD, SUITE D
PALM HARBOR, FLORIDA 34683
PHONE (727) 784-5496 FAX (727) 786-1256

MEAGAN R. ATTEBERY KRYSAK License Number 7573 STATE OF FLORIDA Professional Surveyor and Mapper

Meagan R Attebery Krysak

MEAGAN R. ATTEBERY KRYSAK, PROFESSIONAL SURVEYOR & MAPPER No. 7573

260088	5-4-2026
JOB NUMBER	DATE SURVEYED



EAST · ELEVATION

Tree/shrub Identification Key

canary island date palm

(CG) clusia

existing tree

Trees

Quantity	Abbr.	*Botanical Name /*	Size / Caliper	Spacing	Comments
8		*Phoenix dactylifera* canary island date palm	8'HT, CT	per plan	
3		*Optional to substitution for each canary palm* foxtail or cabbage palm at 3:1	8'HT, CT	per plan	

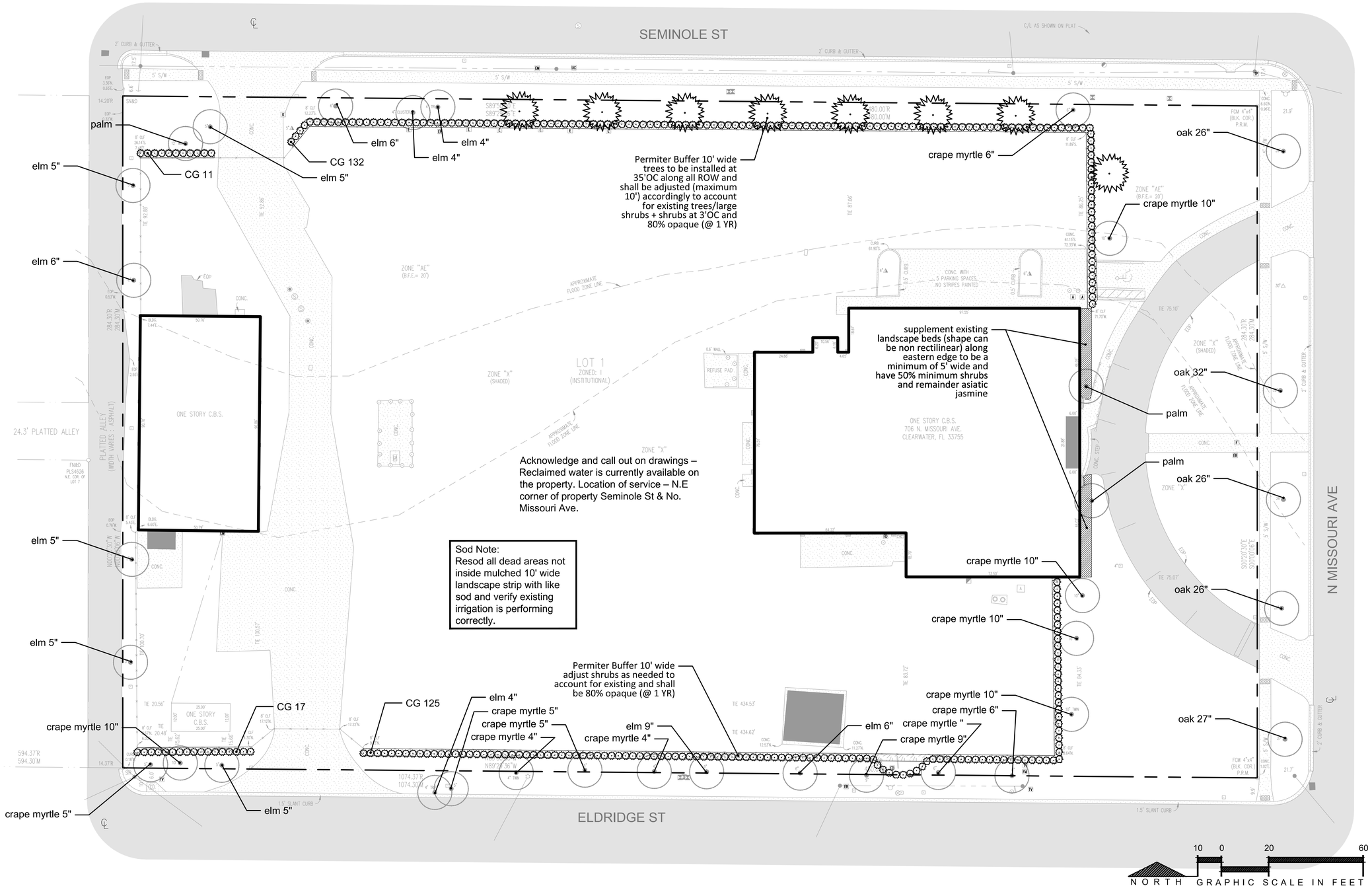
Shrubs

294	CG	*Clusia guttifera* small leaf clusia	18"HT	per plan	

Groundcovers

2,627SF? x 3" thick		*Pine Bark Nuggets* 3" minimum layer supplemental to existing

See LS-03 for futher detail



BORTON DESIGN INC.
1354 N KYLE WAY SAINT JOHNS, FLORIDA
CERT. OF AUTH. # LC26000403
(904) 234-6510 BDB@BORTONDESIGN.COM

REVISIONS:

LANDSCAPE PLAN

Yo Mamas Foods - 706 Missouri Ave
PREPARED FOR
David Habib

BDI NO.	26500
DRAWN BY:	BDB
DESIGNED BY:	BDB
CHECKED BY:	BDB
DATE:	7/8/2026

PLANS PREPARED BY

Brian D Borton

Digitally signed by Brian D Borton
Date: 2026.07.08 13:26:45 -04'00'

BRIAN DAVID BORTON FL. NO. LA6667028

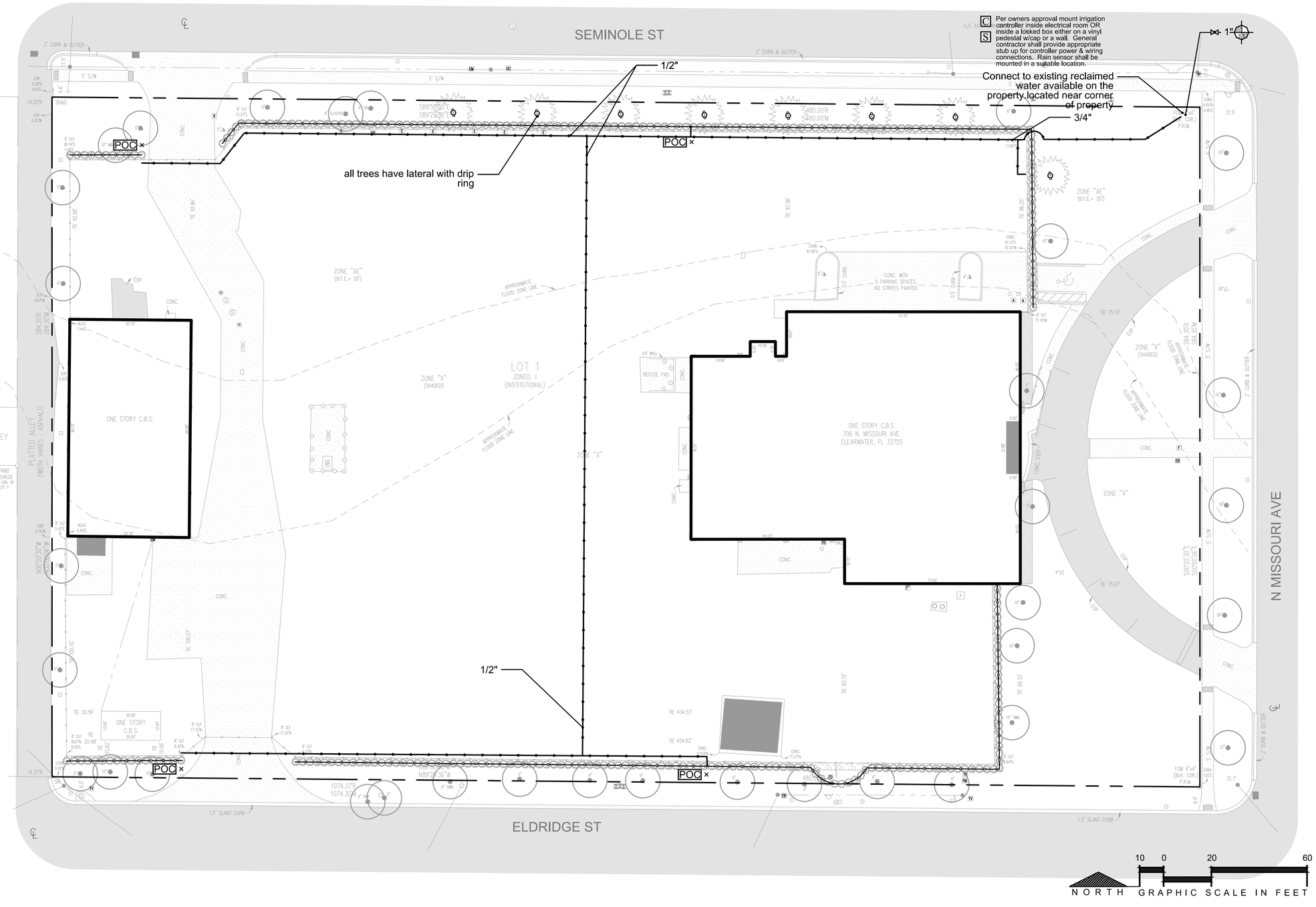
LS-01

Irrigation Legend

- sleeve[1,2]
- lateral[2]
- blank poly tubing
- zone # and flow rate in gallons per minute

[1] sleeves - Unless specified on plans all sleeves shall be 2". When plans show lateral in pipe, install pipe in sleeve and cap both ends 12" beyond end of sleeve.
[2] irrigation lateral lines and sleeving may be diagrammatic in nature and are intended to be installed in suitable locations within property boundaries.

See LS-03 for futher detail



BORTON DESIGN INC.
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REVISIONS:

IRRIGATION PLAN

Yo Mamas Foods - 706 Missouri Ave
PREPARED FOR
David Habib

BDI NO.	26500
DRAWN BY:	BDB
DESIGNED BY:	BDB
CHECKED BY:	BDB
DATE:	7/8/2026

PLANS PREPARED BY

BRIAN DAVID BORTON FL. NO. LA0667028

LS-02

LANDSCAPE PART 1 GENERAL NOTES

Scope. This section includes all planting of shrubs, trees, ground covers, and other landscape supplementary work shown on the drawings and specified herein, complete.

Applicable Documents. The following publications, specifications, and standards of the issues listed in this paragraph (including the amendments and addenda designated), but referred to hereinafter by basic designation only, form a part of this specification to the extent required by the references thereto.

Publication of Reference. Publications as herein listed shall be held in basic reference:

Grades and Standards for Nursery Plants, Parts I and II, State Department of Agriculture and/or State Plant Board of Florida, Seagle Building, Gainesville, Florida.

State of Florida Fertilizer Law, Office of the Secretary of State, Tallahassee, Florida.

American Standard for Nursery Stock (ANSIZ60.1-), American Association of Nurserymen.

Standards for Tree Care Operations (ANSI A300)

Guideline Specifications to Sodding, America Sod Producers Association (ASPA)

Plant Quantities. All plant quantities shown in the plans are approximate based on the plan locations. The Contractor shall be fully responsible for determining all final plant quantities and shall submit a revised plant schedule with final plant quantities as part of the contract and prior to construction.

Substitutions of Plant Material. If a plant is found to be unavailable, submit proof of non-availability and a proposal for use of equivalent material. When authorized, adjustment of contract amount will be made. No substitutions will otherwise be authorized. To prove non-availability, The Contractor must provide at least eight (8) letters from growers or dealers from the States of Florida and Georgia explaining the non-Availability of the plant material.

On-Site Conditions and Adjustments. The locations of plants, as shown on the plans, are fairly accurate. Planting shall be adjusted only when necessary to accommodate actual as-built conditions on the site and any changes in locations caused thereby shall be made without additional cost to the Owner, Owner's Representative, or Landscape Architect. The Contractor shall immediately notify the Owner's Representative when conditions detrimental to plant growth are encountered, such as rubble fill, lime rock, or obstructions; and when field conditions are different than portrayed on the plans prior to planting. The owner or Owner's Representative may adjust the layout or location of specified plant materials to avoid these areas without additional costs.

Coordination of Plantings. Coordinate all landscape work with the Owner's Representative and other contractors. Plant trees and shrubs after final grades are established and prior to planting of lawns, unless otherwise directed by the Owner's Representative.

Fine Grading. Provide fine grading necessary to establish finish grade in all landscape areas. Fine grading shall include only minor grading to correct random or infrequent grade irregularities of 12" or less, unless otherwise noted on plans.

Liability of Contractor. The Contractor shall be liable for any and all damages to property that result from his performance He shall, without extra cost, restore to original condition any areas and/or construction damaged, defaced, disturbed, or destroyed by him or his workmen.

Tree Tagging. A tree tagging trip may be requested by Owner's Representative prior to approval of plant material. Contractor shall be responsible for providing transportation and accommodations if necessary.

Inferior Materials. Contractor shall reject inferior materials. The Owner's Representative reserves the right to reject any or all materials not meeting the criteria specified herein or determined to be damaged or unhealthy.

Onsite Debris. Contractor shall be responsible for removing and disposing of offsite all stones over 1" in diameter, sticks, roots, and other extraneous matter in planted areas to a depth of 2'. If debris is excessive and results from construction waste please contact Owner's Representative for appropriate actions.

LANDSCAPE PART 2 SUBMITTALS

Soil Testing for Plant Material. The Contractor shall be responsible for testing soils in planted areas to confirm that soil is suitable for healthy plant growth and shall submit a report to the Owner's Representative prior to construction showing test data and any conflicts determined by the contractor.

Seed Certification. All seed must comply with regulatory agencies for fertilizer and herbicide composition.

Inspection Certificates, Manufacturer's Data. Upon request of Representative copies of inspection certificates or manufacturer's data shall be provided for any material used onsite or for existing materials found onsite.

LANDSCAPE PART 3 MATERIALS

General Plant Material Requirements. Provide state inspected, nursery grown plants, and according to the plant schedule unless otherwise specified. Conform to the, "Florida Department of Agriculture Grades and Standards For Nursery Plants", local landscape ordinance, and, where applicable, to ANSI Z60.1 All plant materials shall be Nursery grown, Florida No. 1 stock. All materials shall be healthy, vigorous, free of diseases and insects, pruned for best shape without appearance of "de-horning", and without symptoms of nutritional deficiency. Furnish plants grown under climatic conditions must measure according to sizing required detailed on the drawings. Plants must be naturally bushy, dense, in good foliage, well branched, and of good appearance. The nursery/nurseries from which plants are derived shall be under regulatory inspection by the Florida State Department of Agriculture and/or the Florida State Plant Board, or an equivalent agency if derived from outside the State of Florida. Plants entering from outside the State of Florida must bear the entry certificate of the State Department of Agriculture of the State of Florida. All plant materials will be subject to approval of the Owners or Owner's Representative for quality, size and color.

Soil Additives. Contractor shall be responsible for adding peat, humus, fertilizer, manure, pH adjusters or any other commercially accepted soil additive to ensure normal, healthy plant growth or as noted on the plans.

Balled and Bur lapped Trees. Ensure that field grown material follows local industry standards for root pruning, digging, balling and bur lapping, etc. All balled and bur lapped materials must be hardened off before shipment. All materials are subject to approval by the Owner's Representative prior to shipping to project site. The top 5 inches of natural burlap shall be removed and completely remove any synthetic burlap wrapping or wire cages before installation.

Spaded Trees. Trees shall have been spaded from a commercial nursery field that has been inspected by the Department of Agriculture and Consumer Services within the last 9 months. The Contractor shall provide a copy of the most recent Nursery, Stock dealer and Special Inspection Report for verification upon Owner's Representative request. Ball size shall be at least one size greater than recommended by ANSI Z60.1, American Standard for Nursery Stock, unless otherwise specified. Spaded material is subject to approval and tagging by the Owner's Representative prior to shipping to project site.

Container Plants. Provide container-grown plants with sufficient roots to hold the container soil together after removal from the container. Root bound plants and plants with inadequate root systems are not acceptable.

Surface Mulch. Use mulch type specified in plans. Mulch shall be in a non-decomposed state; not more than one (1) season old.

Herbicides, Insecticides. Chemical sprays, dusts, or gaseous compounds used on or around plant materials, including but not limited to trees, shall be approved for such uses by the Environmental Protection Agency and the Florida Department of Agriculture. and Consumer Services. Such materials as may be used shall not constitute a hazard to human health or interfere with site working conditions and habitation.

Seed Requirements General. Where seeding may be required on the plans, the seed required shall comply with all minimum provisions of the Florida Seed Certification and Testing Law. Noxious weed seeds shall be non-existent and foreign materials shall not exceed two percent.

Sod Requirements General. See plan for specified sod. All sod shall be healthy, strongly rooted and not less than two (2) years old, free of weeds and undesirable native grasses in 16" x 24" pads, 1-1/2" thick. Sod shall conform to "Nursery Grown" grade as established by American Sod Producers Association (ASPA). Sod shall be considered free of weeds if less than 5 weeds are found per 100 square feet of area. Brown, dry irregularly smooth, and/or unfresh sod will be rejected.

LANDSCAPE PART 4 PLANTING PROCEDURES

General. Prior to commencement of any work, the Landscape Contractor shall inspect the site, locate planting areas, placement of guying devices, locate electrical cables, conduits, and other underground and above utilities so that proper precautions and procedures may be followed during and throughout construction. The Contractor shall become familiar with other job trade activity which has an impact upon his work or upon which his work has an impact and shall arrange to carefully coordinate his work with other trades through the Owner's Representative. All planting practices listed herein shall ensure healthy plant growth.

Layout. The location of plants, planting beds and plant quantities, are approximate. The locations and bed lines shall be staked on the project site by the Contractor and approved by the Owner's Representative before any plant pits or beds are dug. The Owner's Representative may adjust plant material locations to meet field conditions. Contractor shall make minor adjustment without additional cost to the Owner.

Finish Grades. The Landscape Contractor is responsible for all fine grading and preparation for planting. Finish grades (top of soil) for all sod areas after settlement shall be one-half inch below the top of abutting curbs, walks, walls and abutments. The finish grade of all plant beds prior to mulching shall be three inches below finish grade of sod, abutting curbs, walks and walls. Three inches of mulch shall be added to all plant beds after planting.

Planting Seasons/Times. The planting of plant materials and lawns may proceed at any time, period, or season agreed upon by the Contractor and Owner or Owner's Representative

Plant Installation. All plants existing rooball top shall be 0-1" above finished grade. Area surrounding tree shall excavated/loosened to 3X the width and 1X depth prior to installation. Plants shall be set plumb and straight. When backfilling lightly tamp layers in 6" lifts. Do not over compact. A ¼" probe should be able to penetrate to a depth of the rootball with hand pressure. A 3" mulch layer shall be applied over rootball excluding the area 6" from the trunk/stem. Stake and install trees according to details. Trees shall be secured loosely and allow trunk to sway. Sod. All areas to be either seeded, sprigged, or sodded shall be prepared in a manner to ensure normal, vigorous and healthy growth.

Fine grade lawn areas to smooth, even surface with with lose, uniformly fine texture. Roll, rake and drag lawn areas, remove ridges and fill depressions with topsoil as required to meet finish grades. In areas to be sodded, allow for sod thickness.

Sod Installation. Lay sod in straight, parallel rows to form a solid mass with tightly fitted joints, without overlap. Stagger strips to offset joints. Work topsoil into minor cracks. On 1:3 slopes or greater, lay sod with long dimension of pads parallel to contours and stake sod as necessary to stabilize. Drive sod stakes flush with top of sod.

Sprigging and Seeding. Sprigging/seeding shall be done in a manner to ensure a quick grow-in period achieving a uniform green lawn prior to final acceptance.

LANDSCAPE PART 5 MAINTENANCE

Plant Material. Maintain all plant materials until Final Acceptance. Maintenance shall include all required watering, cultivation, weeding, mowing, pruning, round dressing, immediate replacement of dead and unacceptable material, straightening plants which lean or sag, adjustment of plants which are planted too low, and any other procedure consistent with good horticultural practice necessary to ensure normal, vigorous and healthy growth of all planting under the Contract.

Lawn. Maintain lawns until Final Acceptance. Reset settled or eroded sod areas to proper grade. Fill open joints with topsoil. Keep sod free of insects and disease.

LANDSCAPE PART 6 FINAL INSPECTION AND ACCEPTANCE

Final Cleanup. Upon final completion of work and before inspection and acceptance, all aspects of the project site shall be thoroughly and completely cleaned of debris, stains, materials, defacements, and temporary facilities. Likewise, any repairs which are the obligation of this Contractor shall be completed.

Initial Inspection and Acceptance. Inspection shall be made by the Owner or Owner's Representative within (10) ten days of written notification from the Contractor that installation is complete. If all work and materials meet specifications, project will be accepted as is. Materials and work not in compliance with specifications shall be rejected by Owner's Representative and replaced by the contractor within (15) fifteen days of notification by Owner's Representative. Notification will graphically depict all rejected material on plans. Upon replacement of all rejected work and materials by the Contractor, the Owner's Representative shall conduct a final inspection within ten (10) days of written notification from the Contractor that all rejected work has been replaced according to specifications. Approval will be granted upon the acceptance of all replaced material noted on plans. After final acceptance, the Contractor will not be responsible for damage to work resulting from: neglect by Owner, conditions such as floods, excessive wind, severe freezing or abnormal rains; or other activities clearly beyond the Landscape Contractor's control.

LANDSCAPE PART 7 GUARANTEE

Guarantee. All plant materials and trees installed by the Contractor shall be guaranteed for 365 days from the date of final acceptance. The Contractor shall replace at no additional cost to the Owner, all plant materials which die and/or which are not healthy and in a good growing condition during the guarantee period. Replacement of such material shall occur within ten (10) days from Owner's written notification to the Contractor. The 365-day guarantee period for replaced plant materials shall commence on the date of acceptance of the replaced item or items of plant material. The Contractor shall not be required to replace, repair, or restore any portion of the work that is damaged, defaced, disturbed, improperly maintained, and/or destroyed by others after final acceptance.

IRRIGATION PART 1 GENERAL NOTES

Scope. This section includes irrigation and supplementary work shown on the drawings and specified herein, complete.

Applicable Documents. The following publications, specifications, and standards of the issues listed in this paragraph (including the amendments and addenda designated), but referred to hereinafter by basic designation only, form a part of this specification to the extent required by the references thereto.

Publication of Reference. Publications as herein listed shall be held in basic reference:

- HANDBOOK OF TECHNICAL IRRIGATION INFORMATION by Hunter Industries Inc. - 1996
- THE COMPLETE IRRIGATION WORKBOOK by Larry Keesen - 1995
- PUBLICATIONS, NOTES, AND PAPERS by The Center of Irrigation Technology, California State University - Fresno, California
- PUBLICATIONS and STANDARDS by The Florida Irrigation Society - Orlando, Florida
- PUBLICATIONS by The Irrigation Association - Falls Church, Virginia INSTALLATION GUIDE FOR PVC

Irrigation Quantities. All irrigation material quantities shown in the plans are approximate. The Contractor shall be fully responsible for determining all quantities. The Contractor shall submit a revised irrigation schedule with final irrigation quantities as part of the contract and prior to construction.

On-Site Conditions and Adjustments. Irrigation equipment shown on the plans is approximate. Irrigation shall be adjusted to fit actual as-built conditions on the site and any changes in locations caused thereby shall be made without additional cost to the Owner, Owner's Representative, or Landscape Architect.

Liability of Contractor. The Contractor shall be liable for any and all damages to property that result from his performance He shall, without extra cost and by licensed contractors, restore to original condition any areas and/or construction damaged, defaced, disturbed, or destroyed by him or his workmen.

Substitution of Materials. Any substitution from the specified brands, models or sizes shall be submitted to the owner or the owner's representative for approval. Material substitutions or design changes must be shown to comply with the system design intent and rectify any necessary performance changes and be in compliance with all city, state, and federal regulations.

IRRIGATION PART 2 INSTALLATION PROCEDURES

General. Prior to commencement of any work the Irrigation Contractor shall obtain all necessary permits and licenses, inspect the site and locate electrical cables, conduits, and other underground and above utilities so that proper precautions and procedures may be followed during and throughout construction. The Contractor shall become familiar with other job trade activity which has an impact upon his work or upon which his work has an impact and shall arrange to carefully coordinate his work with other trades through the Owner's Representative.

Backflow Prevention. Backflow preventer shall be installed according to manufacturer's recommendations.

Filters and Strainers. Filter/Strainers shall be installed per manufacturer's recommendations.

Irrigation Controller. The irrigation controller shall be UL listed, conform to the provisions of the National Electric Code, and properly grounded in accordance with manufacturer's recommendations.

Rainfall Shutoff Device. A rain sensor shall be installed as close as possible to the control equipment and per manufacturer's recommendations. Install the first 18 inches of rain sensor wire below ground level and all wire above ground in conduit. When systems are pressurized by a pump, provision shall be made to ensure shutoff device does not allow pump to activate.

Pipe.

1. Pipe shall be installed at sufficient depth below ground to protect it from hazards such as vehicular traffic. Landscape vehicular traffic areas are those landscaped areas subject to vehicular use such as traffic crossings, parking areas, etc. Depths of cover shall conform to NRCS-FL- 430-DD, Water Conveyance, as follows:
   a. Landscaped Vehicle Traffic Areas - Landscaped areas subject to routine automotive or heavy equipment traffic.

Pipe Size (Inches)	Depth of Cover* (inches)
1/2" - 2-1/2"	18"
3"-5"	24"
6" and larger	36"

   b. Non-Traffic and Non-Cultivated Areas

Pipe Size (Inches)	Depth of Cover* (inches)
1/2" - 1-1/2"	6"
2"-3"	12"
4"-6"	18"
More than 6"	24"

2. The trench bottom must be uniform, free of debris, and of sufficient width to properly place pipe and support it over its entire length. Make all pipe joints and connections according to the material manufacturer's recommendations. Perform all solvent-weld connections in accordance with ASTM D-2855. Contractor shall install all piping and related materials in accordance with the manufacturer's specifications and the following standards: ASTM D-1785-99, ASTM D-2241-00, ASTM D-2466-01, ASTM D-2464-99, ASTM D-2239-99, ASTM D-2564-96a, ASTM F-656-96a, ASAE S435.
3. Thrust blocks are required on all fittings at dead ends and whenever the line changes direction of 30 degrees or more. Thrust blocks shall be installed in a manner to ensure no pipe shifting occurs. Size thrust blocks in accordance with ASAE Standard S-376.2.
4. Contractor shall flush irrigation system installation at the appropriate stages based on commercially accepted methods.
5. After installation, flushing, and inspection or testing, contractor shall backfill the pipe trench with soil free from rocks or stones larger than 1-inch in diameter in a commercially accepted manner.

Pipe Sleeving. Pipe sleeves shall be at least two pipe sizes larger than the carrier pipe or twice the diameter of the wire bundle to be placed under the paving or roadway, and extending a distance at least equal to its installed depth beyond the paved area. Schedule 40 PVC pipe shall be used for sleeves.

Valves. Valve installation shall allow enough clearance for proper operation and maintenance. Where valves are installed underground, they shall be provided with a valve box with cover extending from grade to the body of the valve. The top of the valve body should have a minimum of 6 inches of cover in non-traffic and non-cultivated areas and 18 inches of cover in traffic areas.

Locate manually operated control valves so they can be operated without wetting the operator.

Valve Boxes. Contractor shall install valve boxes according to the manufacturer's recommendations.

Wire. Electrical control wire shall be sized in accordance with the valve manufacturer's specifications. Install only UL listed direct burial low voltage wire (30 volts or less) with a minimum depth of cover of 12 inches. Provide a sufficient length of wire at each connection to allow for thermal expansion/shrinkage. As a minimum, provide a 12-inch diameter loop at all splices and connections. Terminations at valves will have 24" minimum free wire. Provide common wires with a different color than the power wires (white shall be used for common wires). Use wire connectors that are approved for direct burial. A valve box shall be used for all underground wire splices. Install all above-ground wire runs and wire entries into buildings in conduit.

Sprinklers. Install sprinklers plumb unless they are installed on slopes where they can be tilted as required to prevent erosion. Sprinklers shall be adjusted to avoid unnecessary discharge on pavements and structures. Provide a minimum separation of 4 inches between sprinklers and pavement and 12 inches between sprinklers and vertical structures or as local codes dictate. Riser-mounted sprinklers shall be supported. Swing joints shall be constructed to provide a flexible, leak-free connection between the sprinkler and lateral pipeline to allow movement in any direction and to prevent equipment damage.

Micro Irrigation. Micro-irrigation equipment shall be installed according to the manufacturer's recommendations for the specific application. Stake all surface tubing every three to six feet depending on site conditions and manufacturer's recommendations with eight inch staples.

IRRIGATION PART 3 TESTING, SUBMITTALS, FINAL INSPECTION AND ACCEPTANCE

Testing. All maintines and laterals shall be tested to be free of leaks. Rainfall shutoff device shall be tested to ensure proper shut-off of control equipment.

Cleanup. Upon final completion of work and before inspection and acceptance, all aspects of the project site shall be thoroughly and completely cleaned of debris, stains, materials, defacements, and temporary facilities. Likewise, any repairs which are the obligation of this Contractor shall be completed.

Inspections and Acceptance. Inspection shall be made by the Owner or Owner's Representative within (10) ten days of written notification from the Contractor that installation is complete. If all work and materials meet specifications, project will be accepted as is. Materials and work not in compliance with specifications shall be rejected by Owner's Representative and replaced by the contractor within (15) fifteen days of notification by Owner's Representative. Notification will graphically depict all rejected material on plans. Upon replacement of all rejected work and materials by the Contractor, the Owner's Representative shall conduct a final inspection within ten (10) days of written notification from the Contractor that all rejected work has been replaced according to specifications. Approval will be granted upon the acceptance of all replaced material noted on plans.

Post Construction Documentation & Instruction. The Contractor shall provide manufacturer's product literature, operation manuals, testing and inspection certificates, and record drawings to the owner or owner's representative. Record drawings shall show all changes in the design to indicate the actual installation sizes, types, and locations of all equipment and materials with the application for final payment. Contractor shall provide minimal instruction to owner, if applicable, describing any need to know information regarding the daily operation of the system.

IRRIGATION PART 4 GUARANTEES

The irrigation system contractor shall assume full responsibility for the proper installation of the system. Contractor shall guarantee the installation workmanship for a minimum period of one (1) year from date of final acceptance. The irrigation system contractor shall make all necessary, reasonable efforts to handle any warranty claims within the guarantee period in a reasonable time period. The Contractor shall not be required to replace, repair, or restore any portion of the work without additional service fees that are damaged, defaced, disturbed, and/or destroyed by others after final acceptance. Repairs made by other licensed contractors during the guarantee period shall not void the guarantee.

General Landscape Notes

1. Contractor shall provide proposed soil amendment quantities on bid form to ensure healthy vigorous growth of plant material, lateral movement of irrigation water within soil, & soil nutrient holding capacity.
2. ALL mulched areas adjacent to edge of curb, pavement, shall be composed of a compressed 3" thick layer of mulch. Top of mulch shall be 1/2" below edge of adjacent surface so mulch has a containment edge.
3. All revisions shall be submitted to Clearwater for review and approval prior to installation.

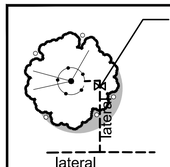
Irrigation Legend NOTE RECLAIMED PURPLE SIGNATURES REQUIRED

- sleeve[1,2]
- lateral[2]
- blank poly tubing
- C controller
- S rain sensor
- control valves
- 1/2" drip shut-off valve
- zone # and flow rate in gallons per minute
- irrigation drip break
- POC lateral/drip point of connection

[1] sleeves - Unless specified on plans all sleeves shall be 2". When plans show lateral in pipe, install pipe in sleeve and cap both ends 12" beyond end of sleeve.
[2] irrigation lateral lines and sleeving may be diagrammatic in nature and are intended to be installed in suitable locations within property boundaries.

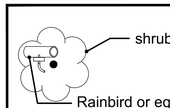
Irrigation Notes

1. Dripline. Drip shall be installed on top of soil and covered with mulch.
2. Control Valves & Regulators. Control valves shall be installed and set 5% over proposed flow.
3. Pipe. 1/2" pipe shall be Class 315 PVC. Piping larger than 1/2" shall use Class 200 PVC.
4. Irrigation materials not identified on irrigation schedule or in specifications as to brand and model # shall be either Rainbird, Nelson, or Hunter and sized appropriately by contractor to meet requirements by the manufacturer. Contractor shall include all materials including quantity, model, size, and installed price for each item on bid form.
5. All irrigation revisions shall be submitted to Clearwater for review and approval prior to installation.
6. No irrigation to be provided at sod. Contractor shall irrigate with a water truck as needed for the first two weeks.
7. Pipe shall not be installed within 50% of any existing tree dripline UNLESS piping is installed via a trenchless installation method.



Install Rainbird BVAL50-1S139 or equal shut-off valve at all trees. Install Rainbird or equal XFD blank tubing around each tree with appropriate amount of equally spaced drip emitters. Quantity of Rainbird XB-#PC or equal emitters per tree are specified on the irrigation sheet. Drip shall encircle tree and be offset 2" from edge of rootball. Terminate drip encircling each tree with a compression hose end cap. Secure all emitter locations with ground staples.

Detail for individual tree drip
Not To Scale



Rainbird or equal XFD blank tubing with Rainbird XB-#PC or equal emitter at same precipitation rate installed overtop of rootball or attach 1/4" tubing to emitter with bug cap to reach plant rootball off of 1/2" tubing when applicable. Use ground staples to secure emitter locations. Start all drip runs with a Rainbird BVAL50-1S139 shut-off valve. Terminate all drip runs with a compression hose end flush cap. Secure all emitter locations with ground staples.

Detail for shrub emitters
Not To Scale

Use ground staples to secure ALL emitter locations. Pressure regulators shall be used in appropriate locations so all emitters receive pressures between 20-50 psi.

Watering Schedule for Zone 1

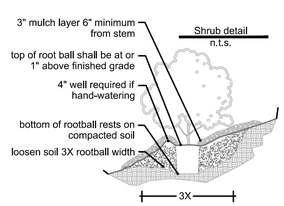
Water all plants listed once per day for (120) one hundred twenty minutes during the first (30) thirty days and every other day for the next (30) thirty days; thereafter, follow water restrictions per jurisdiction until established. Shrub drip valves may be shut-off after (3) three months. After (1) one year trees should be sufficiently rooted into existing soil for shutdown; however, it is recommended that a review be performed by a certified arborist before shutting off the system. After establishment irrigation should be turned on IF a drought occurs.

Number of emitters per tree/shrub

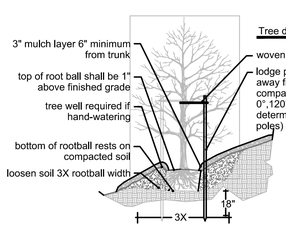
canary	5-1gph emitter
other palm	5-1gph
clusia	1-.5gph emitter dead center of plant & stapled

Irrigation Schedule

Quantity		Description **ALL PURPLE SIGNATURE**
930'	PURPLE RECLAIMED SIGNATURE	Rainbird XFD blank tubing purple
1		Rainbird ESP-RZX Series Controller
1		Rainbird WR2 - RC sensor
1		Rainbird 100-DV
1		Rainbird PSI-M50X-100
1		Rainbird QKCHK100 drip filters purple
0		Netafim 01WPCJL1.2 drip emitter .32GPH
40		Rainbird XB-05PC drip emitter .5GPH purple
294		Rainbird XB-10PC drip emitter 1GPH purple
0		Rainbird XB-20PC drip emitter 2GPH purple
0		Rainbird PC-05 drip emitter 5GPH
TBD		Rainbird BVAL50-1S139 drip valve
TBD		1/2" Perma-Loc EndCap w/ Flush Valve purple
TBD		Rain Bird PVB6RND 6 in. round valve box purple
TBD		9" 9-gauge galvanized ground staples
1		Watts 009M3QT



Shrub detail
n.t.s.



Tree detail 1"-3.5"
n.t.s.

woven polypropylene strap

lodge pole stakes installed 2" away from rootball/18" into compacted soil/ at 0°,120°,240° / caliper determines # of poles (3.5"=3 poles)

BORTON DESIGN INC.
1354 N KYLE WAY SAINT JOHNS, FLORIDA
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(904) 234-6510 BDB@BORTONDESIGN.COM

REVISIONS:

LANDSCAPE PLAN
Specifications/Details

Yo Mamas Foods - 706 Missouri Ave
PREPARED FOR
David Habib

BDI NO.	26500
DRAWN BY:	BDB
DESIGNED BY:	BDB
CHECKED BY:	BDB
DATE:	7/8/2026

PLANS PREPARED BY
BRIAN DAVID BORTON FL. NO. LA0667025

LS-03

SECTION 10, TOWNSHIP 29S,RANGE 15E
PARCEL I.D. NO. 10/29/15/33300/000/0010

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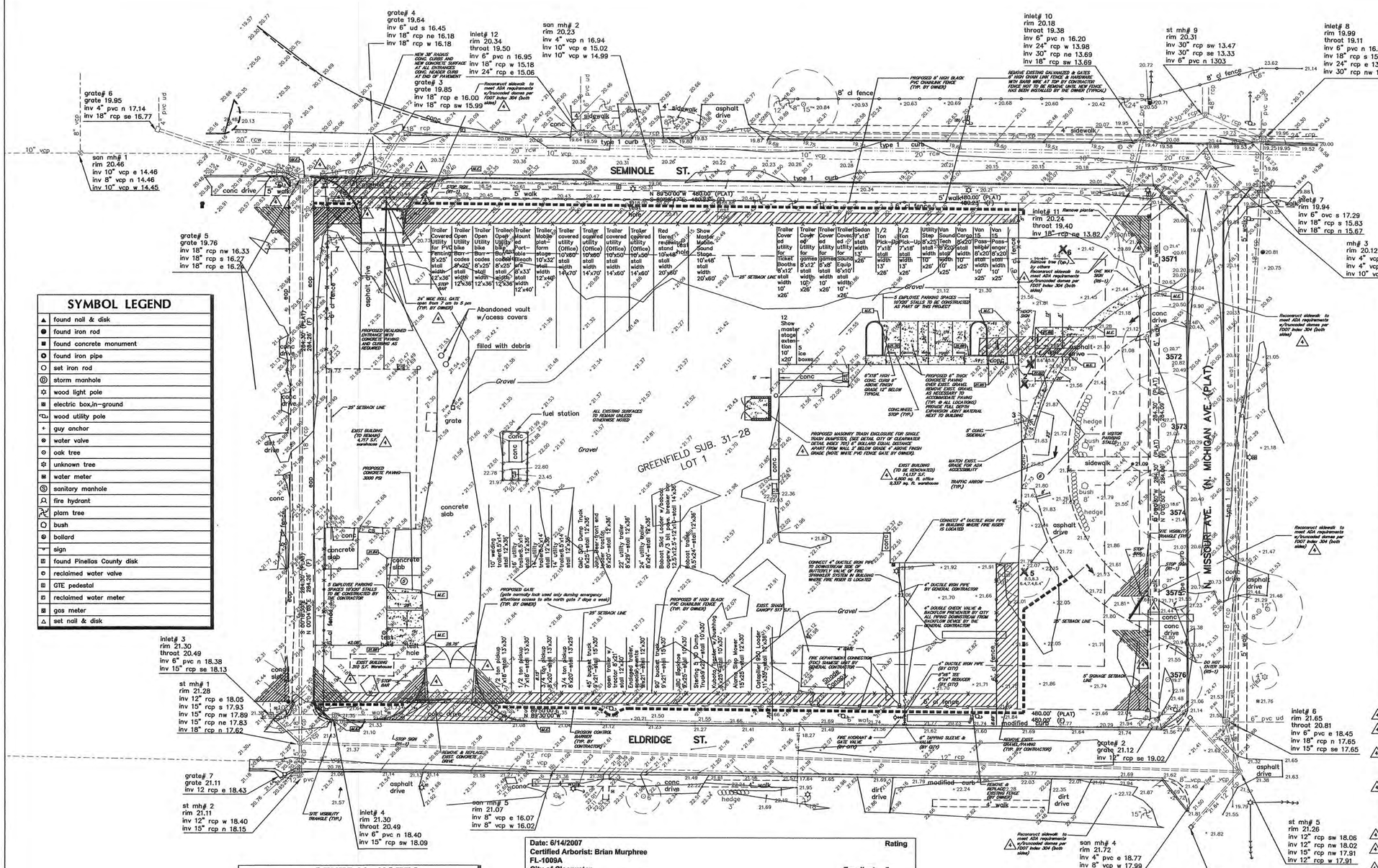
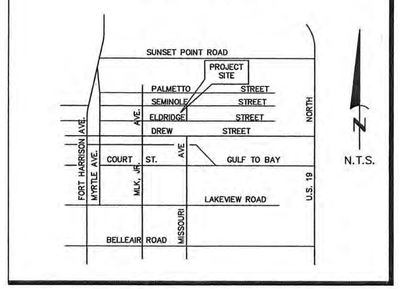


VICINITY MAP



SYMBOL LEGEND

- found nail & disk
- found iron rod
- found concrete monument
- found iron pipe
- set iron rod
- storm manhole
- wood light pole
- electric box,in-ground
- wood utility pole
- guy anchor
- water valve
- oak tree
- unknown tree
- water meter
- sanitary manhole
- fire hydrant
- plam tree
- bush
- bollard
- sign
- found Pinellas County disk
- reclaimed water valve
- GTE pedestal
- reclaimed water meter
- gas meter
- set nail & disk

PLAN LEGEND

- PROPOSED CONCRETE PAVING / WALK
- EXIST. ASPHALT PAVING/GRAVEL TO BE REMOVED
- X 20.76 EXIST. GRADE
- 21.64 PROPOSED FINISHED GRADE
- M.E. MATCH EXIST. GRADE
- EROSION CONTROL BARRIER

GENERAL NOTES

1. Subject site is located within Flood Zones AE & X according to FIRM Community Panel Number 12103C0108H dated May 17, 2005.
2. Handicapped parking spaces, where applicable, shall be properly signed and striped in accordance with Florida Statute 316 and the Manual on Uniform Traffic Control Devices, latest editions.
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5. Signs as indicated hereon shall be in accordance with the Manual on Uniform Traffic Devices, latest edition.
6. All elevations as indicated hereon are based on North American Vertical Datum (NAVD).
7. Boundary and topographic information as indicated hereon taken from a Survey prepared by the City of Clearwater.
8. The Horizontal Datum is Florida State Plane Coordinates, N.A.D. 83-90, Florida West Zone.
9. The Vertical Datum is the new City Benchmark network, N.A.V.D. 1988.
10. The Benchmark G-7 at Palmetto & N. Missouri elevation 19.90.

Date: 6/14/2007
Certified Arborist: Brian Murphree
FL-1009A
City of Clearwater
Parks & Recreation Department
P.O. Box 4748
Clearwater, Florida 33758
Phone: (727) 462-5139

	Rating
Excellent	5
Good	4
Average	3
Fair	2
Poor	1
Dead	0

TREE INVENTORY SUGGESTION: REMOVAL OF ALL TREES WITH RATING OF 1 & 2

KEY	BOTANICAL NAME	COMMON NAME	SIZE DBH (inches)	CANOPY SIZE (feet)	COMMENTS	RATING
1	Ilex x altenuata 'East palata'	east palata holly	8.6 & 5.8	20	witches broom, in decline, tip die back in canopy, codominate stem	1
2	Quercus laurifolia	laural oak	7.6	20	codominate stem, within 18" of building	3
3	Phonenix roebelenii	robelenii palm	5.0	6	remove dead frons, fertilize magnesium deficien cy	4
4	Phonenix roebelenii	robelenii palm	5.2	6	remove dead frons, fertilize magnesium deficency, bore insect activity	3
5	Ilex x altenuata 'East palata'	east palata holly	8.5, 8.3, 6.4, 7.4, 6.4	30	5 stem cluster, in decline, codominate stem	1
3571	Quercus virginana	live oak	21.4	50		3
3572	Quercus virginana	live oak	20.7	40	root crown damage from lawn mower	3
3573	Quercus virginana	live oak	27.2	40	branch die back, potential included bark,@ 10' from base	3
3574	Quercus virginana	live oak	18.6	40		3
3575	Quercus virginana	live oak	21.0	60	girdling root at base	3
3574	Quercus virginana	live oak	19.2	50	potential included bark, codominate stem	4
6	Quercus laurifolia	laural oak	44	65	codominate stems, included bark hazardous tree	2
7	Sable palmetto	sable palm	4.0	5	volunteer less thatn 6' over all height	3

LEGAL DESCRIPTION

LOT 1, GREEN FIELD SUBDIVISION, AS RECORDED IN PLAT BOOK 31, PAGE 28, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA

CONSTRUCTION NOTES

1. All construction, materials and workmanship shall be in accordance with the latest City of Clearwater and Florida Department of Transportation standards and specifications.
2. The indicated locations of underground utilities, structures and facilities are approximate only and reflect the best information available from surveys and records and have not been field verified. The contractor shall verify the actual locations and elevations prior to proceeding with any construction activity which may affect such utilities. Contractor shall call "SUNSHINE STATE-ONE CALL" 1-800-432-4770 at least 48 hours in advance of start of construction.
3. All construction staking for site improvements as shown hereon shall be performed by a State of Florida Professional Land Surveyor.
4. All backfill over any pipe (storm sewer, sanitary sewer, water lines, etc.) that is to be placed under roadways or within the embankment of roadways, shall be compacted in accordance with Florida Department of Transportation Specifications, Section 125.8.3, latest edition. This particular section specifies compaction to 100% of the maximum density as determined by AASHTO T-99.
5. Unless otherwise claimed by the owner, materials interfering with construction, including all abandoned utility lines, pipes, structures and other subterranean objects to be removed, shall be disposed off-site by the contractor.
6. All areas of exposed or disturbed earth resulting from construction activities shall be solid sodded unless otherwise directed by the construction documents.
7. Contractor shall provide all sheeting, shoring and bracing required to protect adjacent structures or to minimize trench width. Where a separate pay item is not provided, the cost of all sheeting, shoring and bracing shall be included in the contract price for the item of work for which sheeting, shoring and bracing is required.
8. All existing and proposed utility and storm sewer structures whose tops will be exposed within unpaved areas subject to vehicular, bicycle or pedestrian traffic shall be adjusted so that the top surface of the covers and frames are no more than one inch above finished grade. Where sodding is applied, finished grade shall be to the top of the turf after the sod is firmly placed.
9. During construction, contractor shall furnish, install and maintain all necessary traffic control and safety devices in accordance with the U.S. Department of Transportation "Manual on Uniform Traffic Control Devices" (MUTCD) and the current Florida Department of Transportation (FDOT) "Roadway and Traffic Design Standards". All proposed traffic control devices such as signs, markings and other devices as indicated on the plans shall be in accordance with MUTCD and FDOT "Roadway and Traffic Design Standards".
10. After completion of construction and final acceptance by owner and agencies having jurisdiction, contractor shall remove and dispose of all erosion and siltation control devices, including but not limited to, silt barriers, hay bales, etc.
11. Contractor shall coordinate all work with utility companies in order to prevent damage to existing utility lines and the making of adjustments to same, if required.
12. Adjusting manhole tops to match grade and slope of the finished paving shall be included in the contract unit price for the manhole, payment of which will constitute full compensation for the construction and completion of the manhole, and no additional payment will be allowed or made for adjusting manhole tops.
13. All storm drainage pipe shall be RCP-ASTM C76 for circular pipe and ASTM C507 for elliptical pipe, unless otherwise noted. Elliptical pipe shall be wrapped with MIRAFI 140N filter fabric or approved equivalent. Circular pipe under pavement, drives and sidewalks shall also be wrapped with MIRAFI 140N filter fabric or approved equivalent.
14. Contractor shall be responsible for documenting and maintaining as-built information which shall be recorded as construction progresses or, at the completion of appropriate construction interval(s), and shall be responsible for providing all applicable data obtained to the Owner for the purpose of preparing final as-built (record) drawings. All as-built data shall be collected by a State of Florida Professional Land Surveyor whose services are engaged by the contractor.
15. Contractor shall be responsible for all material testing and shall supply all test reports to the Owner.
16. Contractor shall be responsible for controlling fugitive dust and keeping construction site in a safe, clean and orderly manner at all times.
17. The existing sidewalk within the right-of-way is to be removed to the nearest joint beyond the proposed drive apron/driveway and replaced per City standards.
18. All sod, sidewalk, curb and sprinkler damage, if any, within the right-of-way shall be repaired/replaced prior to engineering final inspection.
19. Any new concrete driveway apron(s) constructed within the right-of-way shall be a minimum 6" thick fibrous concrete, and a minimum 3000 psi with 6" X 6" / 10 X 10 W.W.F. (sidewalks shall not be constructed within this apron area(s)). Expansion joint will be required along existing curb where applicable.
20. All unused drive apron(s) and/or parking surface(s) are to be removed in its entirety, by the contractor. The right(s)-of-way are to be restored with new sidewalk and sod as required.
21. Finished grade at the proposed entrances shall be kept as the existing elevations after removing the asphalt to maintain the same drainage pattern.
22. Contractor shall provide upgrade of existing sidewalk at all driveways intersections and sidewalks at street intersections to meet ADA requirements by removal and reconstruct sidewalks if necessary and provide adhesive truncated domes per FDOT Index 304. Seven driveway crossings and 3 street corner intersections will be required to be addressed by the contractor.
23. Contractor to construct trash dumpster enclosure, see dumpster enclosure (single) index no. 701. Contractor shall note interior and exterior of masonry surface shall receive 3/4"thick stucco sand finish, with minimum 1 scratch coat stucco surface prior to final stucco surface, top of wall to be domed to prevent rain water from puddling, finish stucco surface to receive minimum one coat of primer and two coats of exterior semi gloss paint matching building color.
24. Contractor shall note bill of quantity provides alternates for painting of entire exterior of building or painting lower portion of exterior of building. In both cases the contractor shall pressure wash portions of building and preparations such as filling holes, scraping of lose paint shall be considered as part of the painting process. Minimum one coat of exterior primer and minimum two coats of exterior semi gloss paint. Color draw down samples to be provide by the contractor for selection by the owner. Selection of alternate lower portion of the building to be painted contractor shall match existing building color. All exterior trim color shall be also provide by the contractor for the owner to select color.
25. All fencing, landscaping and irrigation system to be provided by the owner. Contractor shall coordinate with owner to ensure sleeving ducts for irrigation system are in place prior to contractor paving any surfaces.
26. The contractor shall note the owner will have other city staff or contractors on site to perform other work and the contractor of this project will be required to coordinate his work with other city staff or contractors during the performance of this scope of work.
27. This site will continue operation by city during the construction period. The contractor shall note information about types of vehicles or equipment parked or stored on the site is information purposes only, striping of these stalls or providing wheel stops is not required. Proposed concrete paved employee parking and all associated work to construct this parking stalls is part of the scope of work of this contract.
28. Contractor is not to remove existing galvanized chain link fence until new 8' high black vynil chain link fence is constructed by the owner.

North

0' 30' 60'
SCALE: 1" = 30'
GRAPHIC SCALE (IN FEET)

GOVERNALE ENGINEERING SERVICES, INC.
CONSULTING • PLANNING
EB 0007622
1807 PEPPERTREE DRIVE
OLDSMAR, FLORIDA 34677
PHONE: (813)855-3510
FAX: (813)855-1572
LEO L. GOVERNALE, P.E. NO. 16971

RECORD DRAWINGS

SURVEYED BY	DRAWN BY		
REVIEWED BY			
PROJECT LANDSCAPE ARCHITECT	DATE		
APPROVED BY			
SUPERVISING LANDSCAPE ARCHITECT	DATE		

REVISION	BY	DATE
REVISIONS BASED ON DRC COMMENTS (4)	LC	7/14/07
ADD FIRE LINE	DA	5/18/07
MISC. REVISIONS PER CITY	DA	4/12/07
REV. N. DRIVEWAY PER CITY	DA	3/27/07

CITY OF CLEARWATER, FLORIDA
PARKS & RECREATION DEPARTMENT
"Take a Break and Recreate"

INVESTIGATE BEFORE YOU EXCAVATE
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MIN. 48 HOURS BEFORE YOU EXCAVATE

NATIONAL GUARD ARMORY
PARKS & REC. DEPT. - SPECIAL EVENTS DIVISION
SITE PLAN - PERMIT

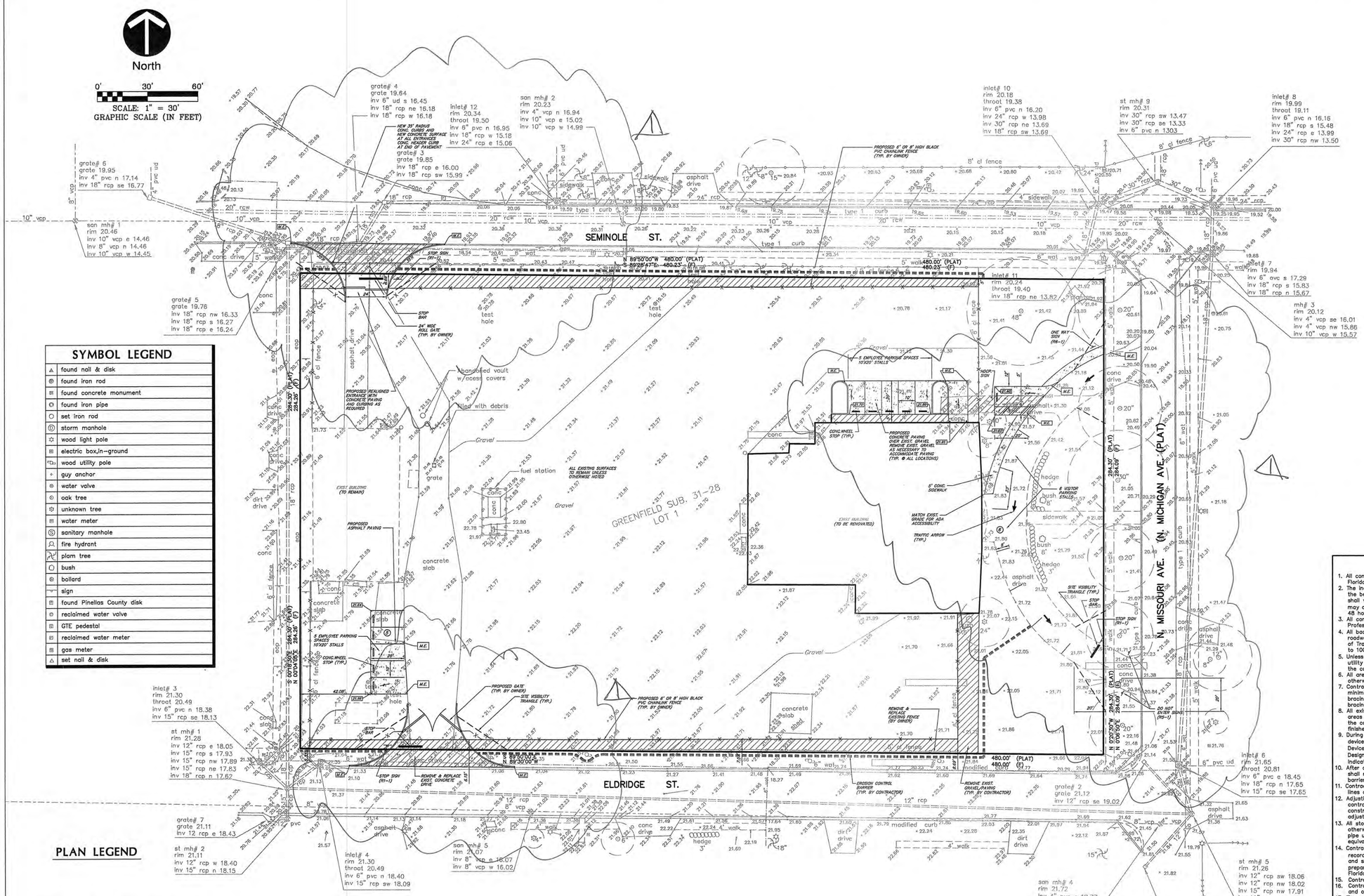
DRAWN BY LC	DESIGNED BY LC/LG	CHECKED BY LG	CONTRACT NO. N/A
SCALE VERT. N/A HORIZ. 1"=30'	SURVEYED BY N/A	BOOK NO. N/A	JOB NO. N/A
	DATE DRAWN 07/21/06	DWG NAME N/A	SHEET NO. 10F3

APPROVED FOR CONSTRUCTION
SUPERVISING LANDSCAPE ARCHITECT DATE

2007047

SECTION 10, TOWNSHIP 29S, RANGE 15E
PARCEL I.D. NO. 10/29/15/33300/000/0010

1



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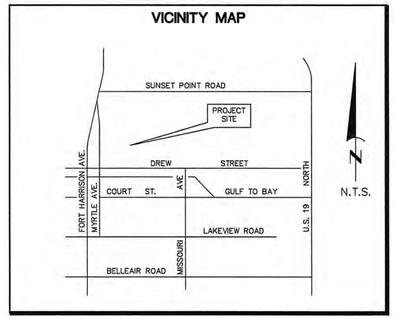

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REVISED PLAN RECEIVED
APR 17 2007
DEVELOPMENT & NEIGHBORHOOD SERVICES
CITY OF CLEARWATER

GOVERNALE ENGINEERING SERVICES, INC.
CONSULTING • PLANNING
EB 0007622
1807 PEPPERTREE DRIVE
OLDSMAR, FLORIDA 34677
PHONE: (813)855-3510
FAX: (813)855-1572
LEO L. GOVERNALE, P.E. NO. 16921

RECORD DRAWINGS			
SURVEYED BY	DRAWN BY		
REVIEWED BY			
PROJECT LANDSCAPE ARCHITECT	DATE		
APPROVED BY			
SUPERVISING LANDSCAPE ARCHITECT	DATE		

REVISION	BY	DATE
MISC. REVISIONS PER CITY	DA	4/12/07
REV. N. DRIVEWAY PER CITY	DA	3/27/07

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NATIONAL GUARD ARMORY
PARKS & REC. DEPT. - SPECIAL EVENTS DIVISION
SITE PLAN - PERMIT

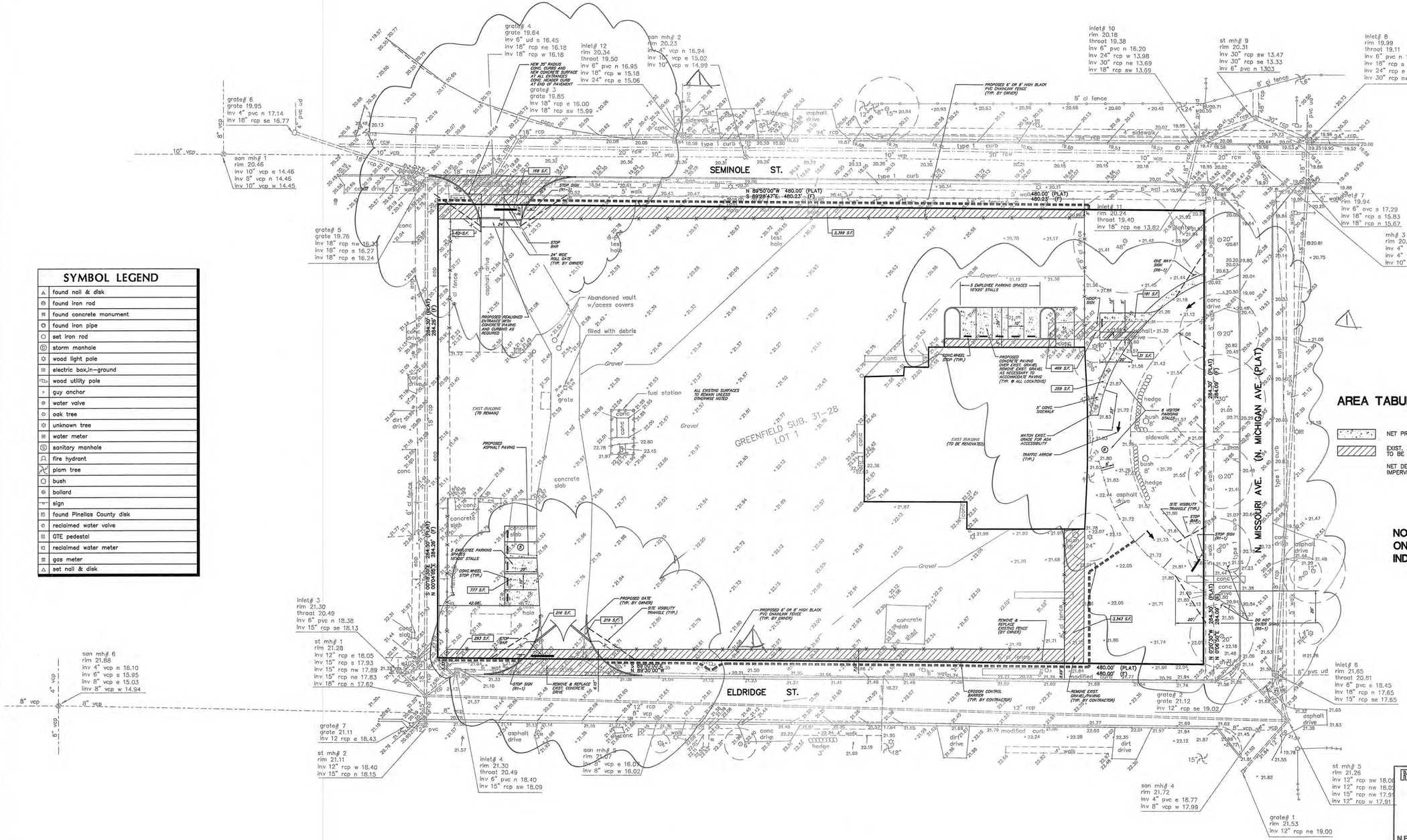
DRAWN BY	DESIGNED BY	CHECKED BY	CONTRACT NO.
LC	LC	AK	N/A
SCALE VERT. N/A	SURVEYED BY N/A	BOOK NO. N/A	JOB NO. N/A
HORIZ. 1"=30'	DATE DRAWN 07/21/06	DWG NAME N/A	SHEET NO. 10F3

APPROVED FOR CONSTRUCTION
SUPERVISING LANDSCAPE ARCHITECT DATE

2007047

SECTION 10, TOWNSHIP 29S, RANGE 15E
PARCEL I.D. NO. 10/29/15/33300/000/0010

1



North

0' 30' 60'

SCALE: 1" = 30'
GRAPHIC SCALE (IN FEET)

SYMBOL LEGEND

▲	found nail & disk
◎	found iron rod
▤	found concrete monument
◎	found iron pipe
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☼	wood light pole
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⚲	fire hydrant
⚲	plam tree
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⊗	bollard
▯	sign
▤	found Pinellas County disk
⊙	reclaimed water valve
▤	GTE pedestal
▤	reclaimed water meter
▤	gas meter
△	set nail & disk

AREA TABULATION SUMMARY:

NET PROPOSED CONCRETE PAVING	= (+) 1,916	S.F.
EXIST. ASPHALT PAVING/GRAVEL TO BE REMOVED	= (−) 6,448	S.F.
NET DECREASE IN IMPERVIOUS AREAS	= (−) 4,532	S.F.

NOTE: THIS DRAWING TO BE USED ONLY FOR TABULATION OF AREAS AS INDICATED HEREON.

REVISED PLANS RECEIVED
APR 17 2007
DEVELOPMENT & NEIGHBORHOOD SERVICES
CITY OF CLEARWATER

NOTES:
1. *The Horizontal Datum is Florida State Plane Coordinates, N.A.D. 83-90, Florida West Zone.*
2. *The Vertical Datum is the new City Benchmark network, N.A.V.D. 1988.*
3. *The Benchmark G-7 at Palmetto & N. Missouri elevation 19.90.*

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LEO L. GOVERNALE, P.E. NO. 16971

RECORD DRAWINGS

SURVEYED BY | DRAWN BY
REVIEWED BY — PROJECT LANDSCAPE ARCHITECT — DATE
APPROVED BY — SUPERVISING LANDSCAPE ARCHITECT — DATE

REVISION	BY	DATE
MISC. REVISIONS PER CITY	DA	4/12/07
REV. N. DRIVEWAY PER CITY	DA	3/27/07

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NATIONAL GUARD ARMORY
PARKS & REC. DEPT. - SPECIAL EVENTS DIVISION
AREA TABULATION PLAN

DRAWN BY LC	DESIGNED BY LC	CHECKED BY AK	CONTRACT NO. N/A
SCALE VERT. N/A	SURVEYED BY N/A	BOOK NO. N/A	JOB NO. N/A
HORIZ. 1"=30'	DATE DRAWN 07/21/06	DWG NAME N/A	SHEET NO. 20F3

APPROVED FOR CONSTRUCTION — SUPERVISING LANDSCAPE ARCHITECT — DATE

9007 047